

ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
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CLIENT:

Mr. and Mrs. Ekmekchian
3130 N Lamer St.
Burbank, Ca. 91504

PROJECT:

Ekmekchian Residence
3130 N Lamer St.
Burbank, Ca. 91504

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

COVER PAGE
DATA / INDEX

DATE	05.08.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A1.1

PROJECT SUMMARY

PROJECT DESCRIPTION:

NEW PROPOSED SINGLE STORY HOUSE W/
3-CAR ATTACHED PARKING GARAGE
AND DETACHED BBQ CANOPY

LEGAL DESCRIPTION:

TRACT # 18923 LOT COM E ON S LINES OF
LOT 24, 5.09 FT FROM SW COR OF SD LOT TH
N 4° 15' 46" W 43.68 FT TH N 7° 53' 12" W
80.21 FT TH E ON S LINE OF LAMER ST
... SEE MAPBOOK FOR MISSING PORTION ... LOT 25

APN = 2471 - 034 - 007
ZONE = R1
OCCUPANCY = R-3 / U
TYPE OF CONSTRUCTION = V-B (FULLY SPRINKLERED)
NUMBER OF STORIES = 1
CA CLIMATE ZONE = 9
HIGH FIRE ZONE = YES
FIRE SPRINKLER = YES
EXISTING LOT AREA = 11,430 s.f.

FLOOR AREA:

ALLOWABLE FLOOR AREA = (40%) 7,500 s.f. + (30%)3,930 = 4,179 s.f.
EXISTING FLOOR AREA (TO BE REMOVED) = 2,068 s.f.

PROPOSED GROSS FLOOR AREA = 3,920 s.f.
PROPOSED ENTRY CANOPY AREA = 55 s.f.
PROPOSED REAR LOGGIA CANOPY AREA = 303 s.f.
PROPOSED REAR BBQ CANOPY AREA = 144 s.f.
LESS 400 s.f. GARAGE = - 400 s.f.
PROPOSED NET FLOOR AREA = 4,022 s.f.

PROPOSED THREE-CAR GARAGE = 554 s.f.

LOT COVERAGE :

ALLOWABLE LOT COVERAGE =(50%) 11,430 s.f. = 5,715 s.f.
PROPOSED GROSS FLOOR AREA = 3,920 s.f.
PROPOSED ENTRY CANOPY AREA = 55 s.f.
PROPOSED REAR LOGGIA CANOPY AREA = 303 s.f.
PROPOSED REAR BBQ CANOPY AREA = 144 s.f.
PROPOSED NET FLOOR AREA = 4,422 s.f. = 38.68%

BUILDING SET BACKS:

REQUIRED FRONT SET BACK = 22'-11" (Block Average)
EXISTING FRONT SET BACK = 25'-0"
PROPOSED FRONT SET BACK = 25'-0"
REQUIRED REAR SET BACK = 15'-0"
EXISTING REAR SET BACK = 15'-0"
PROPOSED REAR SET BACK = 28'-0"
REQUIRED INTERIOR SIDE SET BACK = (10%)LOT WIDTH = 9'-10"
PROPOSED INTERIOR SIDE SET BACK = 9'-10"

BUILDING HEIGHT:

ALLOWABLE MAX. BUILDING HEIGHT = 23'-0" (to Top of Flat Roof Parapet)
PROPOSED MAX. BUILDING HEIGHT = 16'-0" (to Top of Flat Roof Parapet)
ALLOWABLE MAX. BUILDING HEIGHT = 20'-0" (to Top of Plate)
PROPOSED MAX. BUILDING HEIGHT = 13'-0" (to Top of Plate)

NOTE:

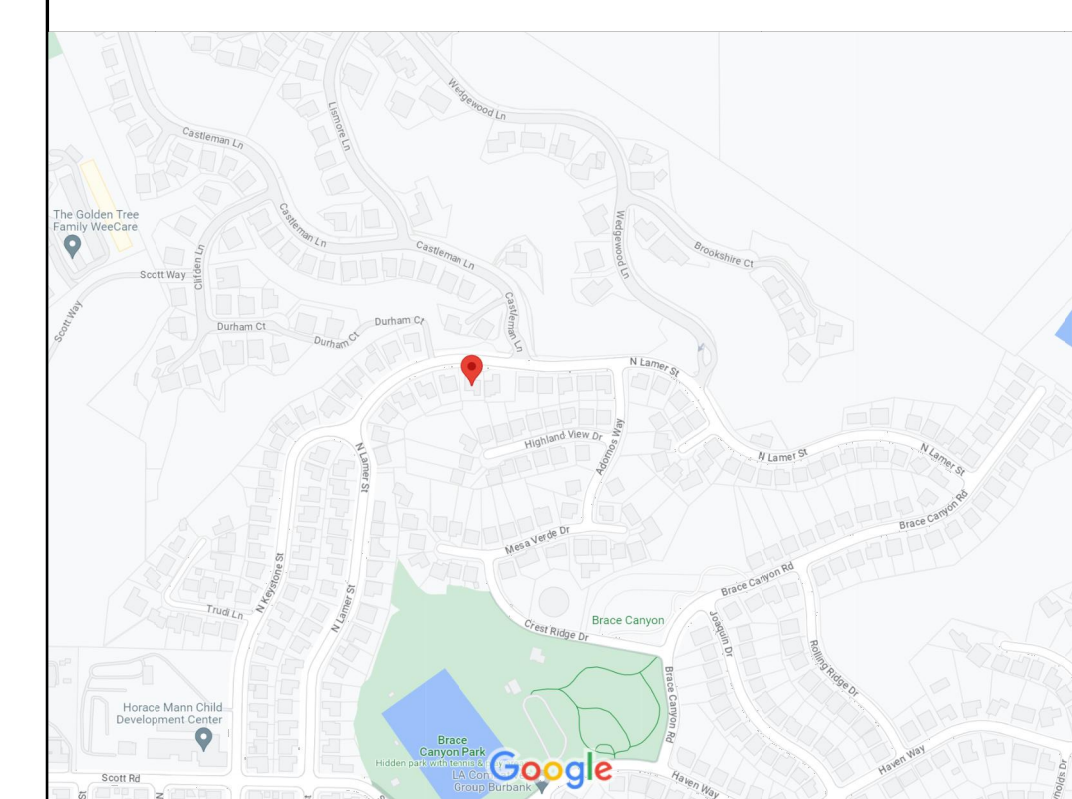
FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET

ZONING NOTES:

- NO NEW ROOFTOP EQUIPMENT IS ALLOWED
- THE FOLLOWING ITEMS SHALL BE ON A SEPARATE PERMIT:
 - RETAINING WALLS / BOUNDARY WALLS
 - POOLS / SPAS / JACUZZIS
 - FENCES / TRELLIS / PATIO COVERS
 - GRADING / DRAINAGE / EROSION
 - FIRE SPRINKLERS

PLOT PLAN (3/32"= 1'-0")

VICINITY MAP



SYMBOLS

- GENERAL BUILDING SECTION NUMBER/LETTER SHEET WHERE DRAWN
- PARTIAL SECTION OR PARTIAL DETAIL NUMBER SHEET WHERE DRAWN
- FLOOR LEVEL OF DOOR
- DOOR NUMBER
- FLOOR LEVEL OF WINDOW
- WINDOW NUMBER
- ROOM REFERENCE
- SMOKE DETECTOR

LEGEND:

- CONCRETE BLOCK WALL
- EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE
- INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C. PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION
- 1-HR FIRE RATED WALL:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C. (FOR WALL SEPARATING GARAGE FROM LIVING SPACE)

- A.D. AREA DRAIN
- 4"Ø DRAIN PIPE TO STREET 2% MIN. SLOPE (TYP)
- DS DOWN SPOUT

NOTE:
FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET

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LANDSCAPING :

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- L-3 - Landscape Details

CONSULTANTS

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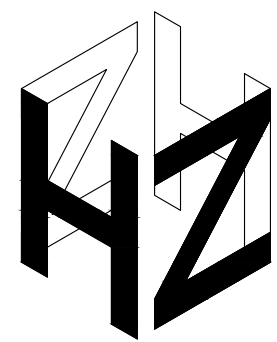
STRUCTURAL ENGINEER:

GEOTECHNICAL ENGINEER:

ENERGY CONSERVATION

FIRE DEPARTMENT NOTES

- ADDRESS NUMBERS:
APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
- FIRE SPRINKLERS:
PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE BURBANK FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.
- SMOKE DETECTORS:
SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER ALARMS.
- CARBON MONOXIDE DETECTORS:
SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2013 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC R315
- FUEL MODIFICATION / LANDSCAPING FOR HIGH FIRE HAZARD AREAS (HFHA):
MAINTAIN EXISTING / PROVIDE FUEL MODIFICATION ONLY - NO FIRE DEPARTMENT REVIEW OR PERMITTING OF LANDSCAPE PLANS
- FIRE PERMITS:
THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE DEPARTMENT:
 - FIRE SPRINKLER
- REQUIRED FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE LISTED BELOW. FOR ALL INSPECTIONS CALL
 - FIRE SPRINKLER OVERHEAD/UNDERGROUND ROUGH AND FLUSH (BEFORE COVERING ANY PIPING)
 - FIRE SPRINKLER FINAL
 - FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT ACCESS, SMOKE DETECTOR, FUEL MODIFICATION, ETC)



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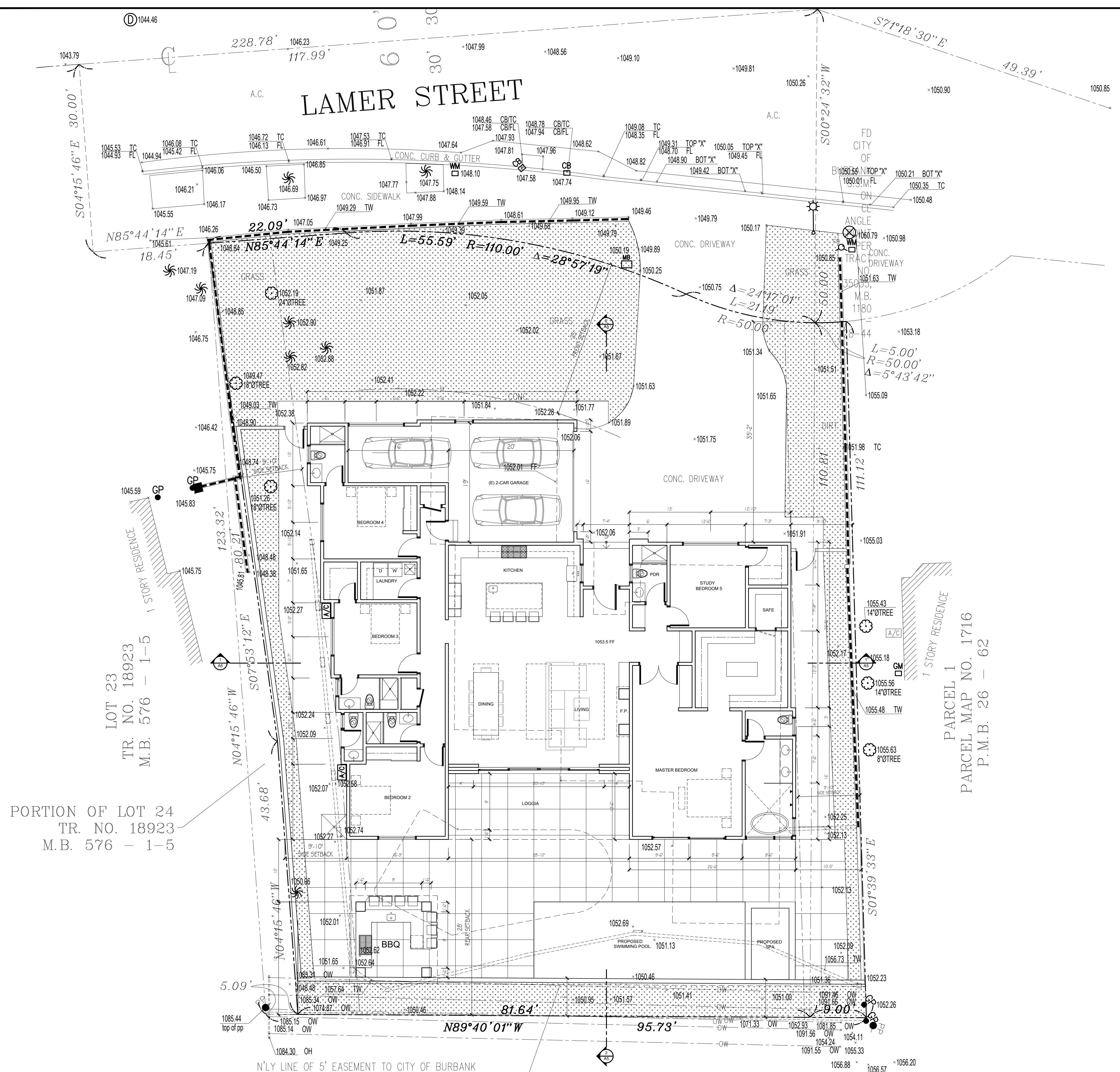
REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

SITE AND GROUND FLOOR PLAN

DATE	05.08.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	A2



PROJECT DESCRIPTION:
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TRACT # 18923 LOT COM E ON S LINES OF
LOT 24. 5.09 FT FROM SW COR OF SD LOT TH
N 4° 15' 46" W 43.68 FT TH N 7° 53' 12" W
80.21 FT TH E ON S LINE OF LAMER ST
... SEE MAPBOOK FOR MISSING PORTION ... LOT 25

APN = 2471 - 034 - 007
ZONE = R1
OCCUPANCY = R-3 / U
TYPE OF CONSTRUCTION = V-B (FULLY SPRINKLERED)
NUMBER OF STORIES = 1
CA CLIMATE ZONE = 9
HIGH FIRE ZONE = YES
FIRE SPRINKLER = YES
EXISTING LOT AREA = 11,430 s.f.

FLOOR AREA:
ALLOWABLE FLOOR AREA = (40%) 7,500 s.f. + (30%) 3,930 = 4,179 s.f.
EXISTING FLOOR AREA (TO BE REMOVED) = 2,068 s.f.

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REQUIRED FRONT SET BACK = 22'-11" (Block Average)
EXISTING FRONT SET BACK = 25'-0"
PROPOSED FRONT SET BACK = 25'-0"

REQUIRED REAR SET BACK = 15'-0"
EXISTING REAR SET BACK = 15'-0"
PROPOSED REAR SET BACK = 28'-0"

REQUIRED INTERIOR SIDE SET BACK = (10%) LOT WIDTH = 9'-10"
PROPOSED INTERIOR SIDE SET BACK = 9'-10"

BUILDING HEIGHT:
ALLOWABLE MAX. BUILDING HEIGHT = 23'-0" (to Top of Flat Roof Parapet)
PROPOSED MAX. BUILDING HEIGHT = 16'-0" (to Top of Flat Roof Parapet)
ALLOWABLE MAX. BUILDING HEIGHT = 20'-0" (to Top of Plate)
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NOTE:
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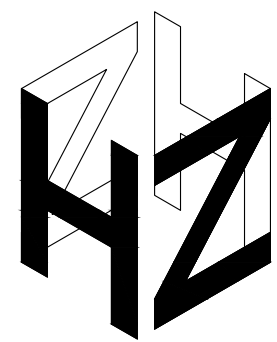
ZONING NOTES:
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• RETAINING WALLS / BOUNDARY WALLS
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• FENCES / TRELLIS / PATIO COVERS
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• FIRE SPRINKLERS

PORTION OF LOT 24
TR. NO. 18923
M.B. 576 - 1-5

LOT 23
TR. NO. 18923
M.B. 576 - 1-5

N'LY LINE OF 5' EASEMENT TO CITY OF BURBANK
FOR PUBLIC UTILITY PURPOSES
PER TRACT NO.18923, MB 576-1-5

1 PROPOSED SITE AND GROUND FLOOR PLAN
SCALE 1/8"=1'-0"



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ZONE = R1
OCCUPANCY = R-3 / U
TYPE OF CONSTRUCTION = V-B
NUMBER OF STORIES = 1
CA CLIMATE ZONE = 9
HIGH FIRE ZONE = YES
FIRE SPRINKLER = YES
EXISTING LOT AREA = 11,430 s.f.

EXISTING FLOOR AREA:

EXISTING FLOOR AREA (TO BE REMOVED) = 2,088 s.f.
EXISTING 2-CAR ATTACHED GARAGE AREA (TO BE REMOVED) = 405 s.f.

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PROJECT:

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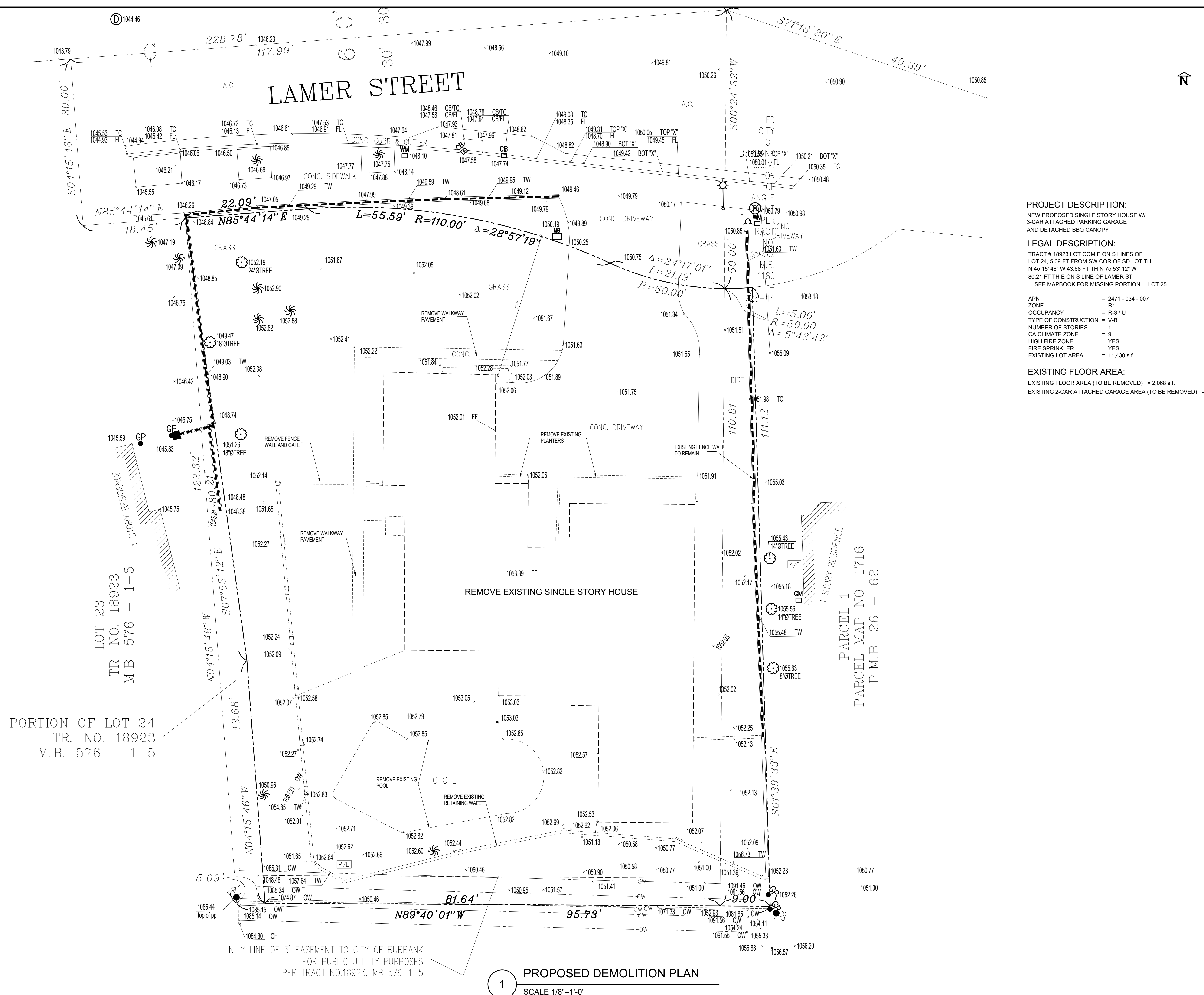
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED DEMOLITION PLAN

DATE	05.08.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A2.1



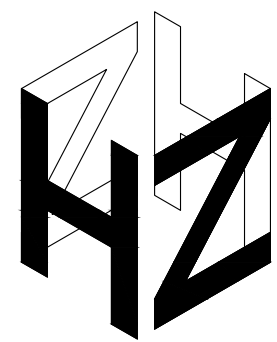
1 PROPOSED DEMOLITION PLAN
SCALE 1/8"=1'-0"

PORTION OF LOT 24
TR. NO. 18923
M.B. 576 - 1-5

LOT 23
TR. NO. 18923
M.B. 576 - 1-5

1 STORY RESIDENCE
PARCEL 1
PARCEL MAP NO. 1716
P.M.B. 26 - 62

N'LY LINE OF 5' EASEMENT TO CITY OF BURBANK
FOR PUBLIC UTILITY PURPOSES
PER TRACT NO.18923, MB 576-1-5



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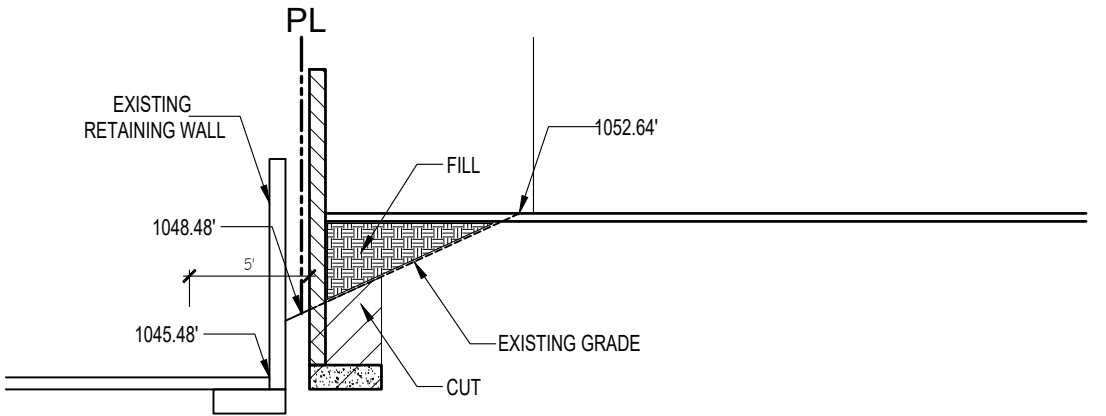
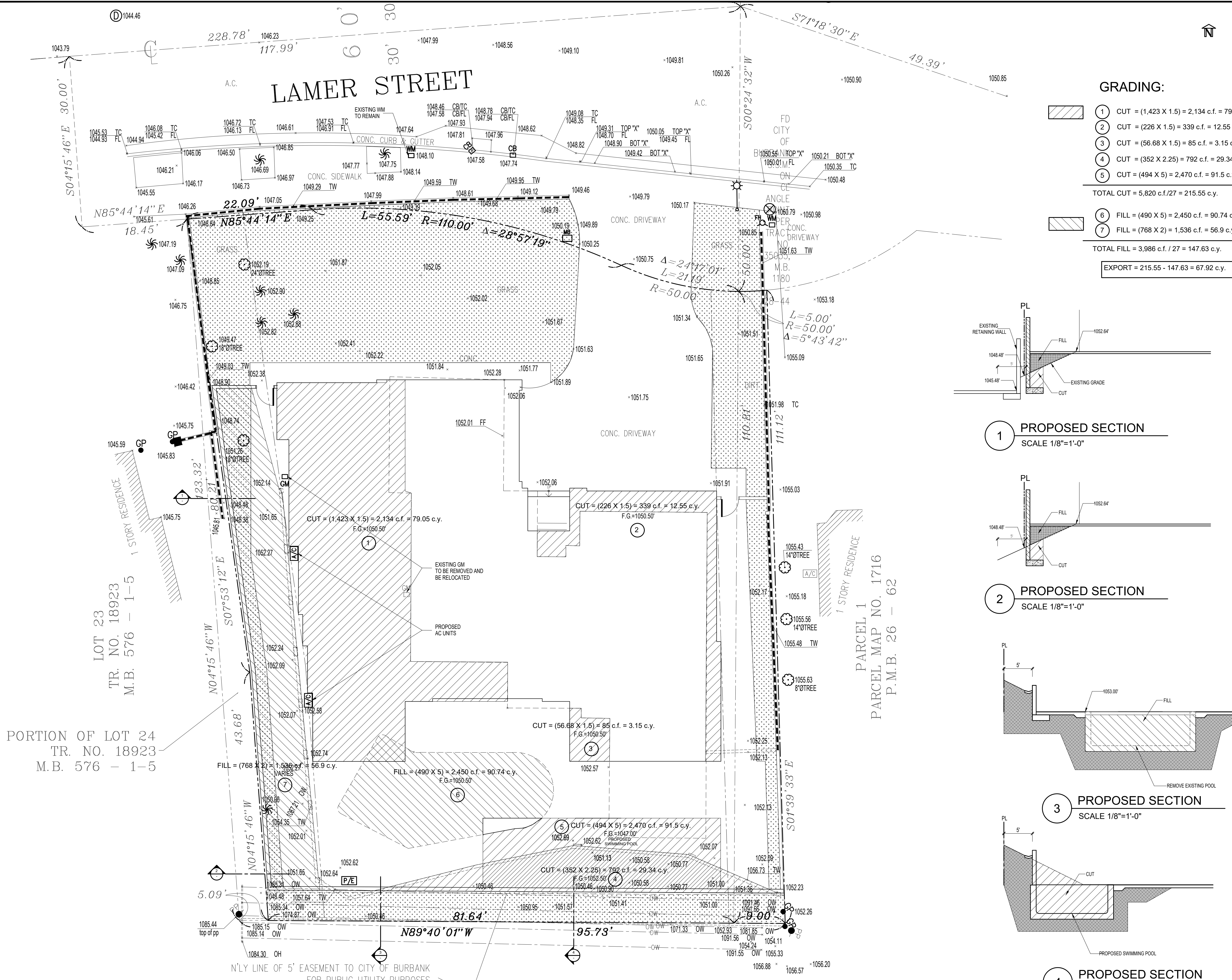
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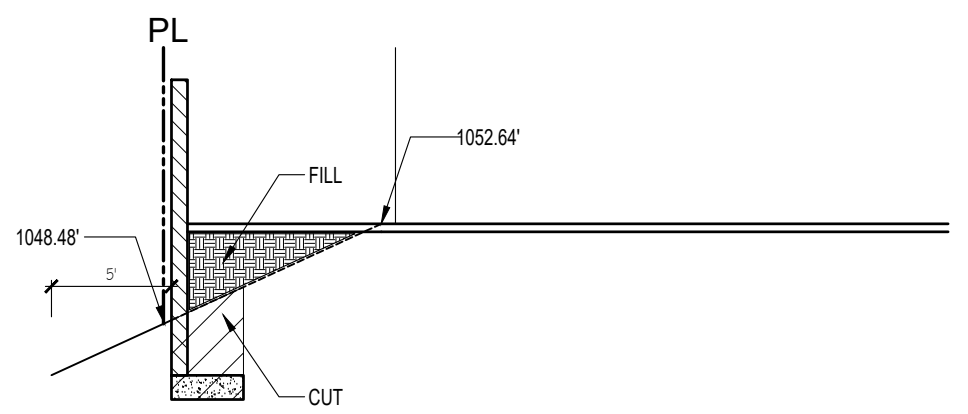
SHEET TITLE:
PROPOSED GRADING PLAN

DATE	05.08.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

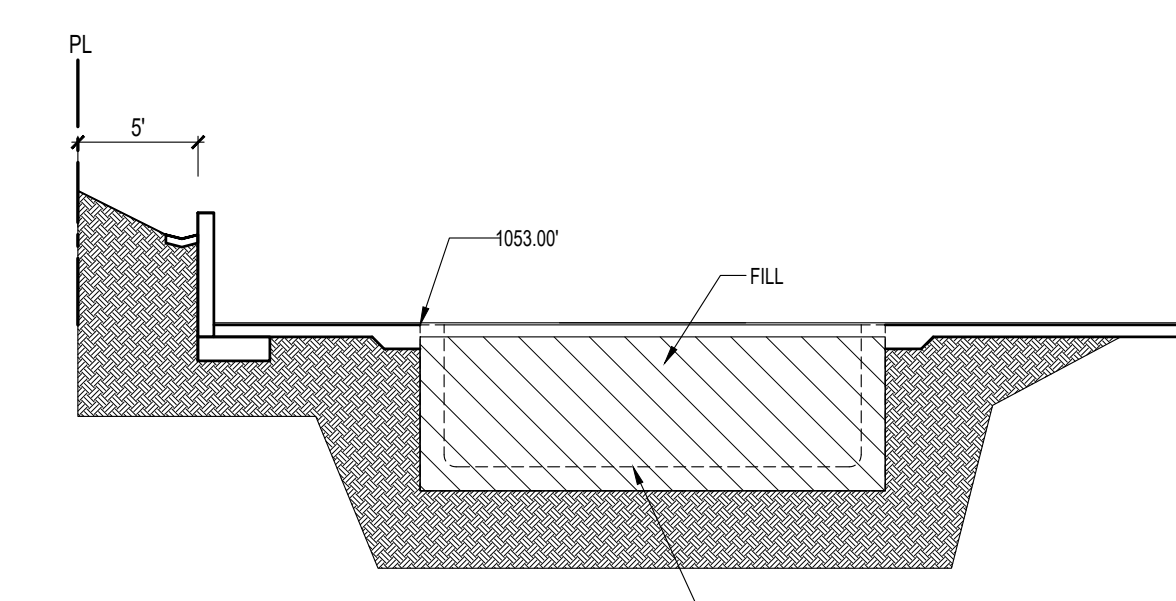
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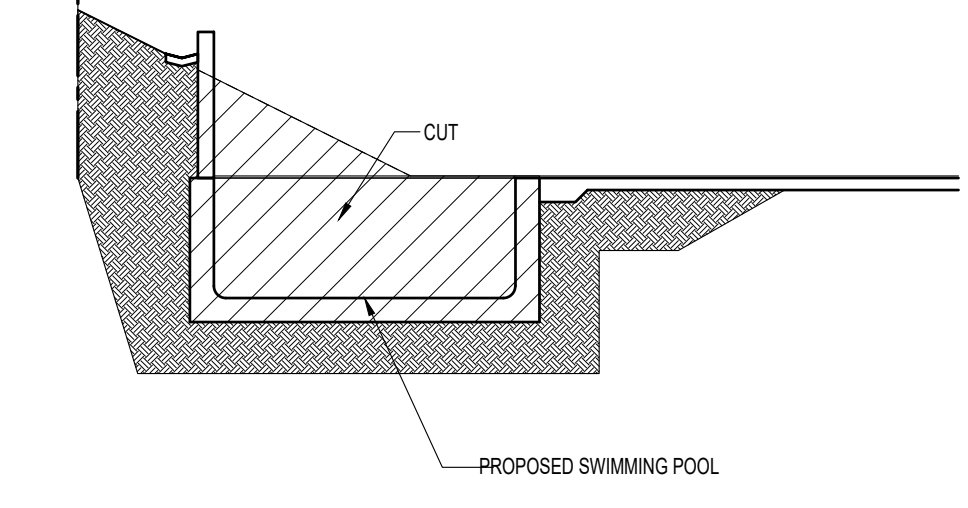
1 PROPOSED SECTION
 SCALE 1/8"=1'-0"



2 PROPOSED SECTION
 SCALE 1/8"=1'-0"



3 PROPOSED SECTION
 SCALE 1/8"=1'-0"



4 PROPOSED SECTION
 SCALE 1/8"=1'-0"

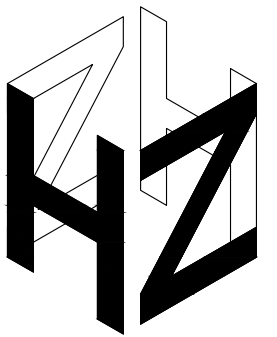
1 PROPOSED GRADING PLAN
 SCALE 1/8"=1'-0"

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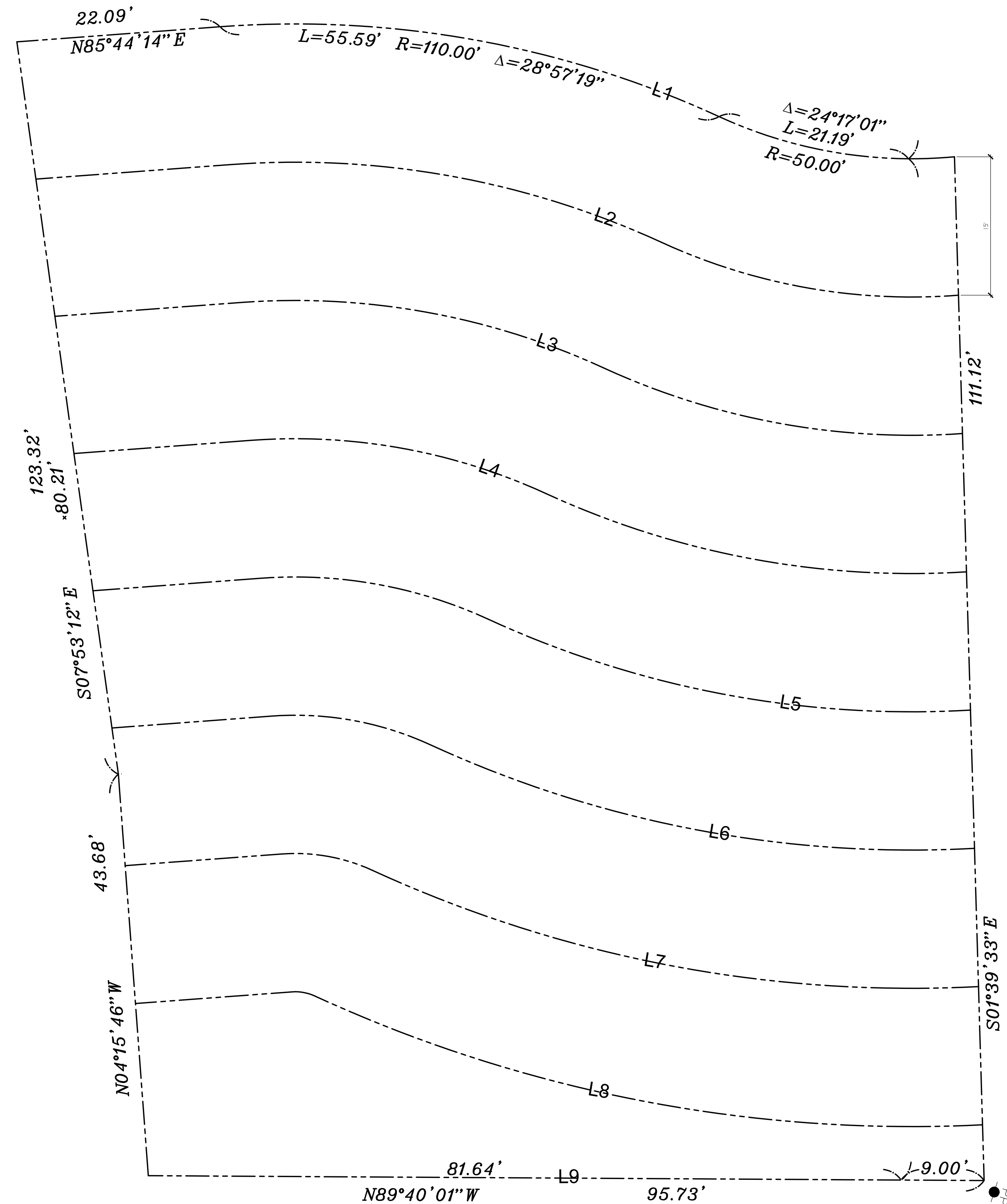


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AVERAGE LOT WIDTH

- L1 = 103.87
- L2 = 102.25
- L3 = 100.58
- L4 = 99.00
- L5 = 97.34
- L6 = 95.71
- L7 = 94.71
- L8 = 94.00
- L9 = 95.73

TOTAL = 883.19
 AVERAGE LOT WIDTH = 883.19 / 9 = 98.13



AVERAGE FRONT SETBACK

- 3112 N LAMER ST. = 21.67'
- 3118 N LAMER ST. = 23.34'
- 3124 N LAMER ST. = 27.42'
- 3130 N LAMER ST. = 26.16'
- 3136 N LAMER ST. = 19.08'
- 3142 N LAMER ST. = 22.42'
- 3148 N LAMER ST. = 20.16'

AVERAGE FRONT SETBACK = 160.25 / 7 = 22.89' = 22'-11"

2 EXISTING AVERAGE FRONT SETBACK
 SCALE 1/8"=1'-0"

1 EXISTING AVERAGE LOT WIDTH
 SCALE 1/8"=1'-0"

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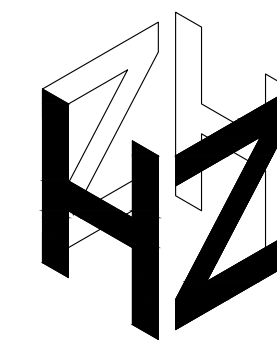
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REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
 AVERAGE LOT WIDTH AND
 AVERAGE FRONT SETBACK
 CALCULATIONS

DATE	05.08.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
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A2.3



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CLIENT:
Mr. and Mrs. Ekmekchian
 3130 N Lamer St.
 Burbank, Ca. 91504

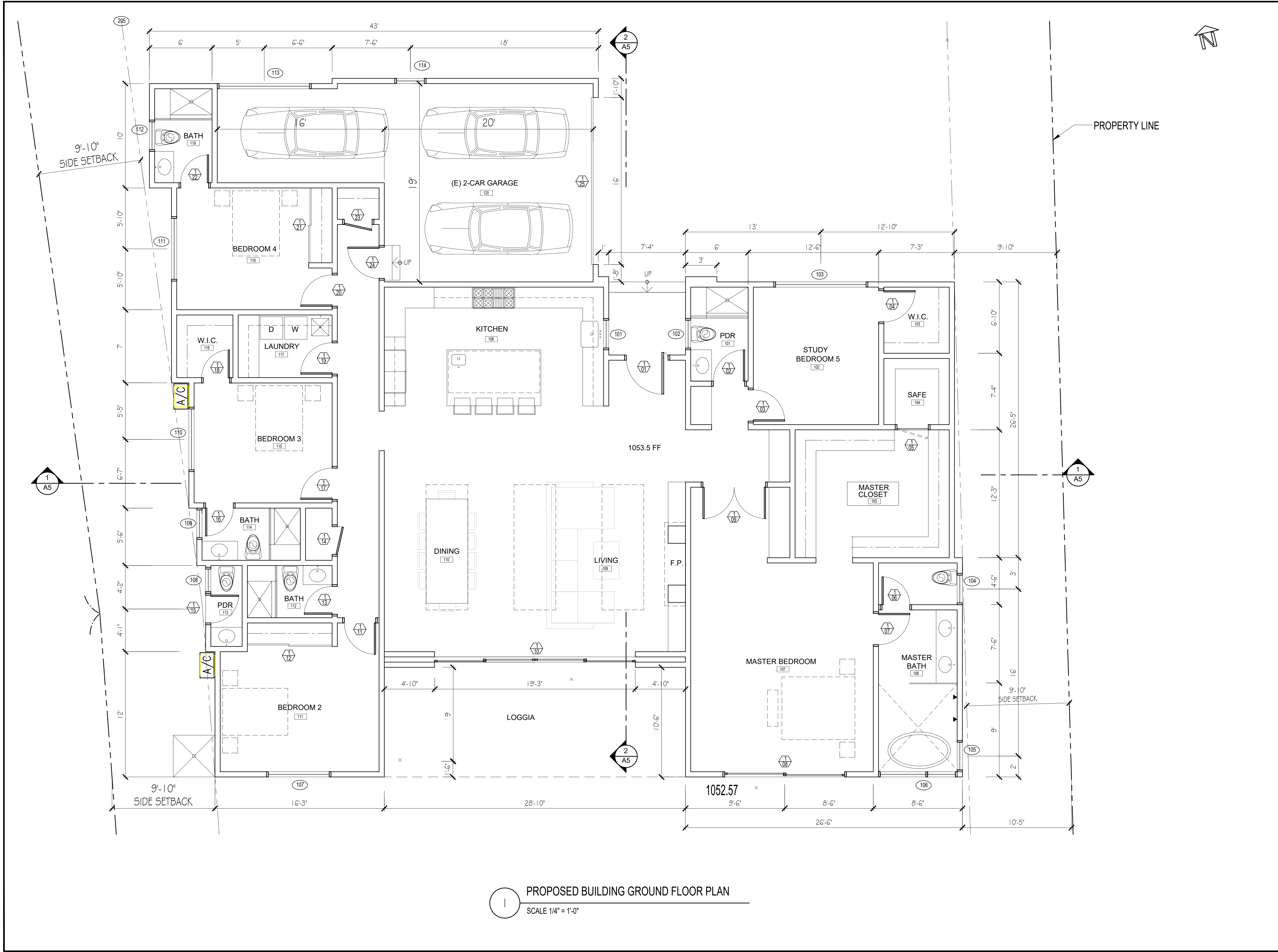
PROJECT:
Ekmekchian Residence
 3130 N Lamer St.
 Burbank, Ca. 91504

REVISIONS		
DESCRIPTION	DATE	BY

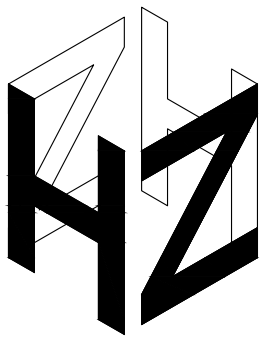
SHEET TITLE:
GROUND FLOOR PLAN

DATE	05.08.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A3.1



1 PROPOSED BUILDING GROUND FLOOR PLAN
 SCALE 1/4" = 1'-0"



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REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING ROOF PLAN

DATE	05.08.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A3.2

MODIFIED BITUMEN
CAP SHEET ROOFING
(CLASS "A" MIN.)

MODIFIED BITUMEN
CAP SHEET ROOFING
(CLASS "A" MIN.)

PREFABRICATED
ALUMINUM SKYLITE
(CLASS "A" MIN.)

PROPOSED BUILDING ROOF PLAN

SCALE 1/4" = 1'-0"

2
A5

1
A5

1
A5

2
A5

4:12
(TYP)

4:12
(TYP)

4:12
(TYP)

4:12
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(TYP)

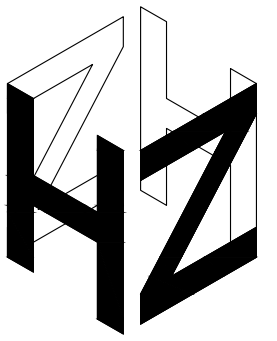
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(TYP)





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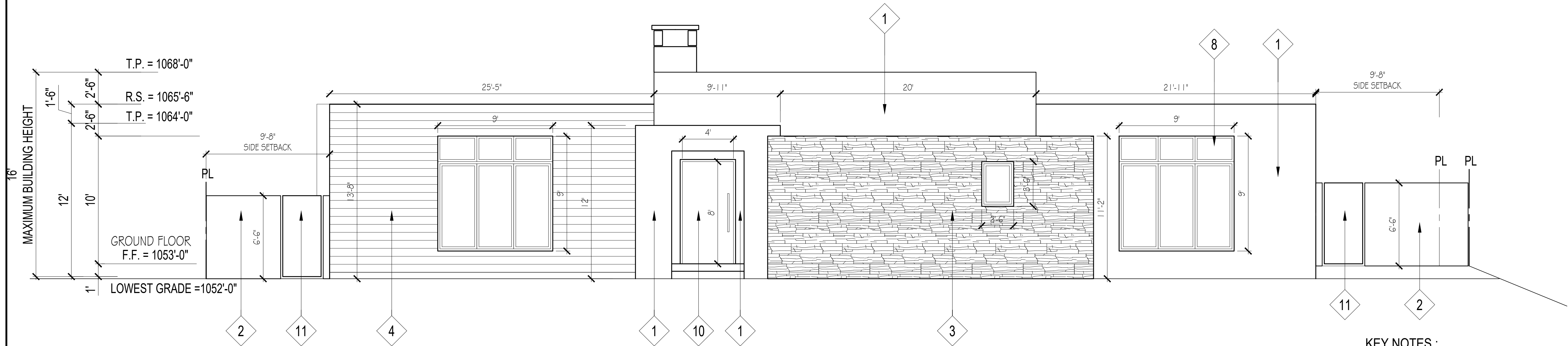
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
NORTH AND EAST ELEVATIONS

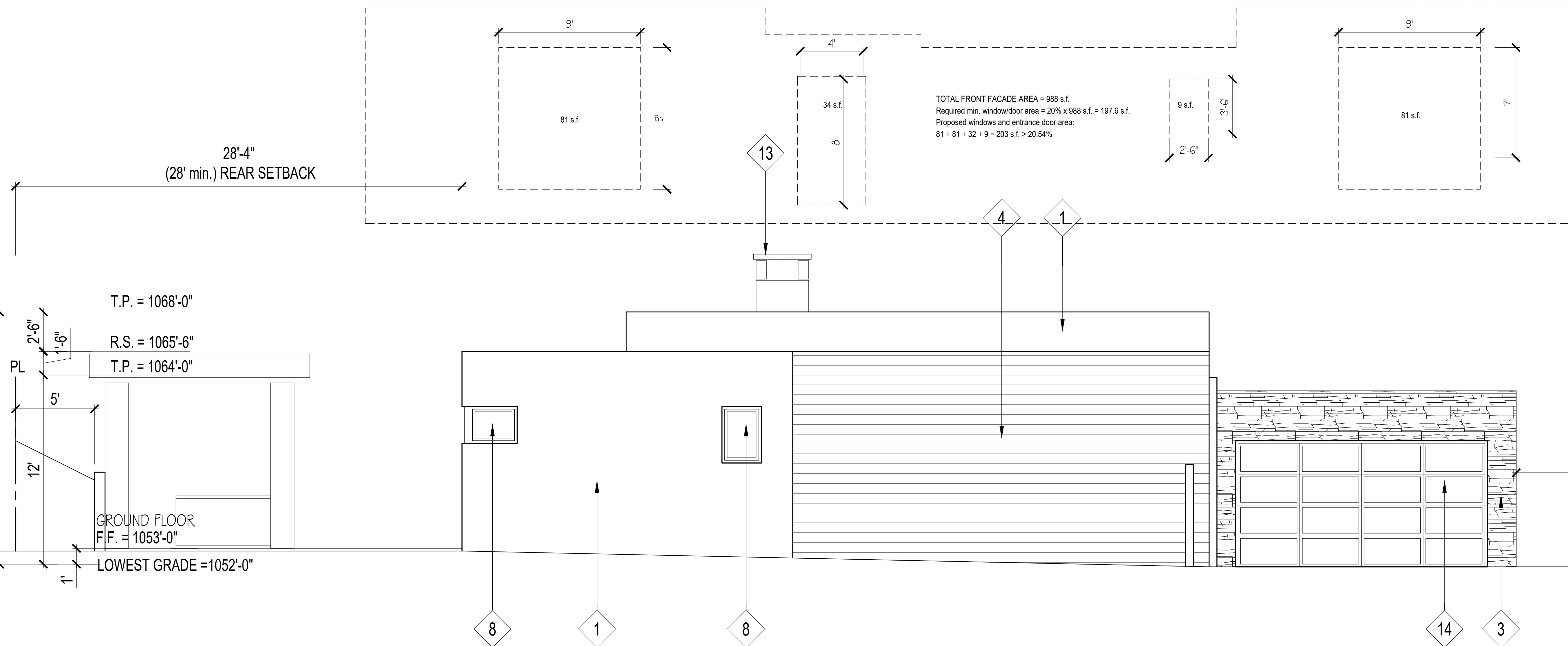
DATE	05.08.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A4.1



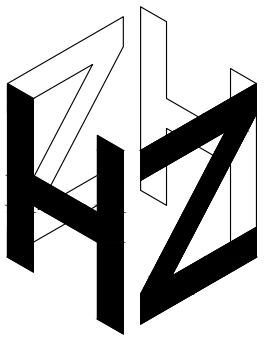
1 PROPOSED BUILDING NORTH ELEVATION

SCALE 1/4" = 1'-0"



2 PROPOSED BUILDING EAST ELEVATION

SCALE 1/4" = 1'-0"



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DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING SOUTH AND WEST ELEVATIONS

DATE 05.08.23

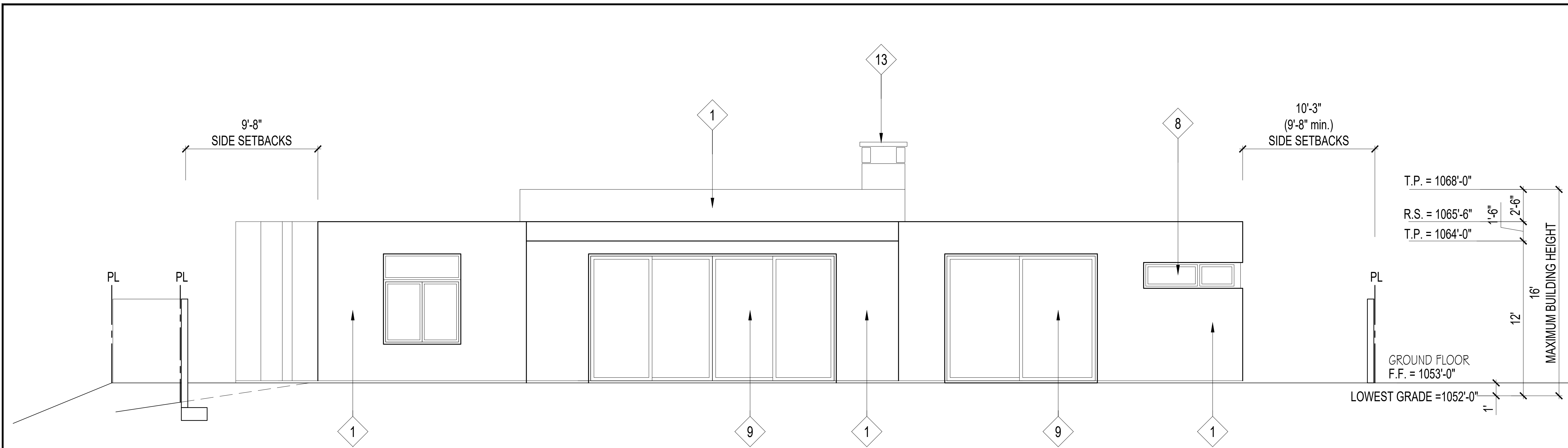
SCALE 1/4" = 1'-0"

DRAWN BY HZ

JOB NUMBER 011222

SHEET

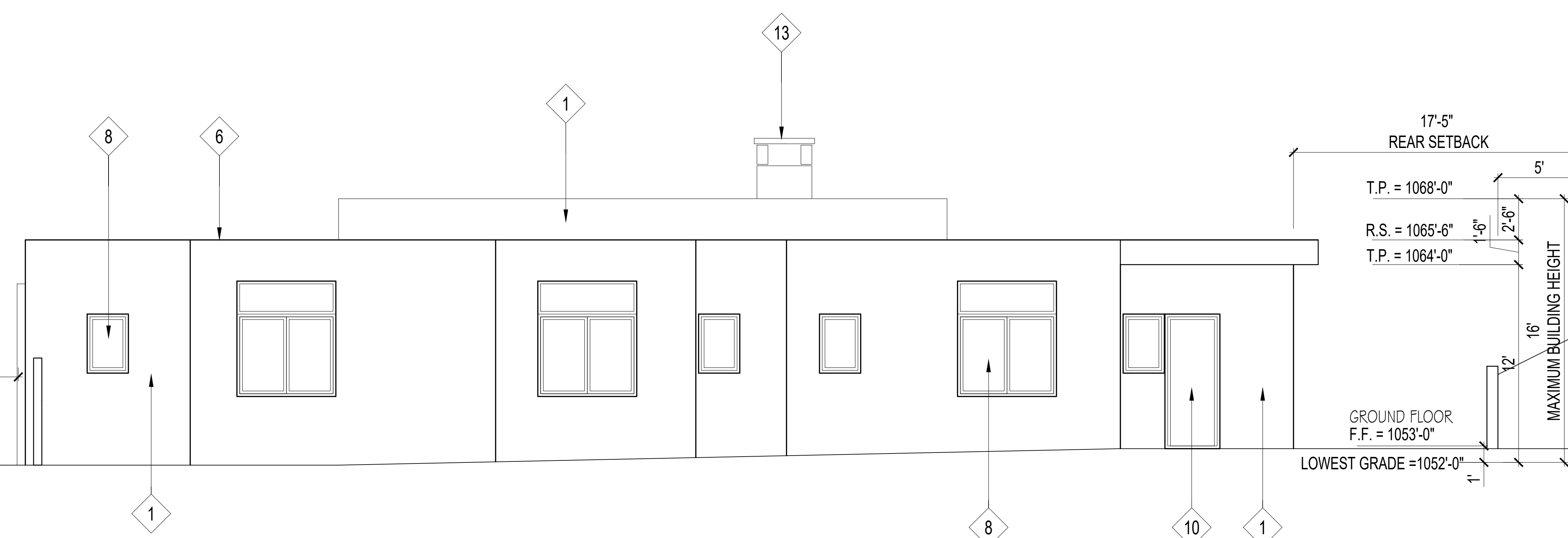
A4.2



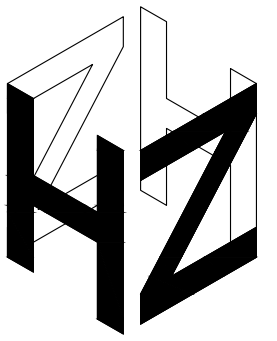
1 PROPOSED BUILDING SOUTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-19 INSULATION IN STUD SPACE
COLOR : Lahabra Stucco (Crystal white)
- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL
COLOR : Lahabra Stucco (Crystal white)
- 12" x 24" SMOOTH STONE TILES OVER BROWN COAT
COLOR : Basalt Gray Honed
- COMPOSITE WOOD SIDING
COLOR : Trespa Pura (Siberian Larch)
- PRE-PAINTED METAL CLAD CANOPY
COLOR : Match window frame color
- PRE-PAINTED METAL COPING (INVISIBLE)
COLOR : Black
- PRE-PAINTED METAL GUTTER AND DOWN SPOUT
COLOR : Black
- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : Ebony
- FIBER GLASS FRAMED DUAL GLAZED PATIO DOORS
COLOR : Ebony
- PAINTED HOLLOW METAL DOOR
COLOR : Black
- PAINTED METAL GATE
COLOR : Black
- SEALED CONCRETE STEPS
COLOR : Natural Gray
- PAINTED METAL CHIMNEY CAP
COLOR : Black
- PRE-PAINTED METAL FRAMED GLASS SECTIONAL GARAGE DOOR
COLOR : Black
- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- PRE-FINISHED METAL WALL LIGHT
COLOR : Black



2 PROPOSED BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"



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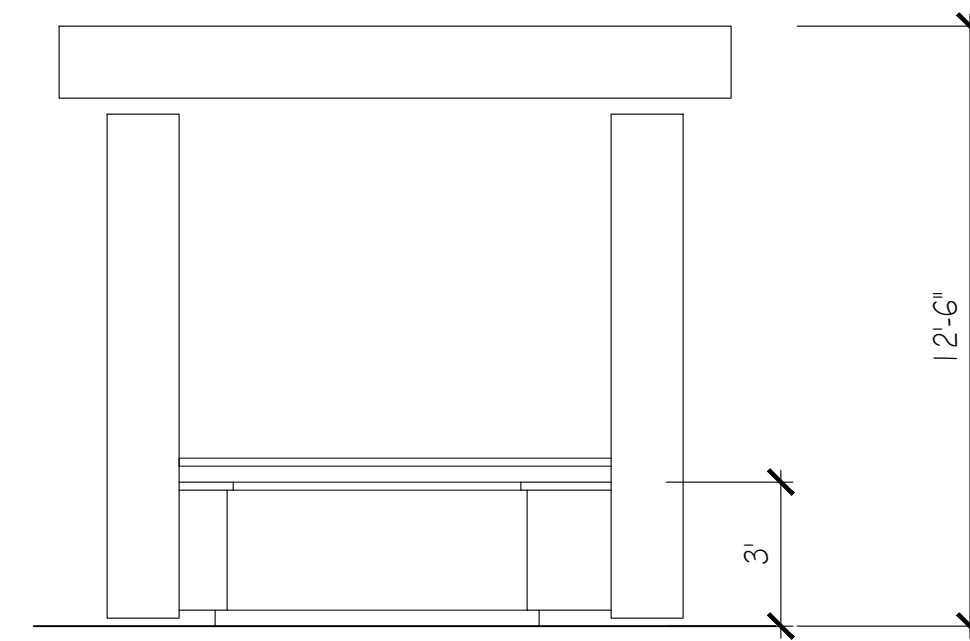
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED ACCESSORY
DETACHED BBQ CANOPY

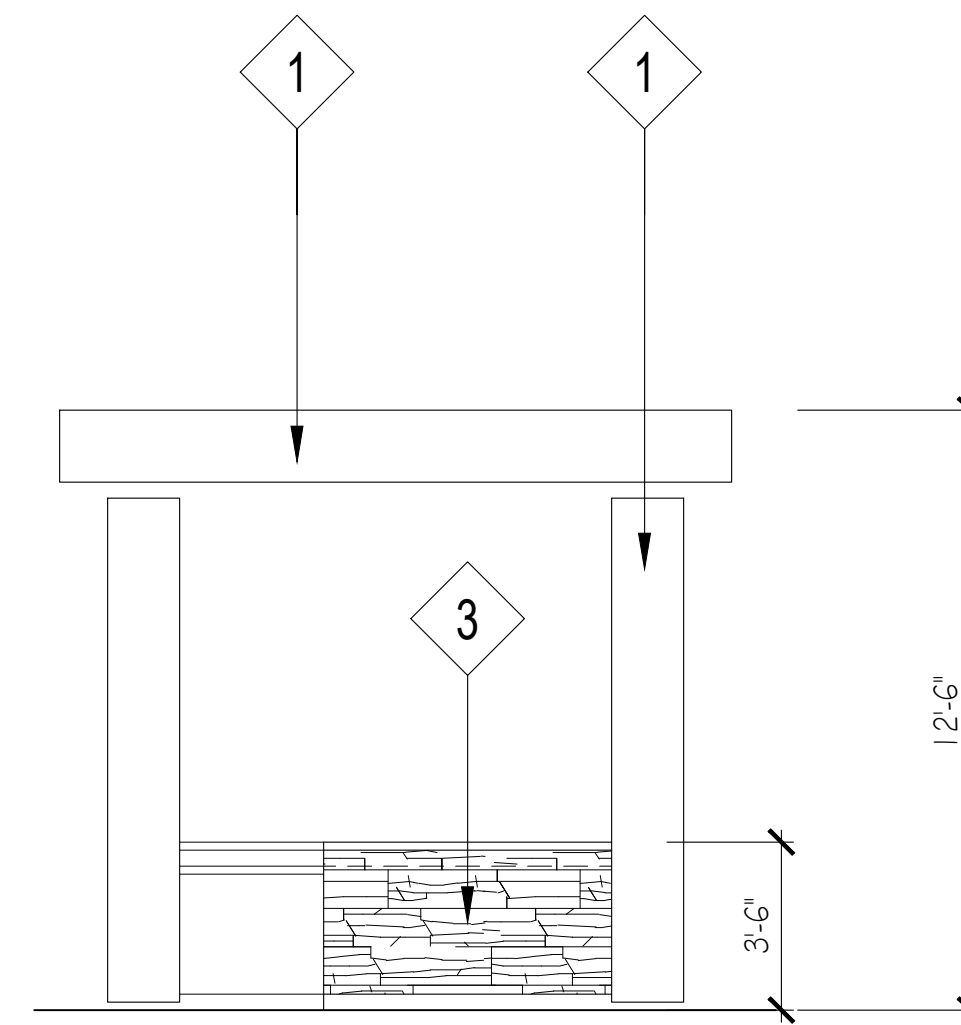
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SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A4.3



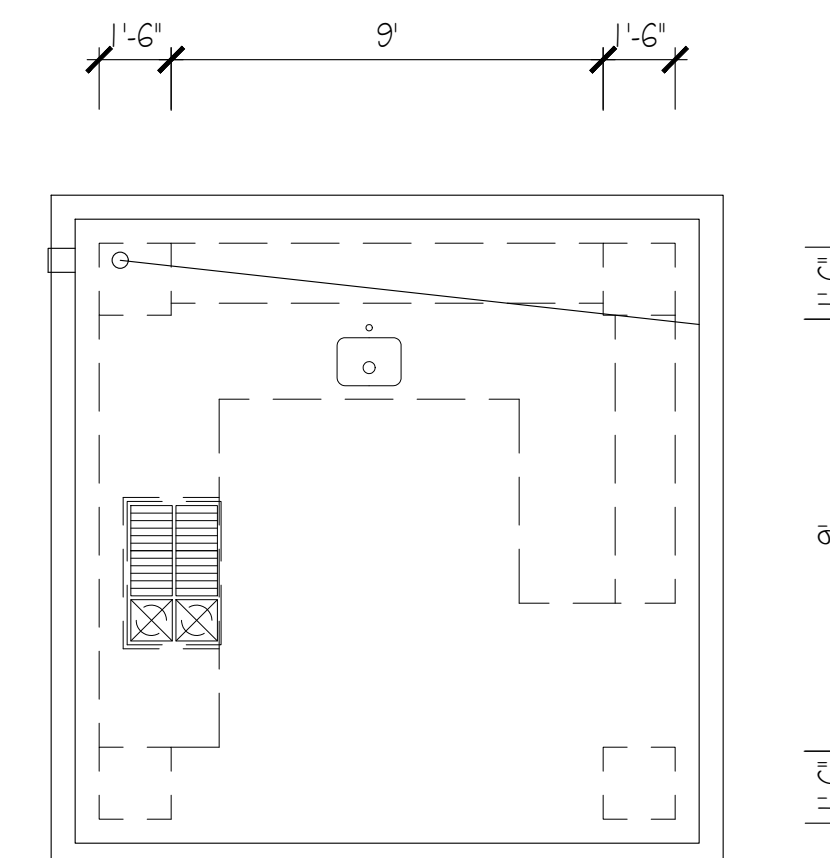
6 PROPOSED DETACHED BBQ CANOPY
SOUTH ELEVATION

SCALE 1/4" = 1'-0"



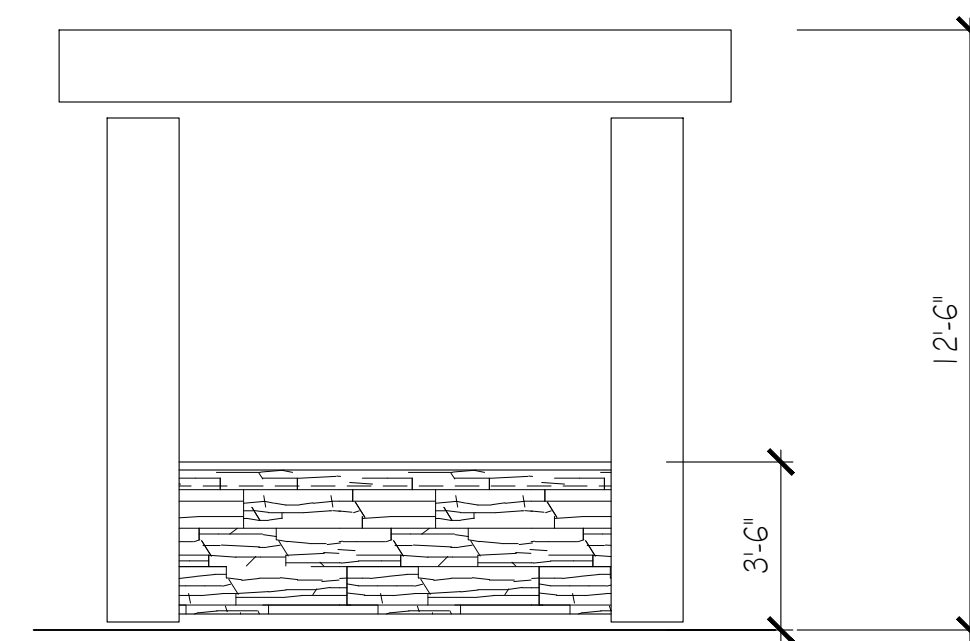
4 PROPOSED DETACHED BBQ CANOPY
EAST ELEVATION

SCALE 1/4" = 1'-0"



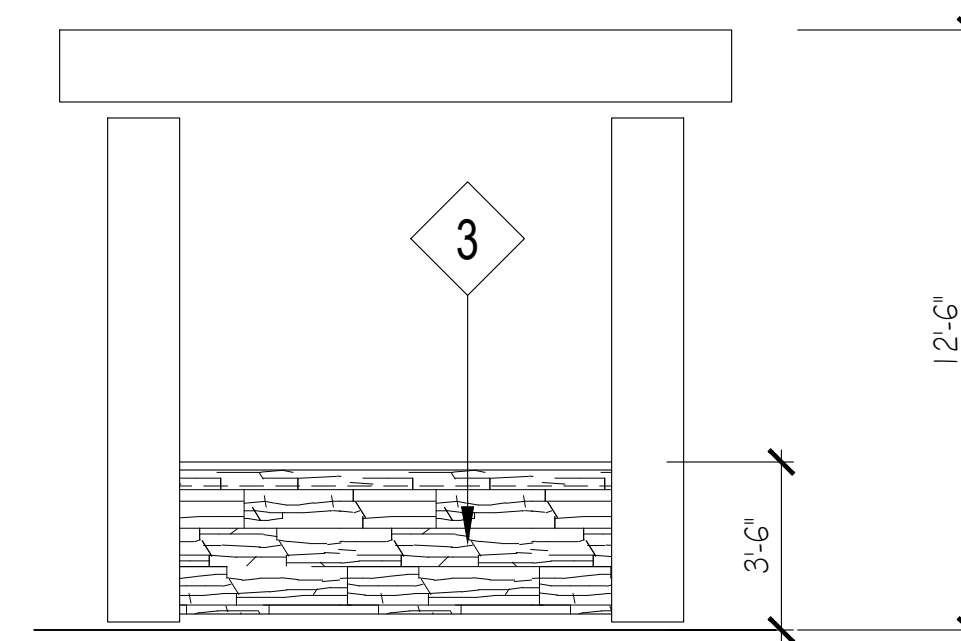
2 PROPOSED DETACHED BBQ CANOPY

SCALE 1/4" = 1'-0"



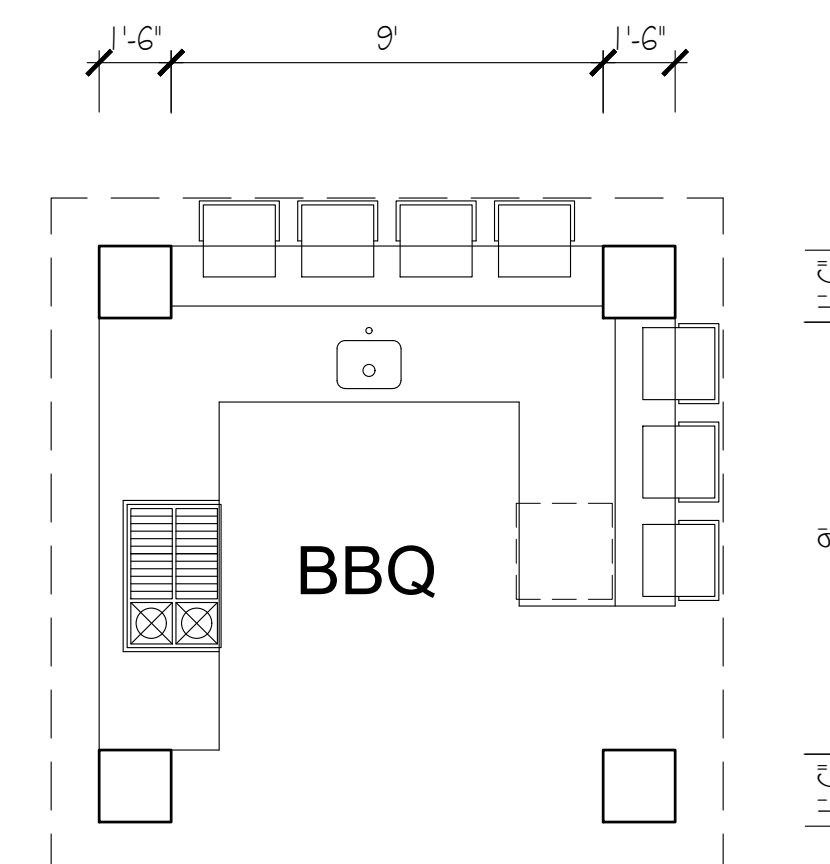
5 PROPOSED DETACHED BBQ CANOPY
WEST ELEVATION

SCALE 1/4" = 1'-0"



3 PROPOSED DETACHED BBQ CANOPY
NORTH ELEVATION

SCALE 1/4" = 1'-0"

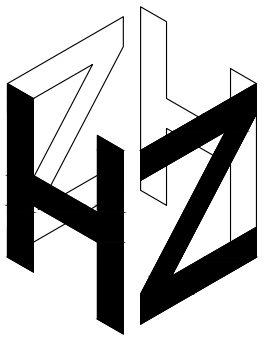


1 PROPOSED DETACHED BBQ CANOPY

SCALE 1/4" = 1'-0"

KEY NOTES :

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- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL
COLOR : Lahabra Stucco (Crystal white)
- 12" x 24" SMOOTH STONE TILES OVER BROWN COAT
COLOR : Basalt Gray Honed
- GRANITE COUNTER TOP
COLOR : Basalt Gray Honed
- PRE-PAINTED METAL COPING (INVISIBLE)
COLOR : Match Plaster finish



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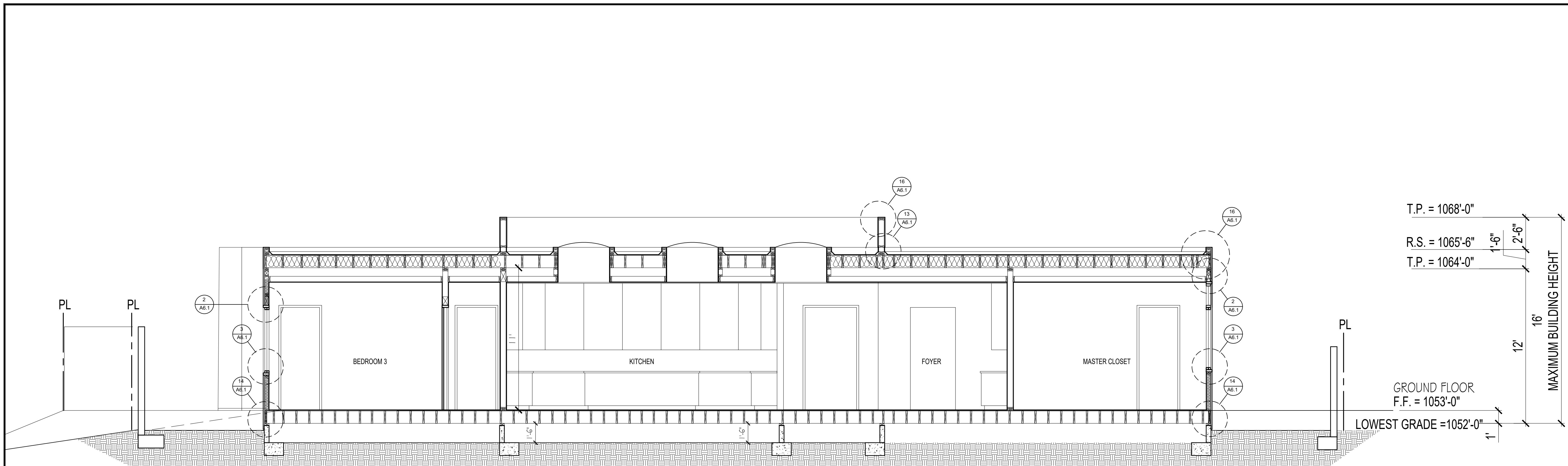
DESCRIPTION	DATE	BY

SHEET TITLE:

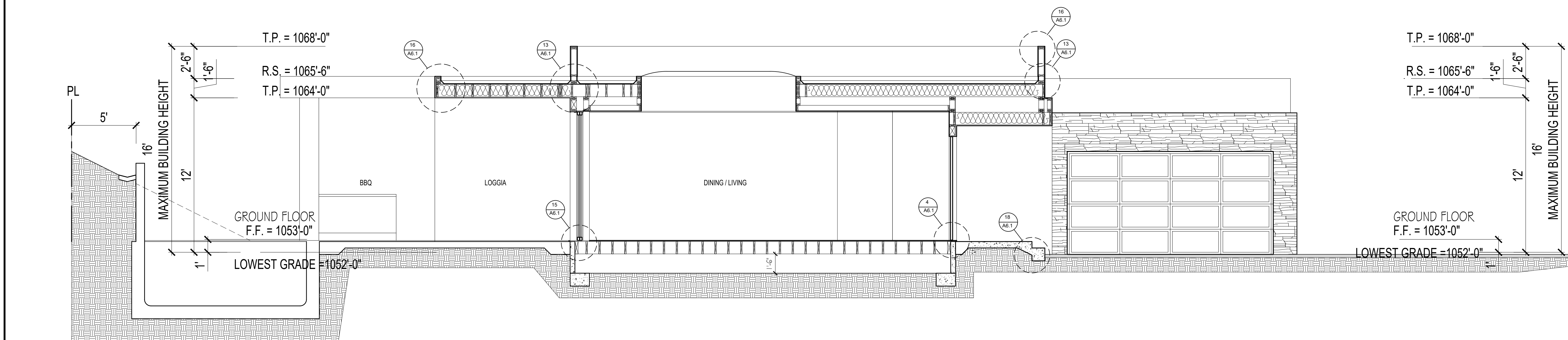
PROPOSED BUILDING SECTIONS

DATE	05.08.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

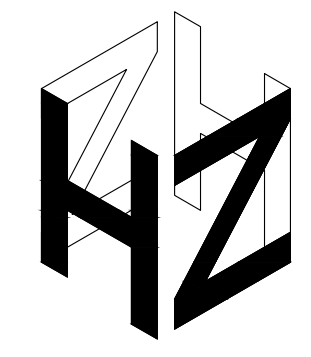
A5



1 PROPOSED BUILDING SECTION
SCALE 1/4" = 1'-0"



2 PROPOSED BUILDING SECTION
SCALE 1/4" = 1'-0"



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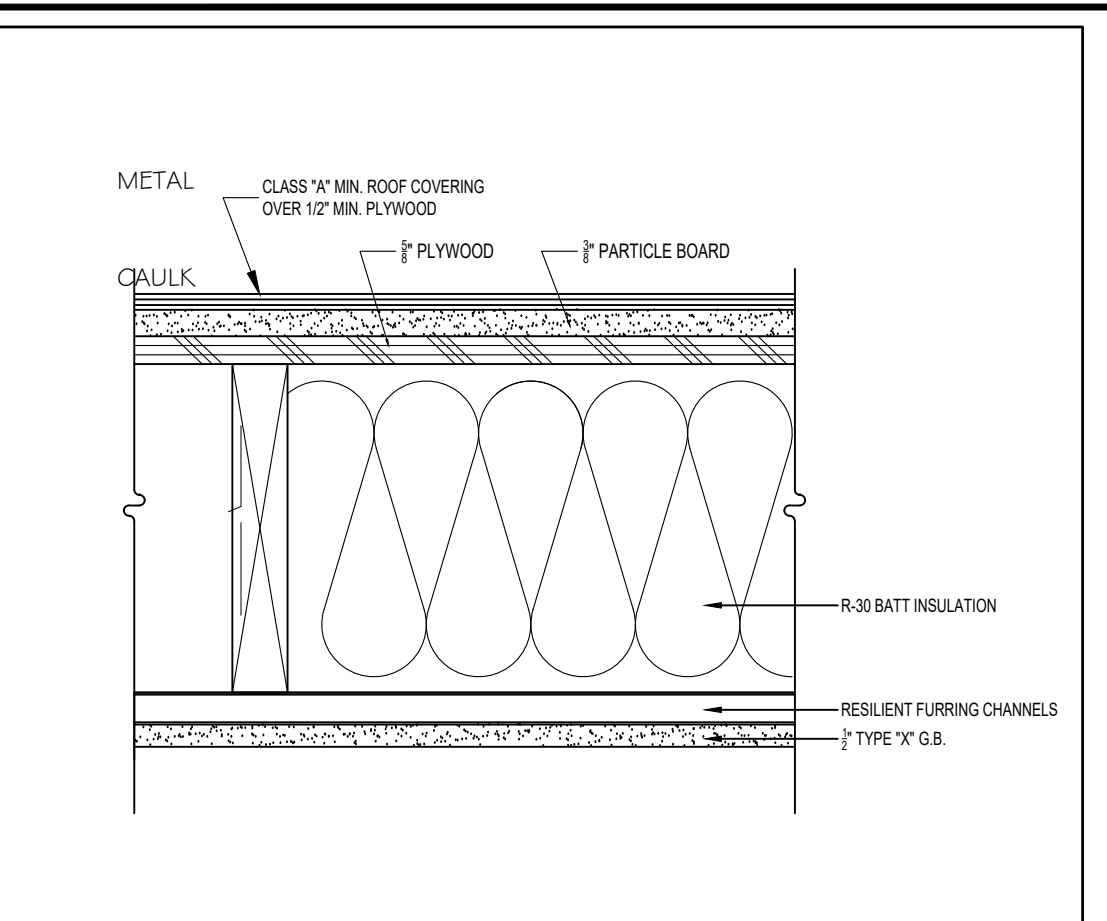
PROJECT:
Ekmekchian Residence
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REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
DETAILS

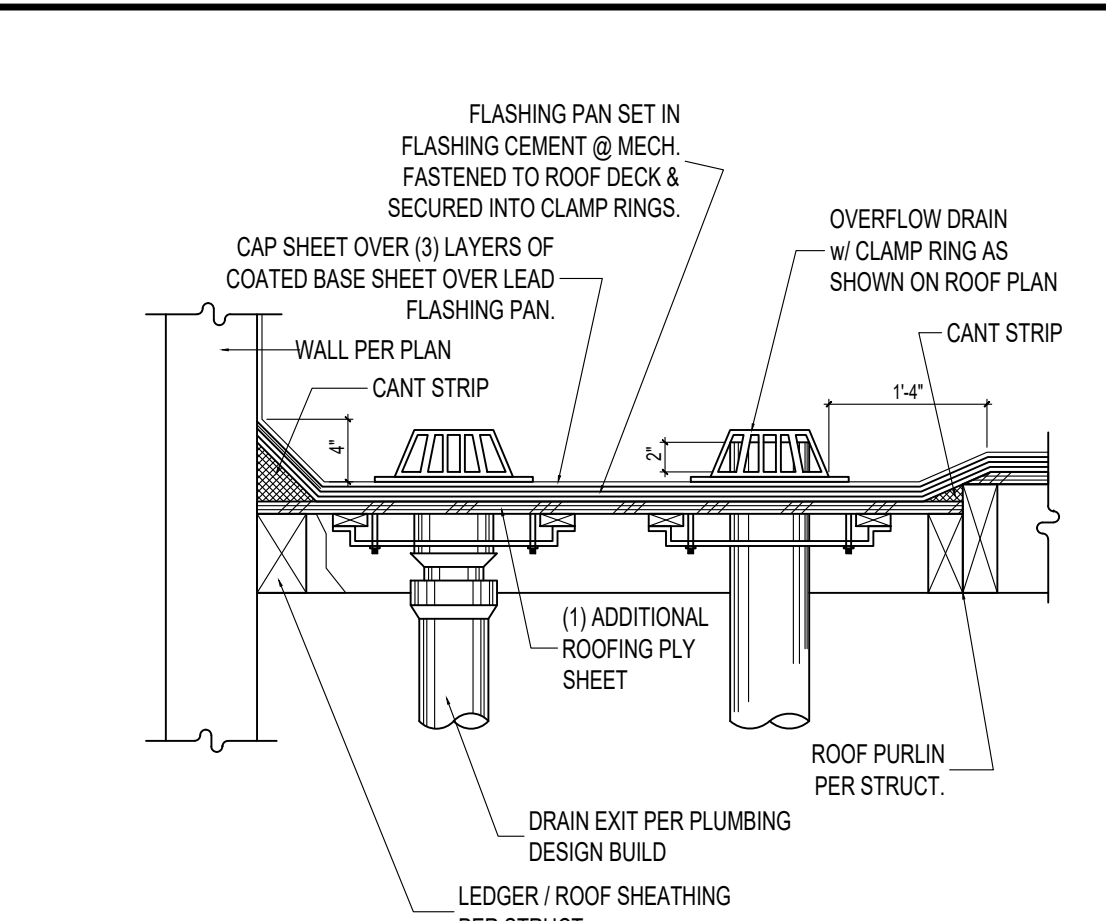
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SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A6.1



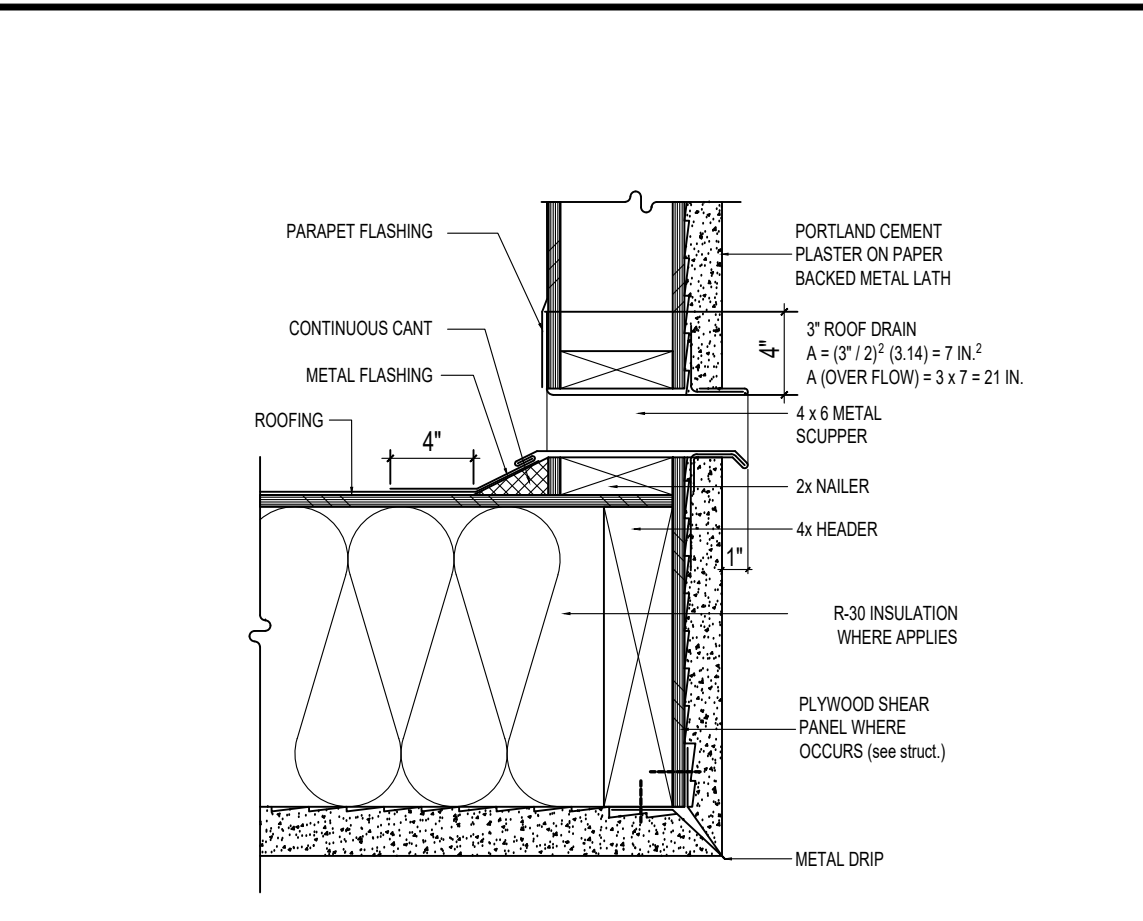
GA FILE NO. FC 5120 STC = 50 -54

1-HR RATED ROOF / CEILING N.T.S. 1



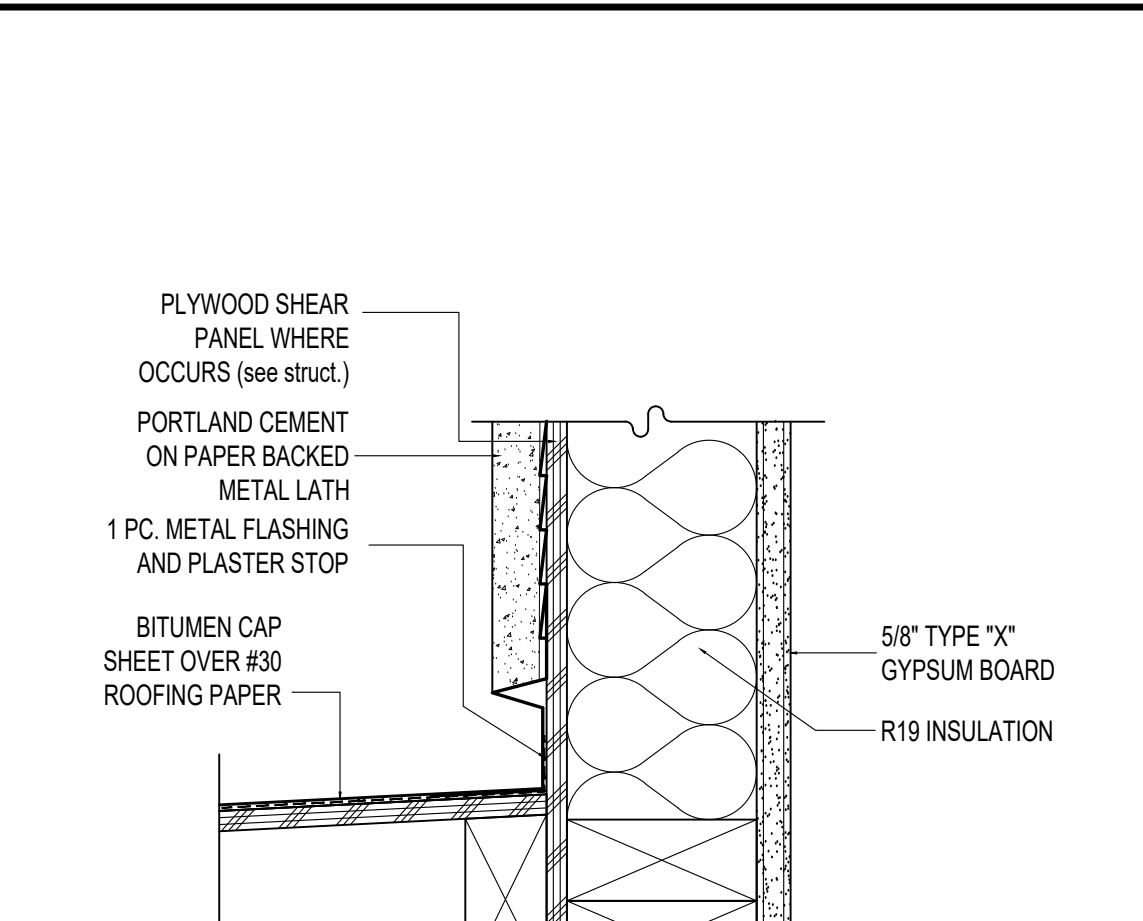
ROOF DRAIN/OVERFLOW 5

ROOF OVERFLOW SCUPPER 9



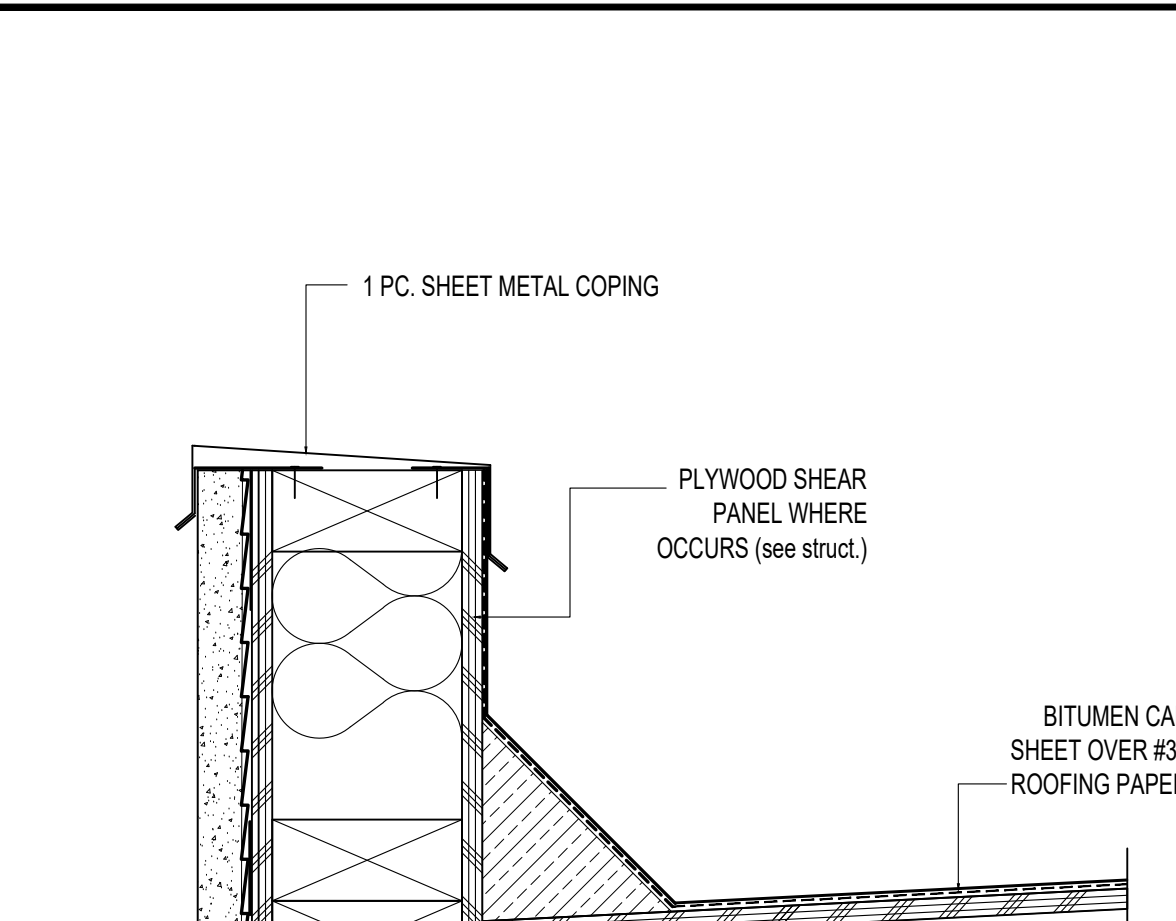
ROOF OVERFLOW SCUPPER 9

ROOF DRAIN/OVERFLOW 5



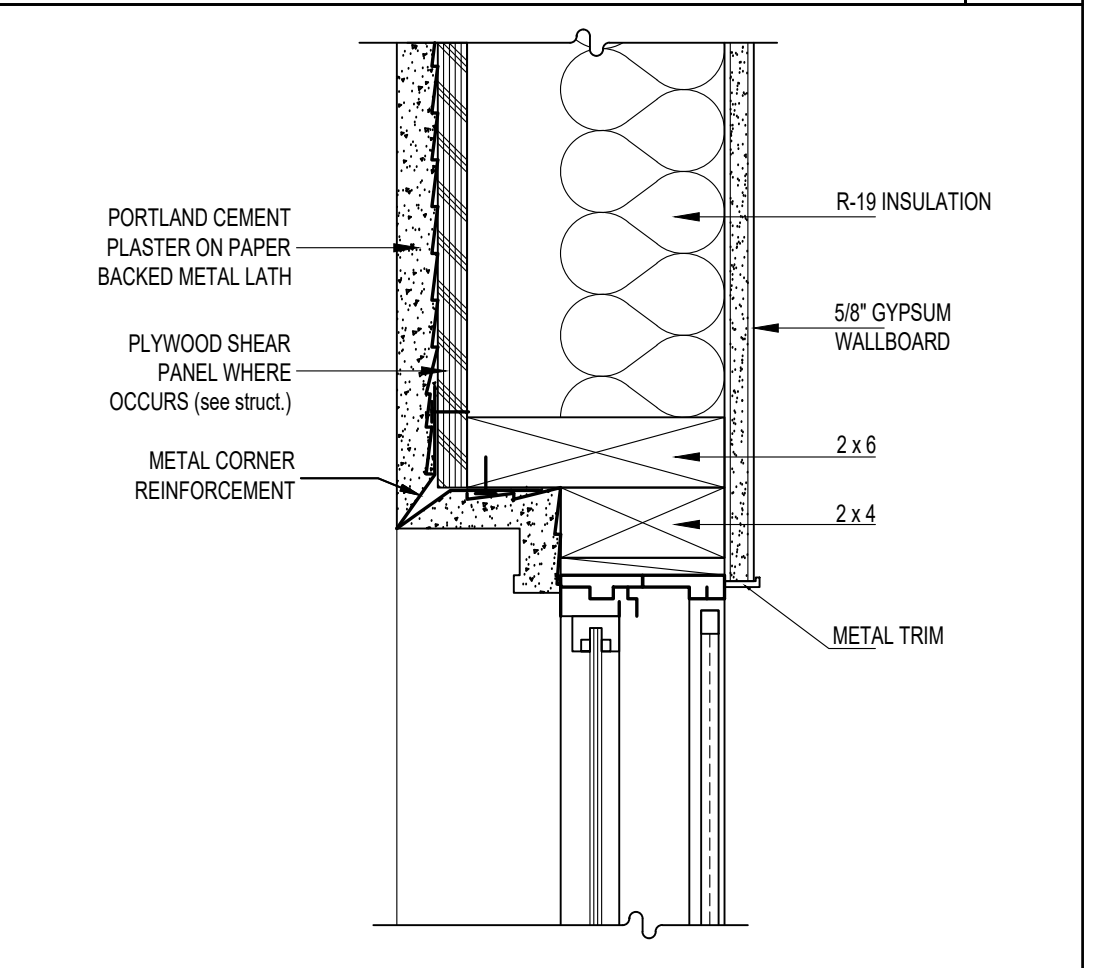
EXTERIOR WALL TO ROOF 13

EXTERIOR WALL TO ROOF 13



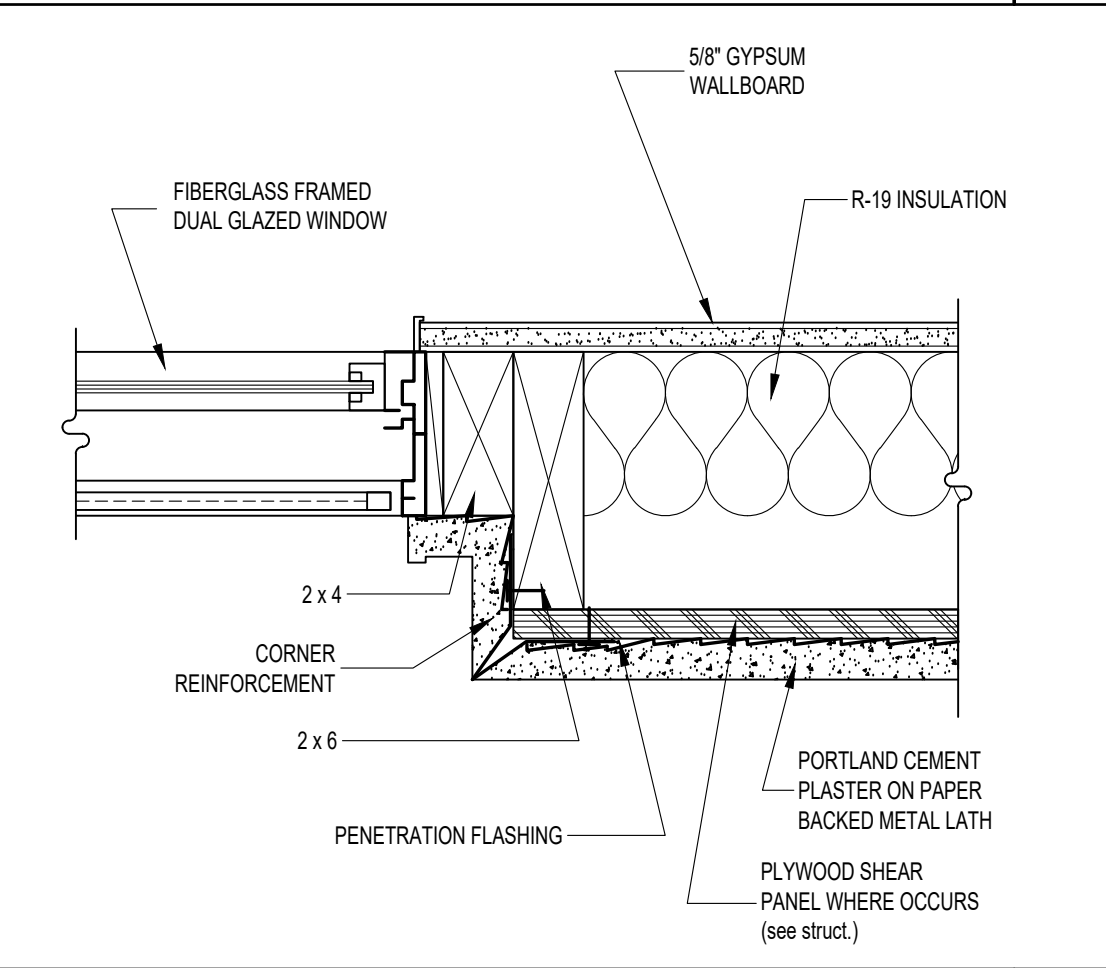
CANOPY AND ROOF OVERHANG EDGE N.T.S. 16

CANOPY AND ROOF OVERHANG EDGE N.T.S. 16



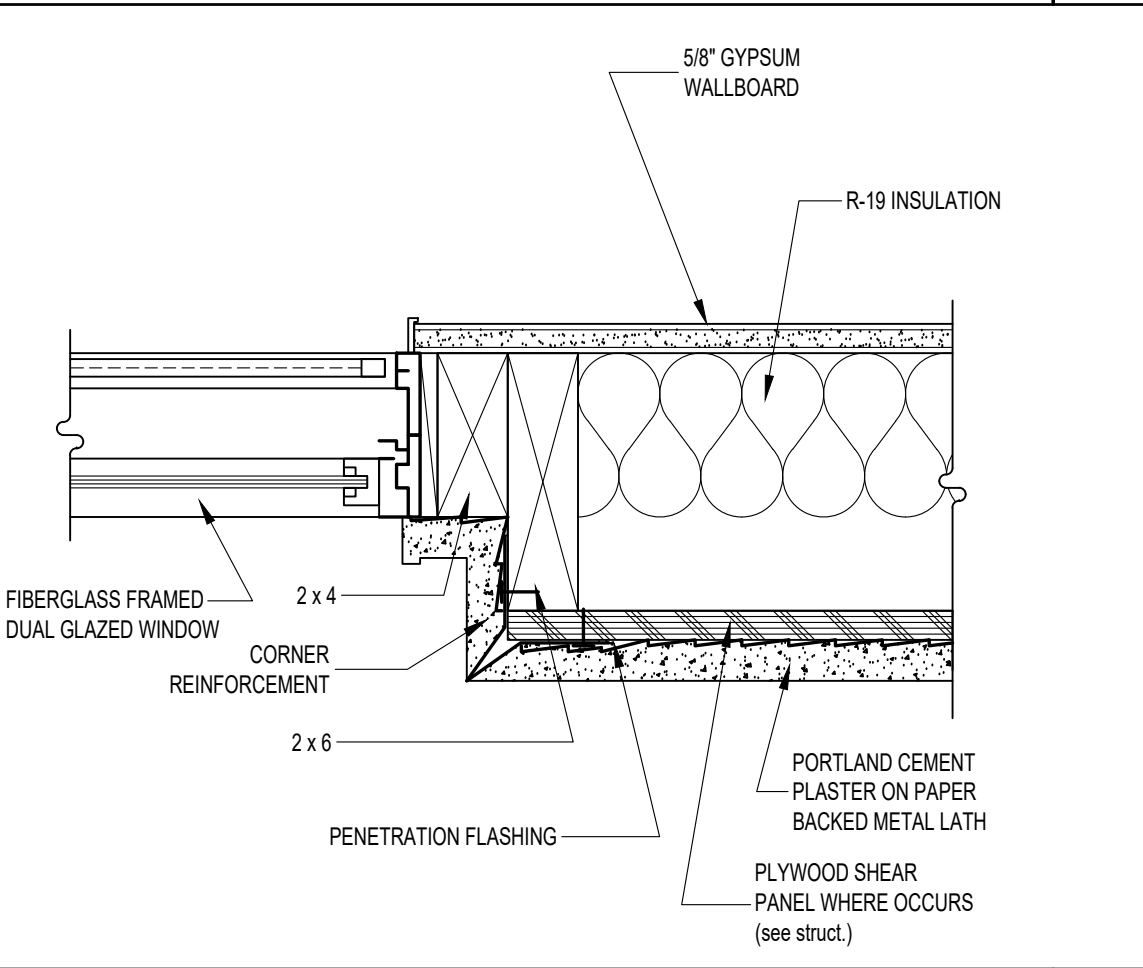
WINDOW HEAD N.T.S. 2

WINDOW HEAD N.T.S. 2



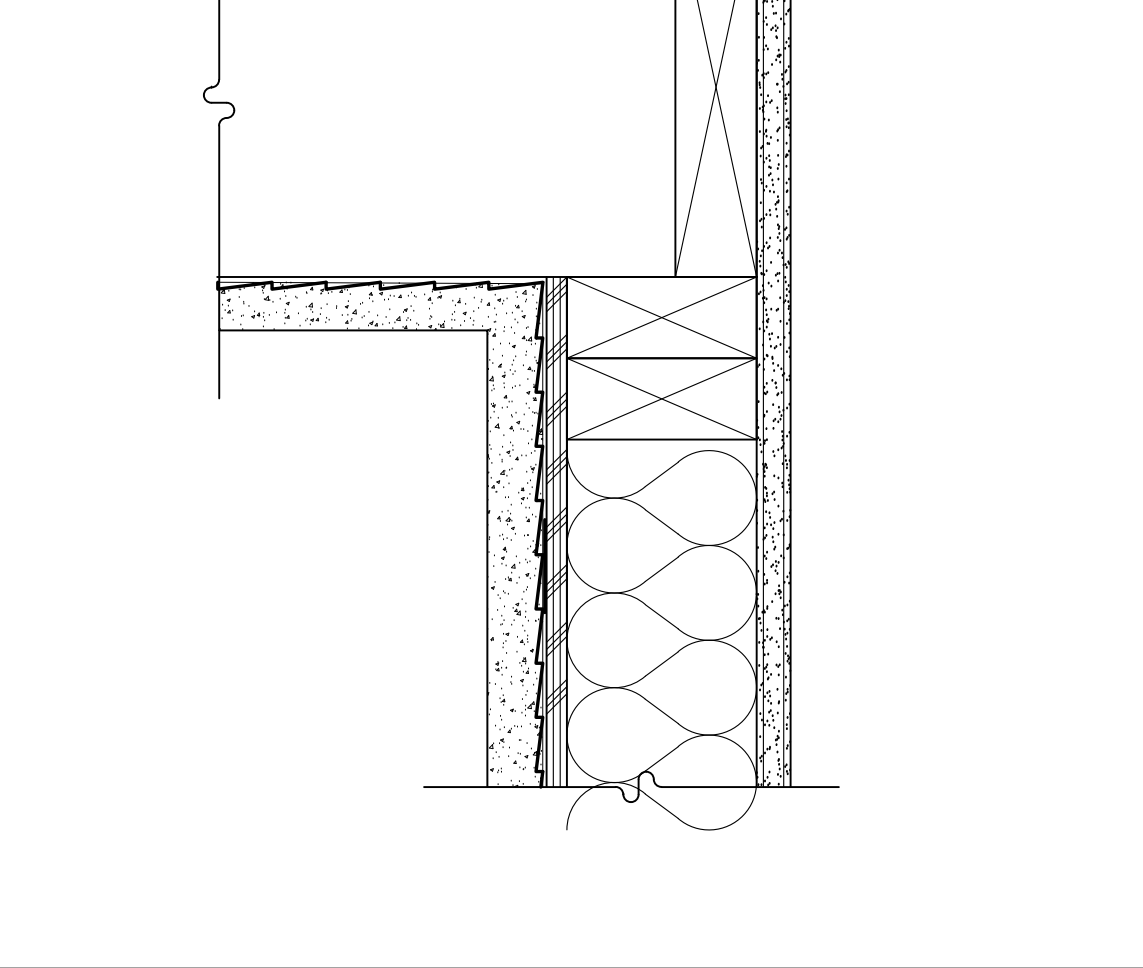
SLIDING GLASS DOOR JAMB N.T.S. 6

SLIDING GLASS DOOR JAMB N.T.S. 6



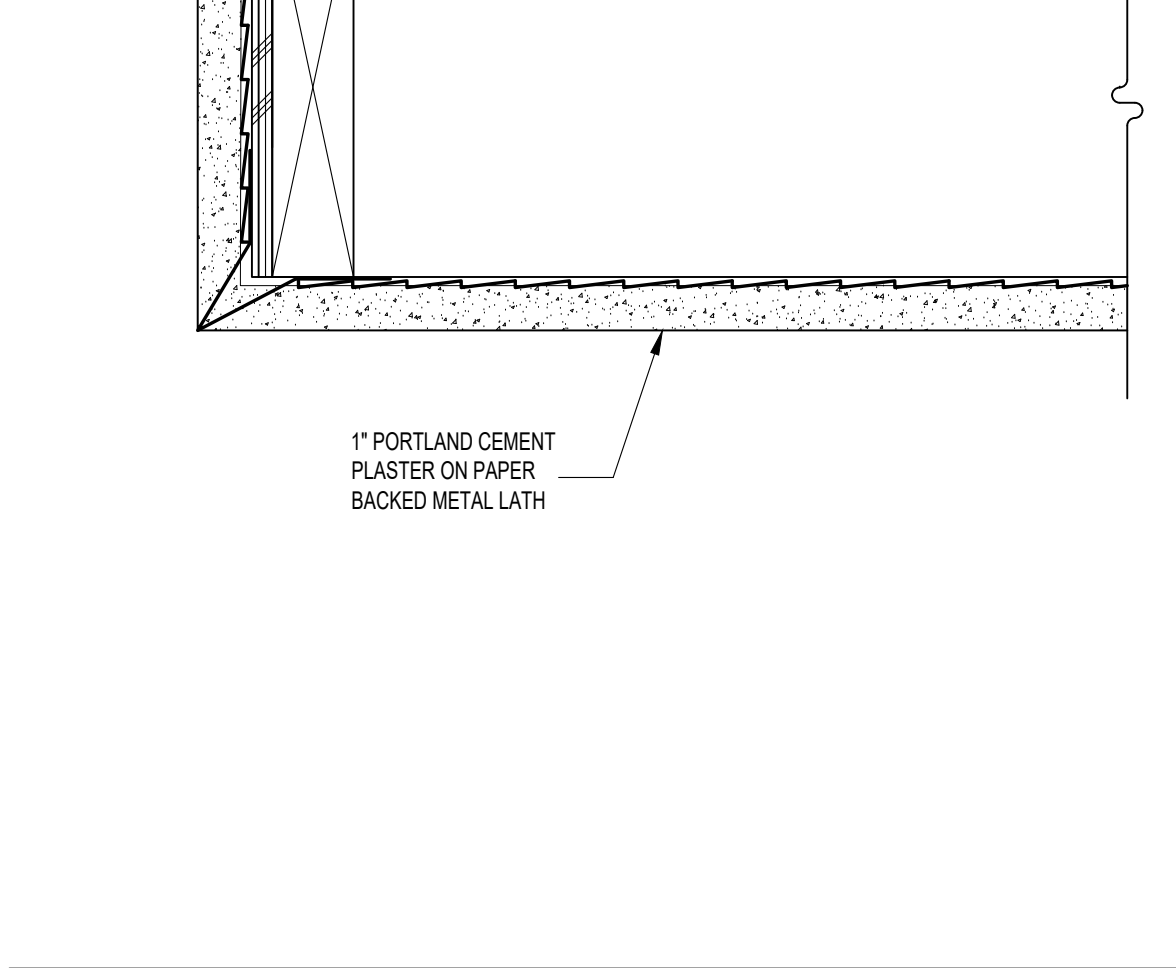
WINDOW JAMB N.T.S. 10

WINDOW JAMB N.T.S. 10



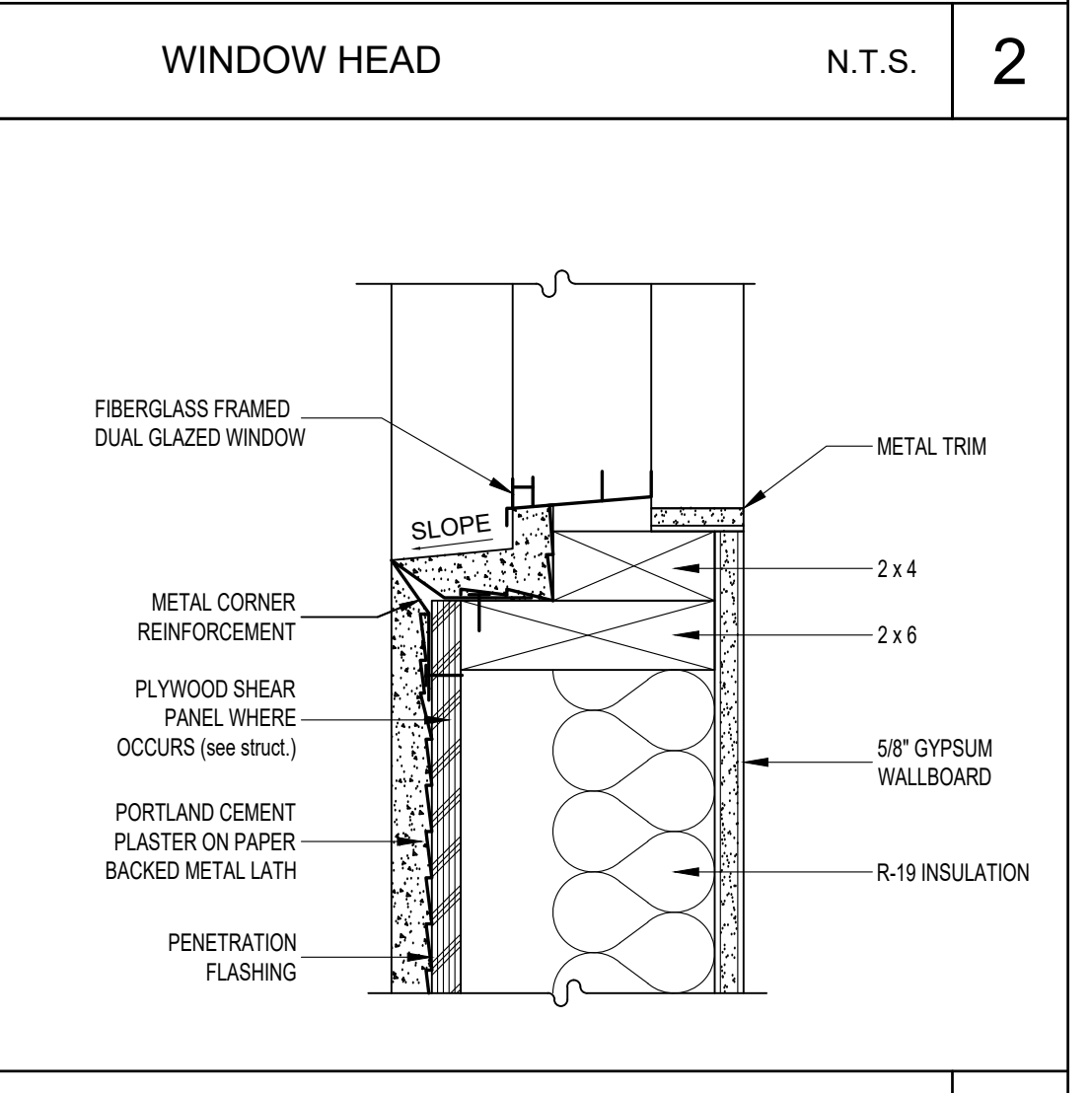
EXTERIOR WALL TO ROOF 13

EXTERIOR WALL TO ROOF 13



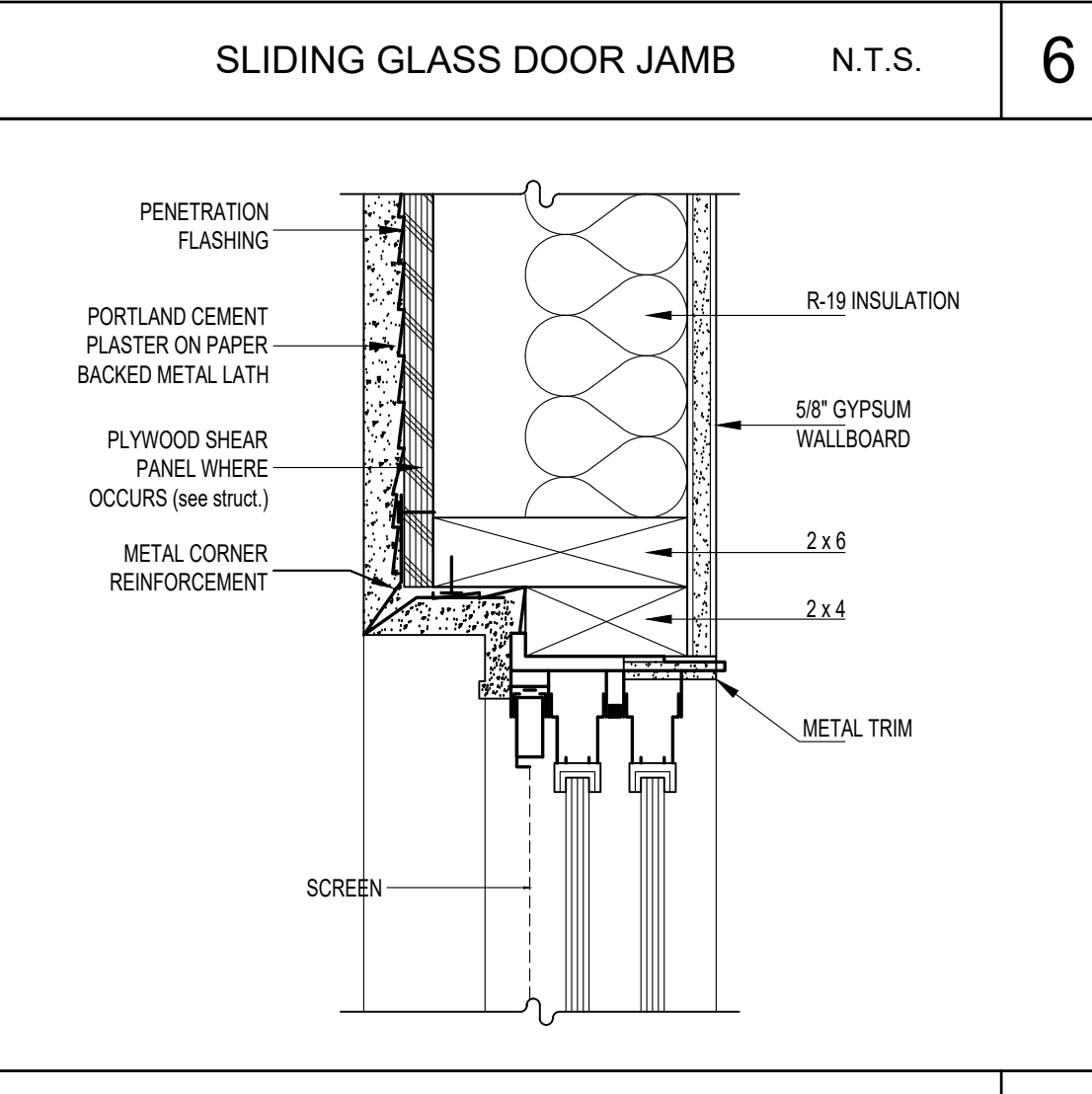
CANOPY AND ROOF OVERHANG EDGE N.T.S. 16

CANOPY AND ROOF OVERHANG EDGE N.T.S. 16



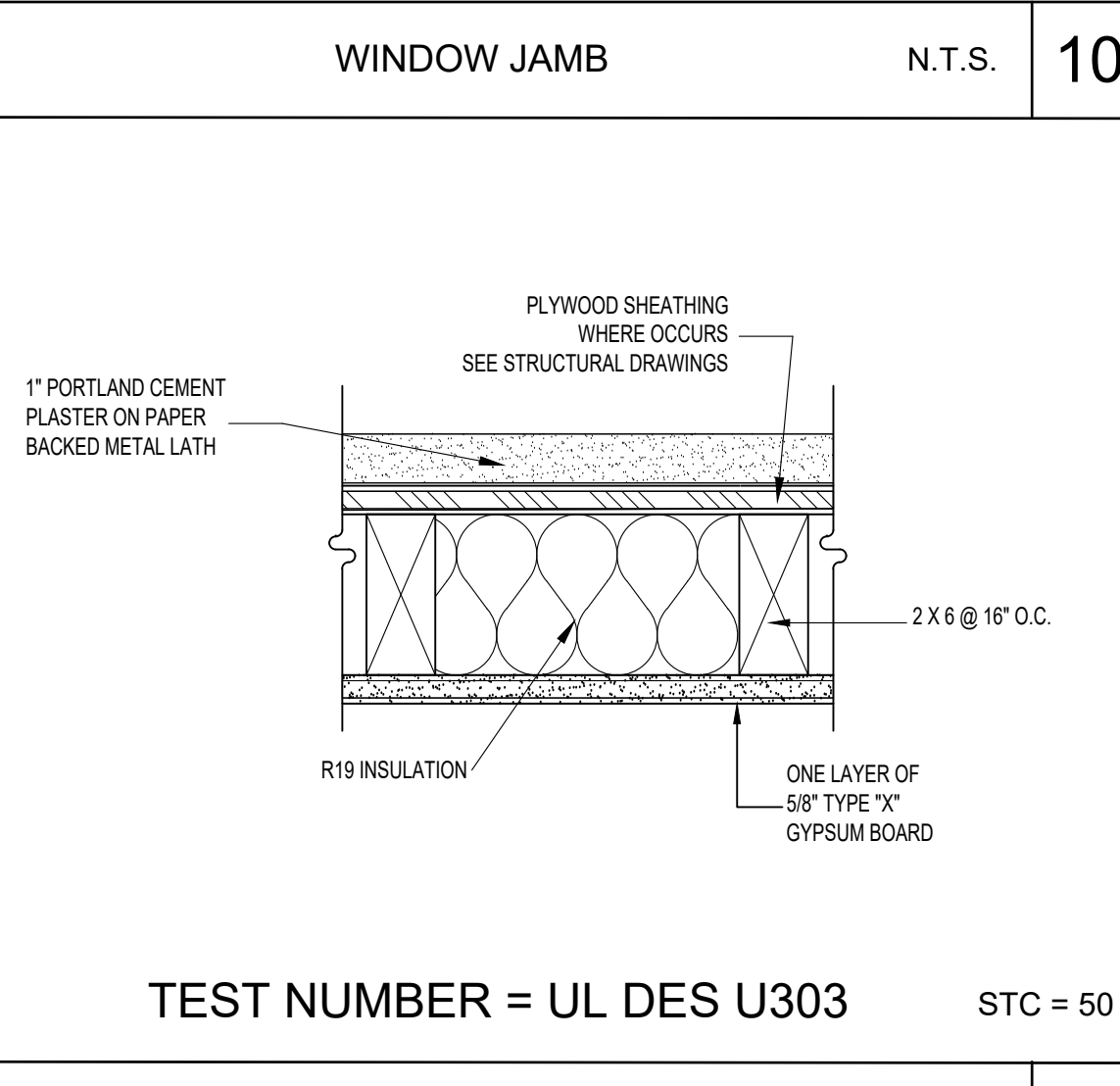
WINDOW SILL N.T.S. 3

WINDOW SILL N.T.S. 3



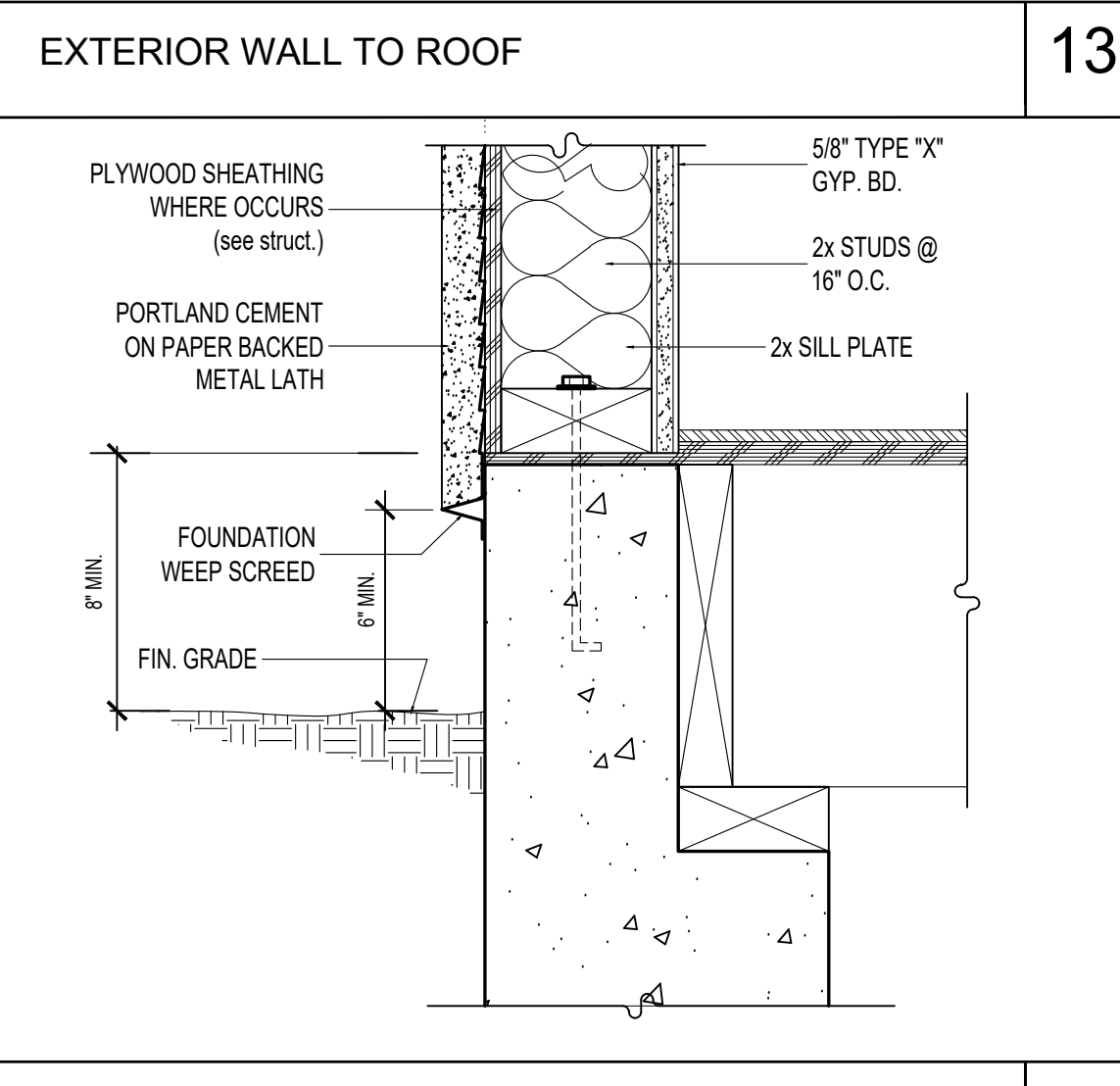
SLIDING GLASS DOOR HEAD N.T.S. 7

SLIDING GLASS DOOR HEAD N.T.S. 7



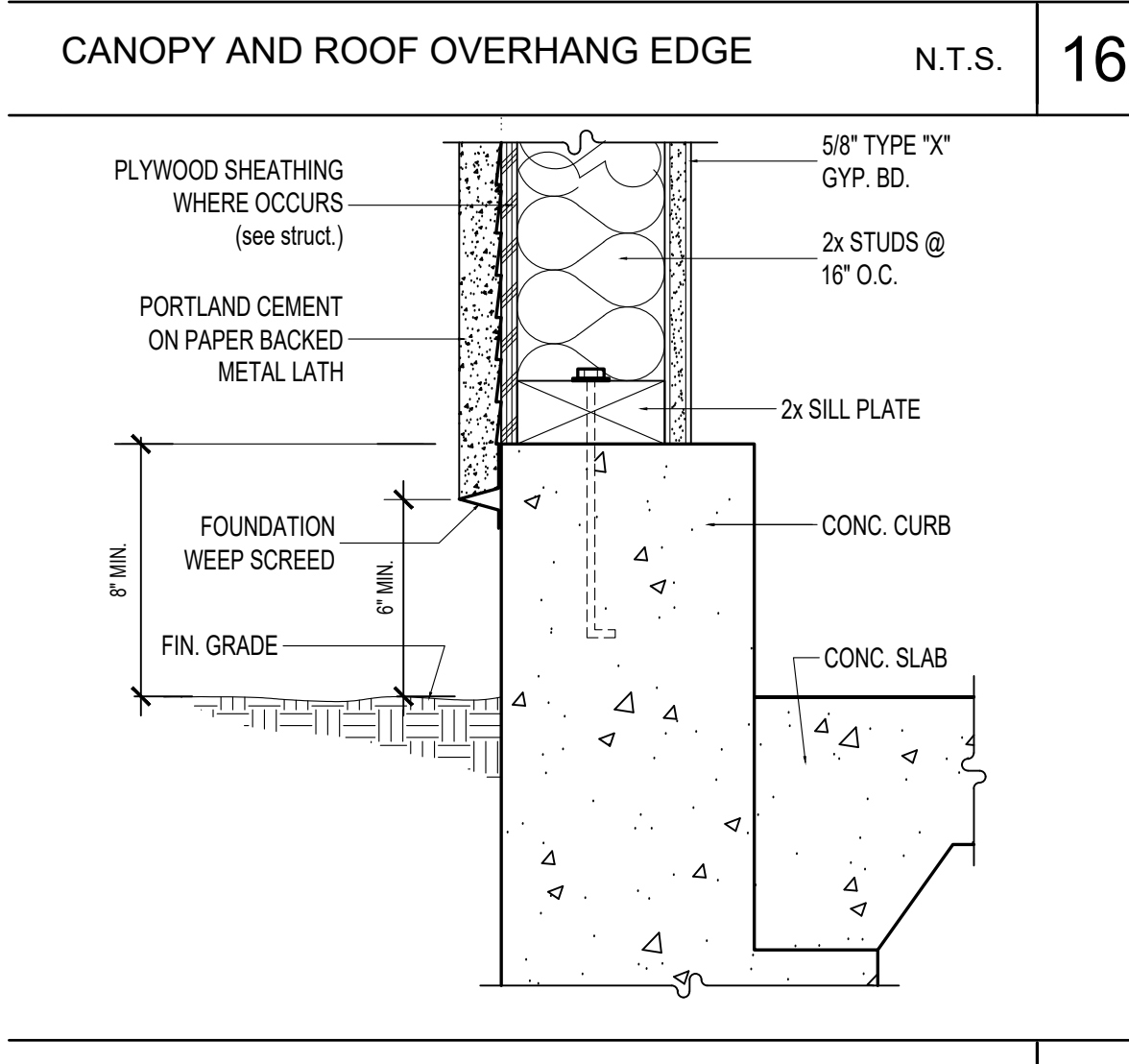
1-HR RATED EXTERIOR WALL N.T.S. 11

1-HR RATED EXTERIOR WALL N.T.S. 11



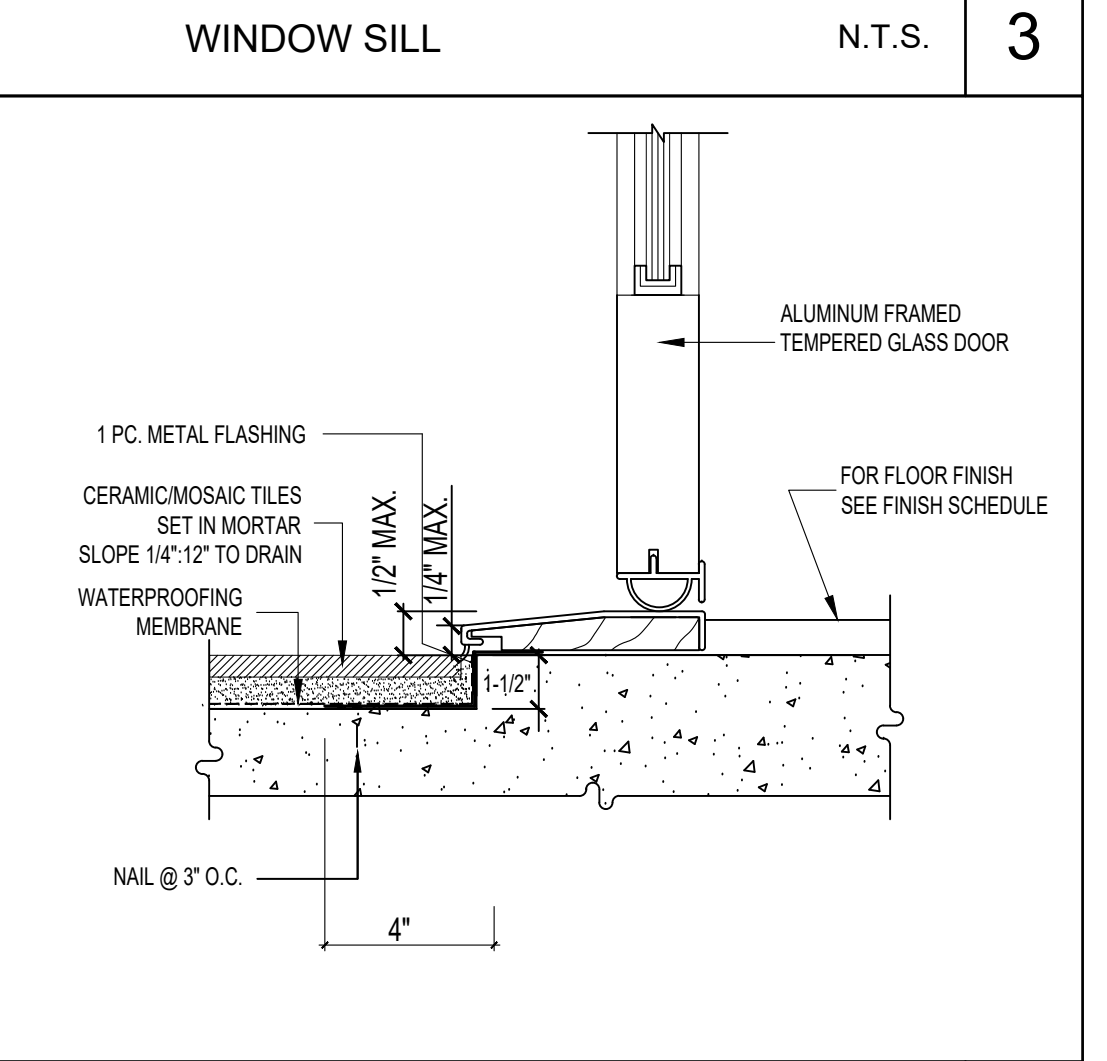
EXTERIOR WALL TO ROOF 13

EXTERIOR WALL TO ROOF 13



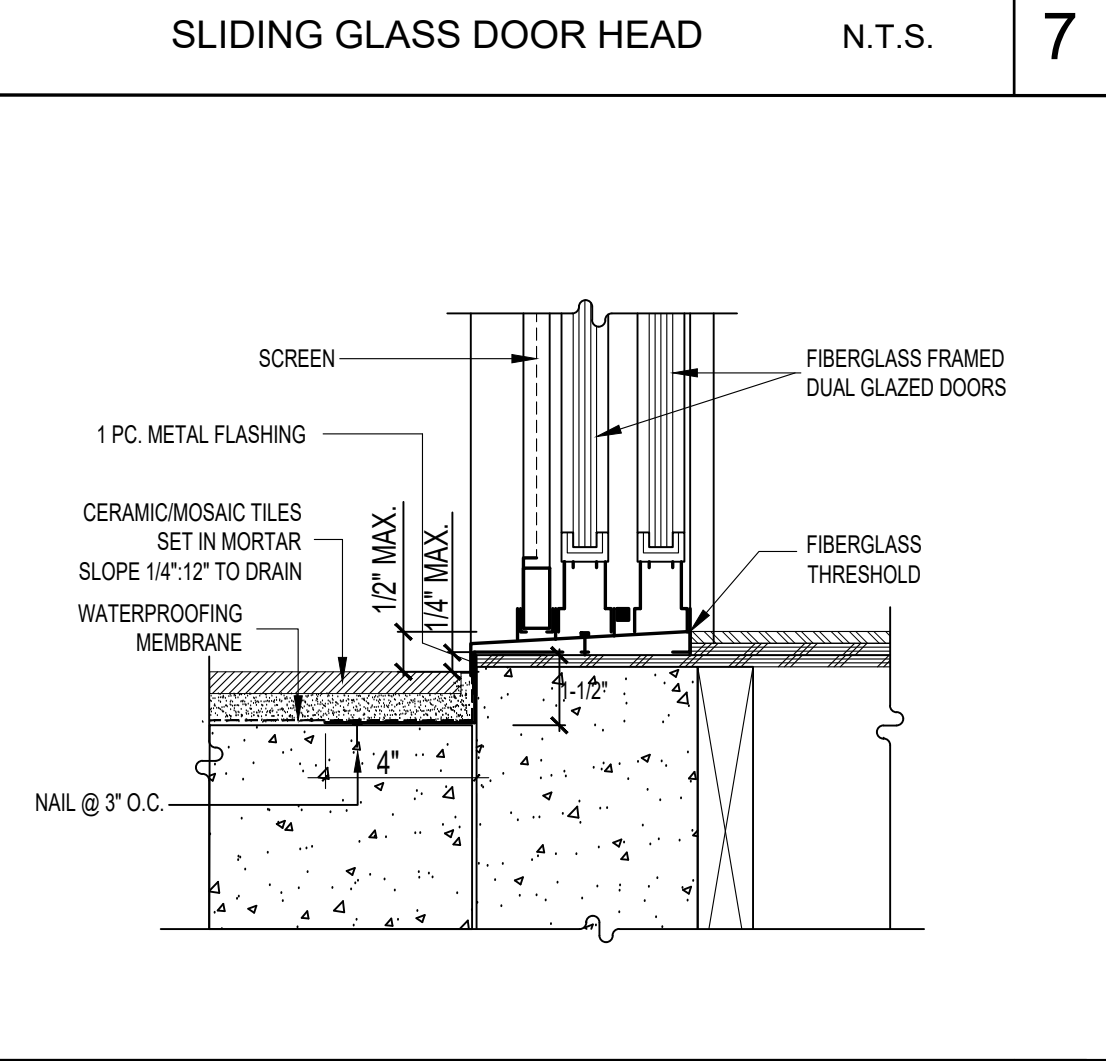
CANOPY AND ROOF OVERHANG EDGE N.T.S. 16

CANOPY AND ROOF OVERHANG EDGE N.T.S. 16



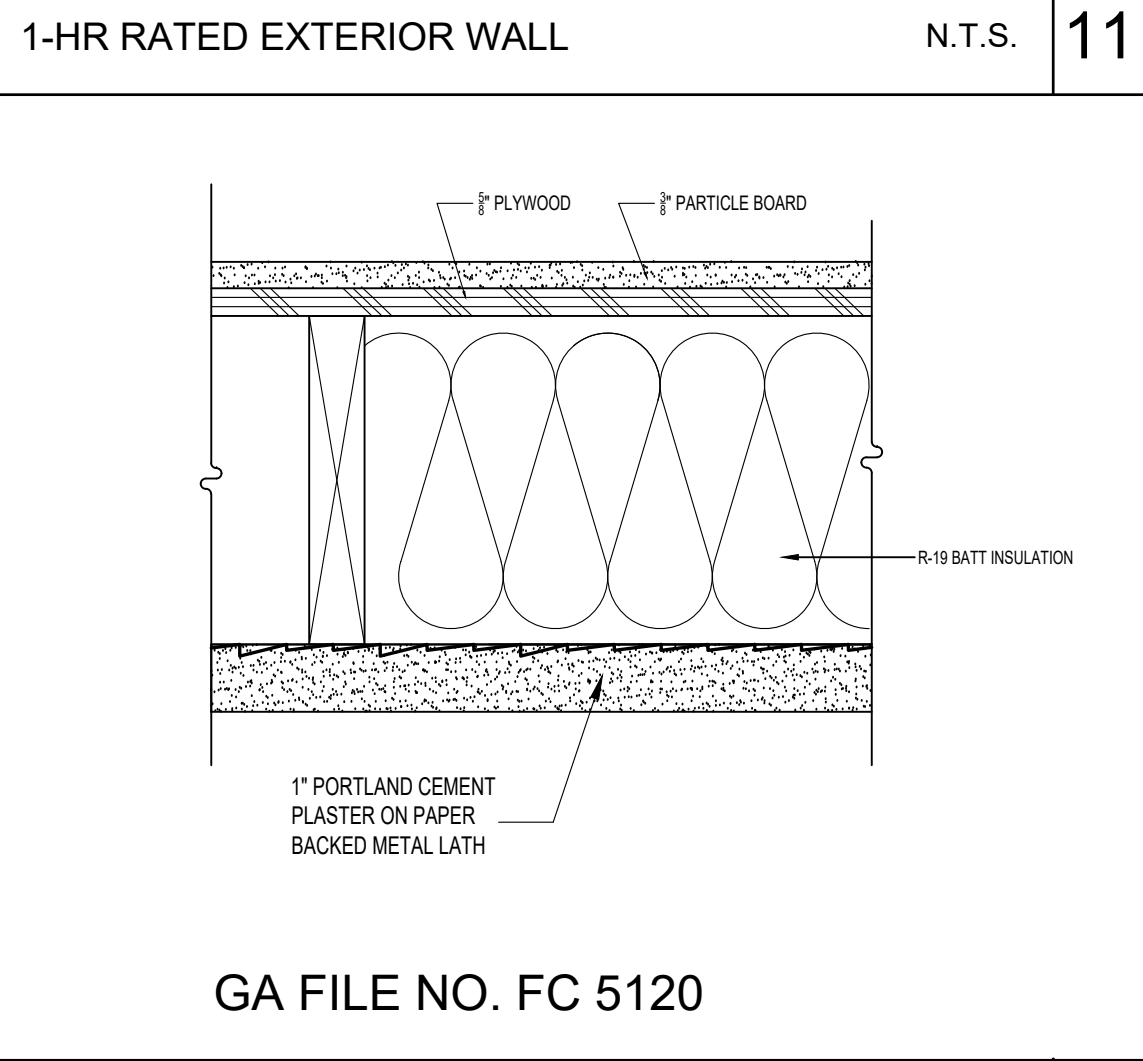
EXT. DOOR THRESHOLD N.T.S. 4

EXT. DOOR THRESHOLD N.T.S. 4



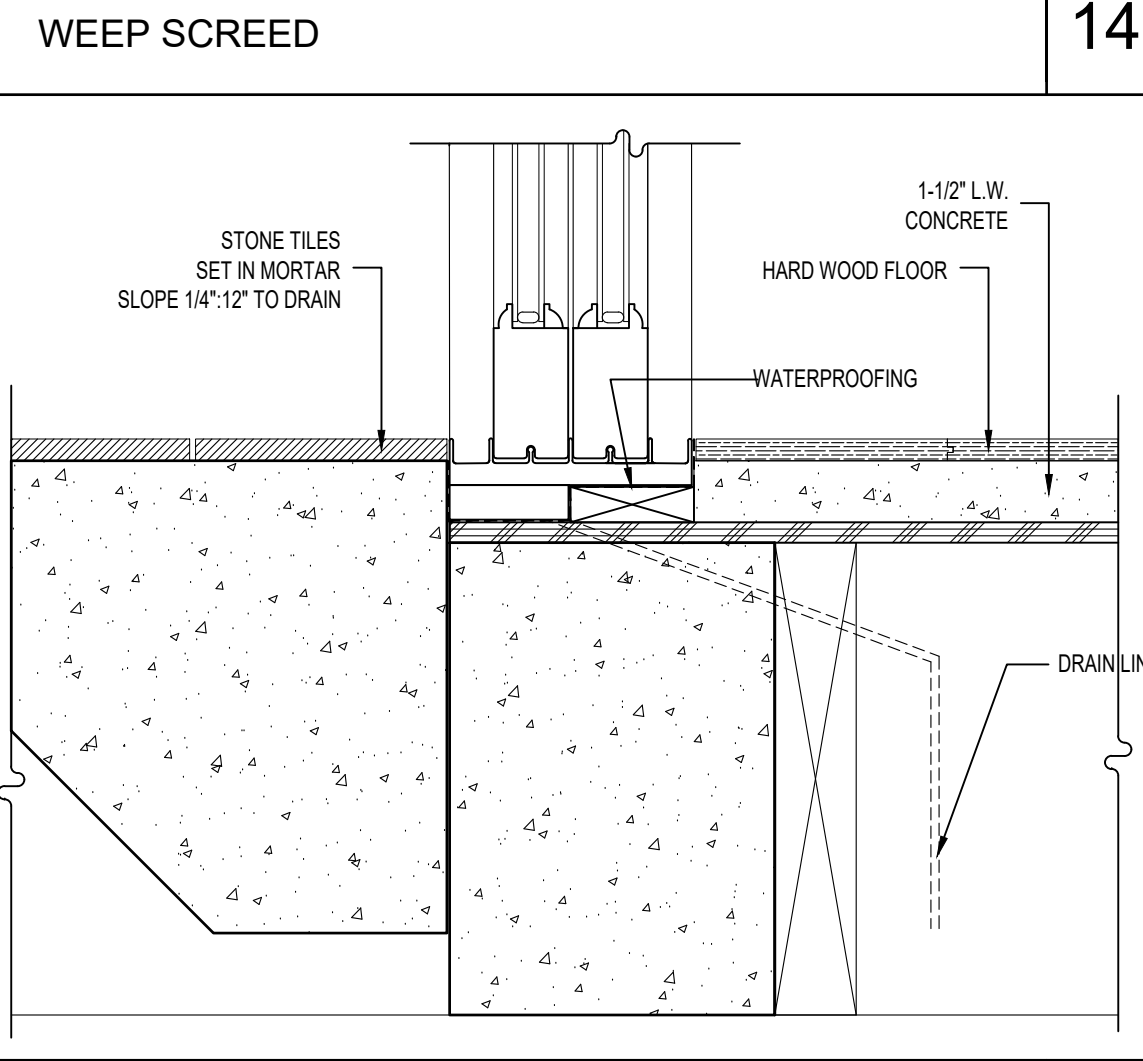
SLIDING GLASS DOOR SILL N.T.S. 8

SLIDING GLASS DOOR SILL N.T.S. 8



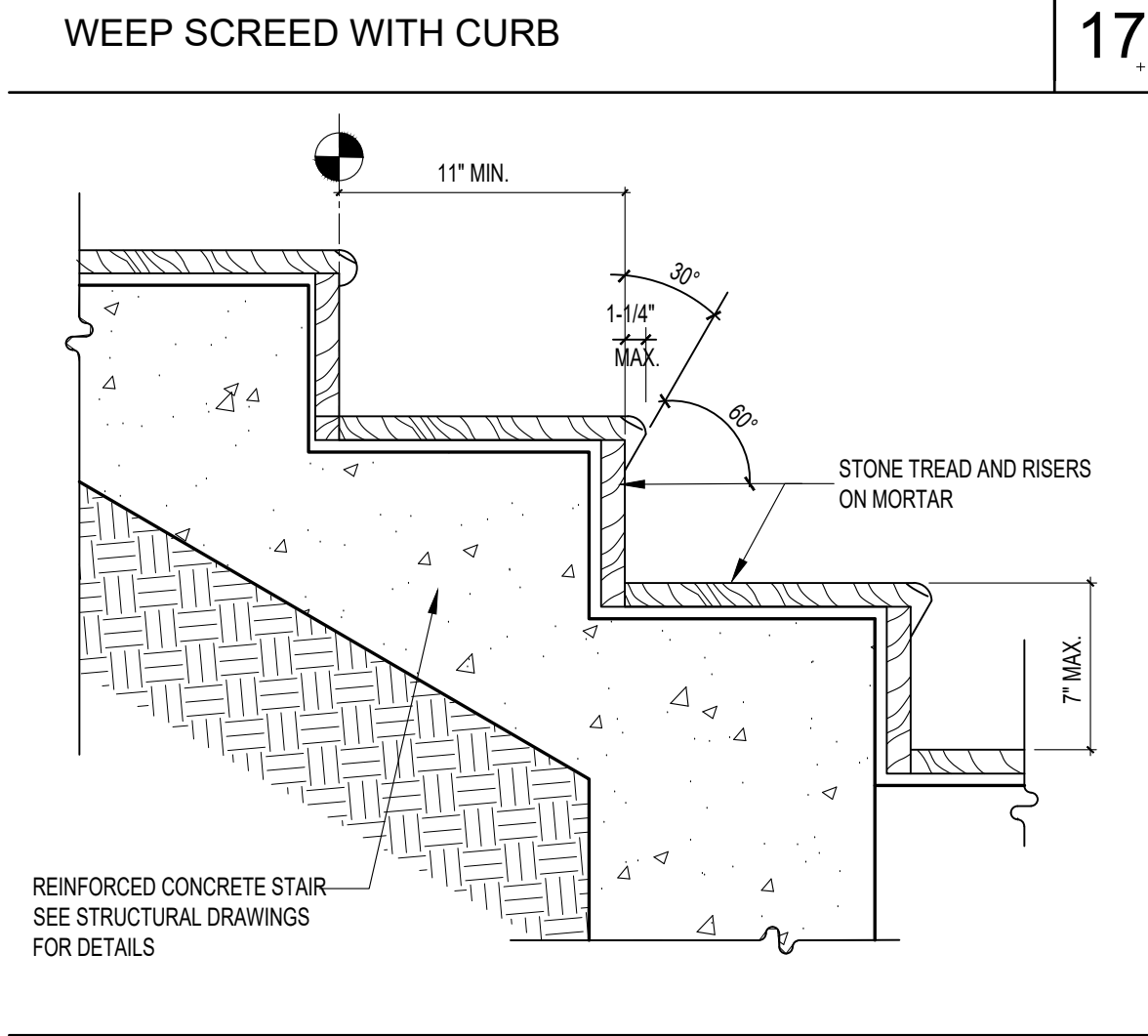
1-HR RATED EXTERIOR FLOOR/CEILING N.T.S. 12

1-HR RATED EXTERIOR FLOOR/CEILING N.T.S. 12



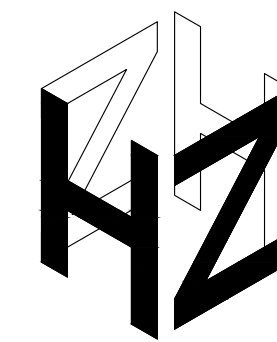
DOUBLE TRACK SLIDING DOOR SILL N.T.S. 15

DOUBLE TRACK SLIDING DOOR SILL N.T.S. 15



EXTERIOR STAIR 18

EXTERIOR STAIR 18



ARCHITECT INC.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
Glendale, California 91208

T +1 818.236.3619
hamlet@zohrabians.com

www.zohrabians.com

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CLIENT:

Mr. and Mrs. Ekmekchian
3130 N Lamer St.
Burbank, Ca. 91504

PROJECT:

Ekmekchian Residence
3130 N Lamer St.
Burbank, Ca. 91504

REVISIONS

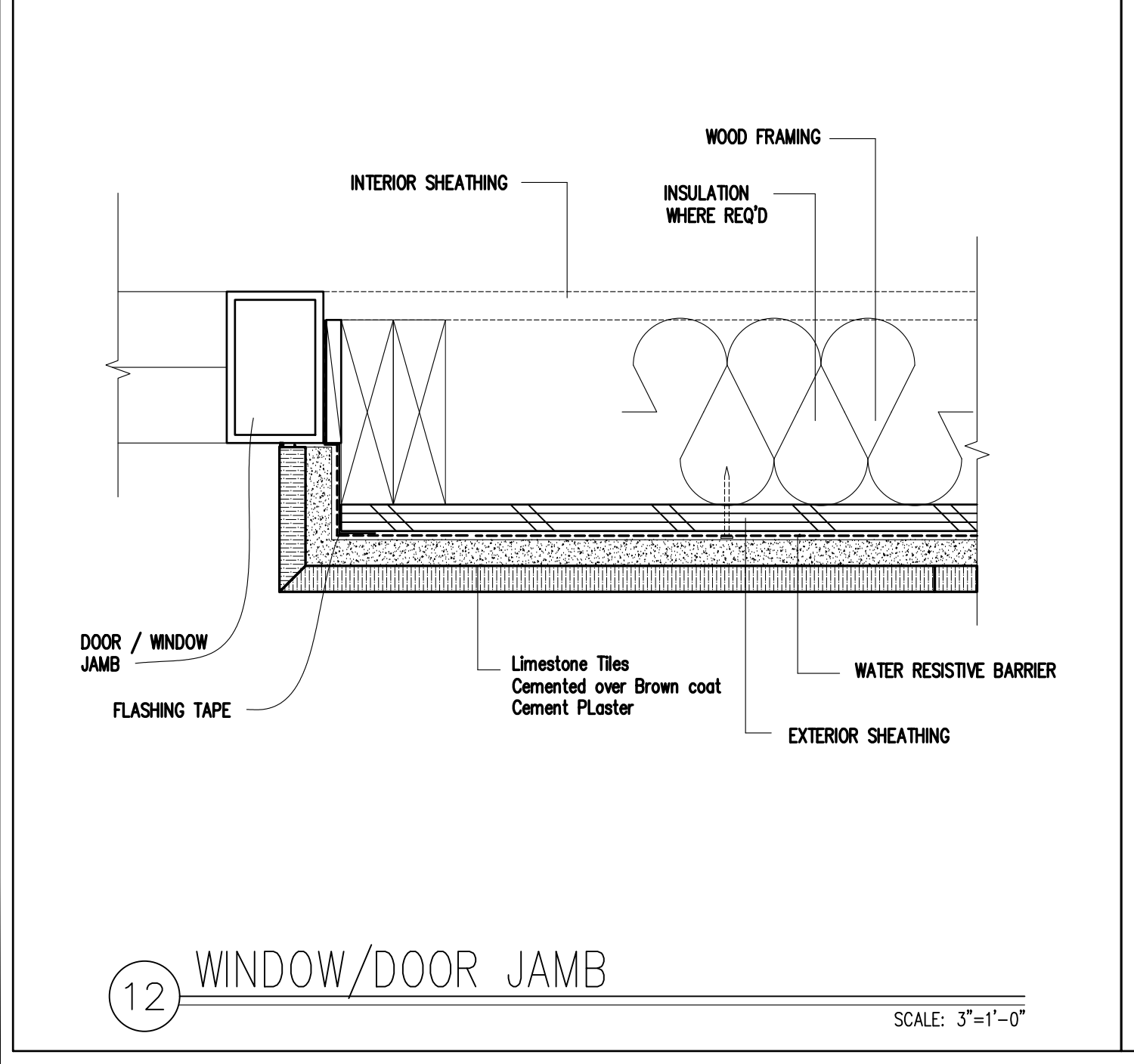
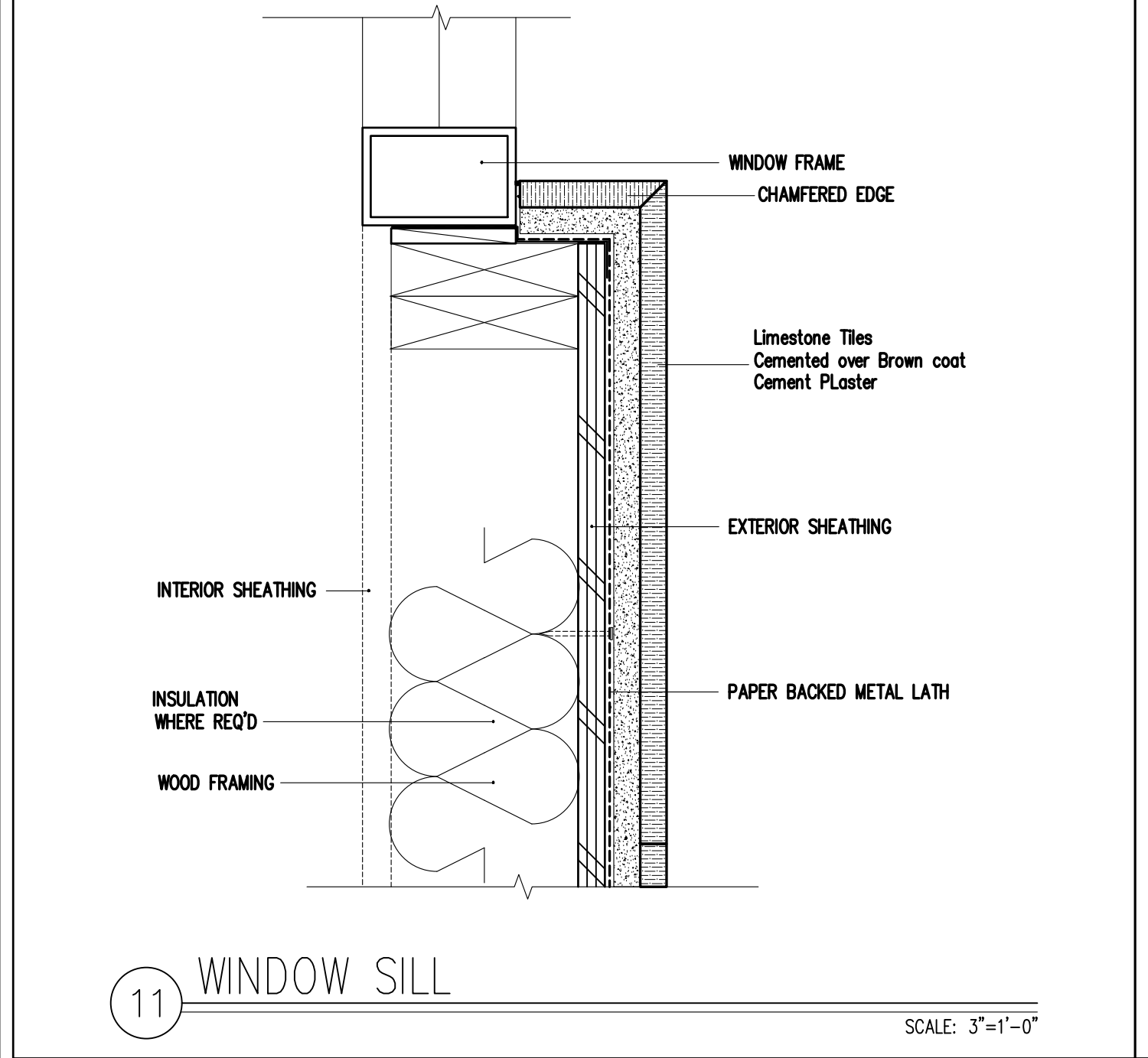
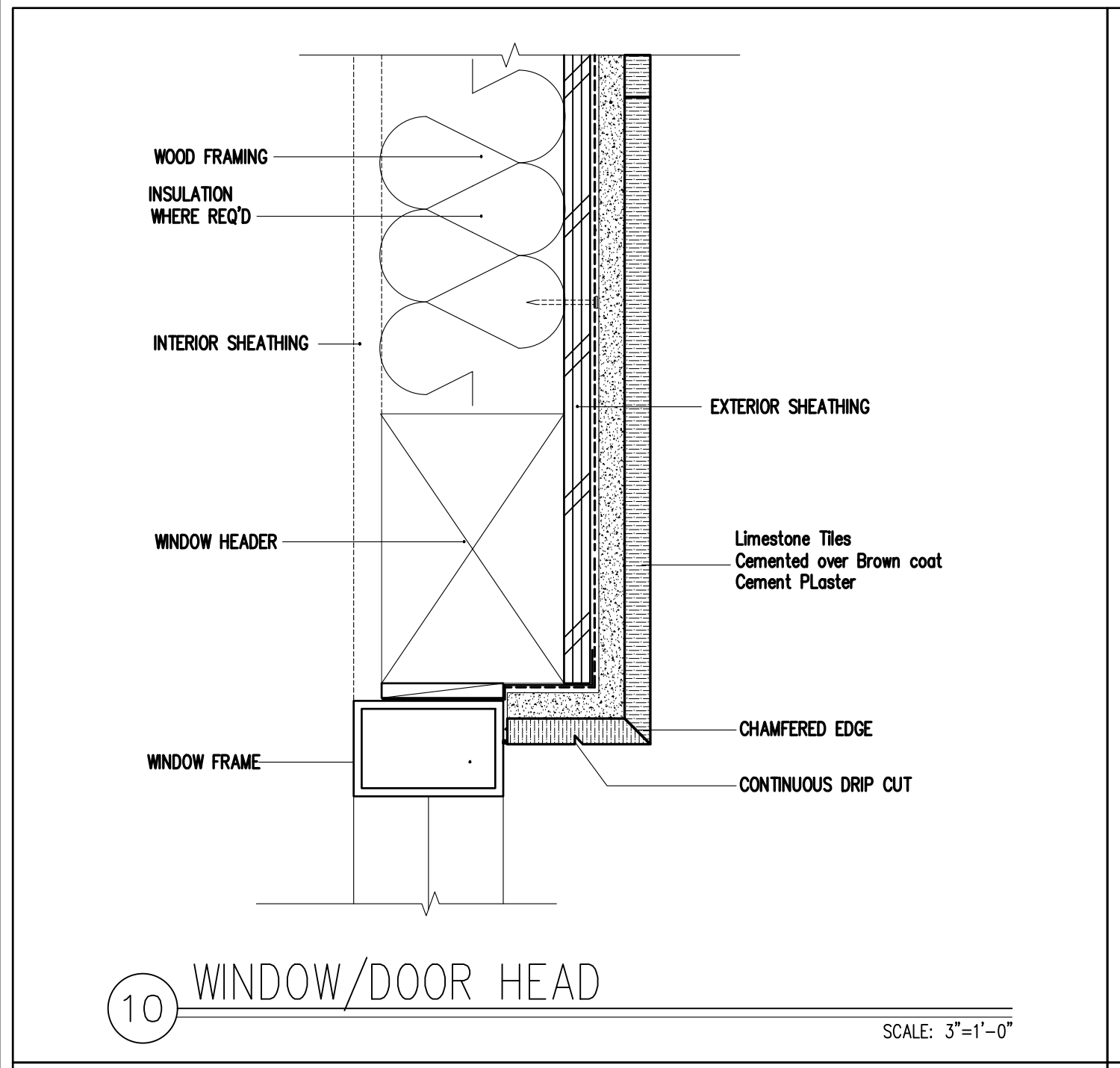
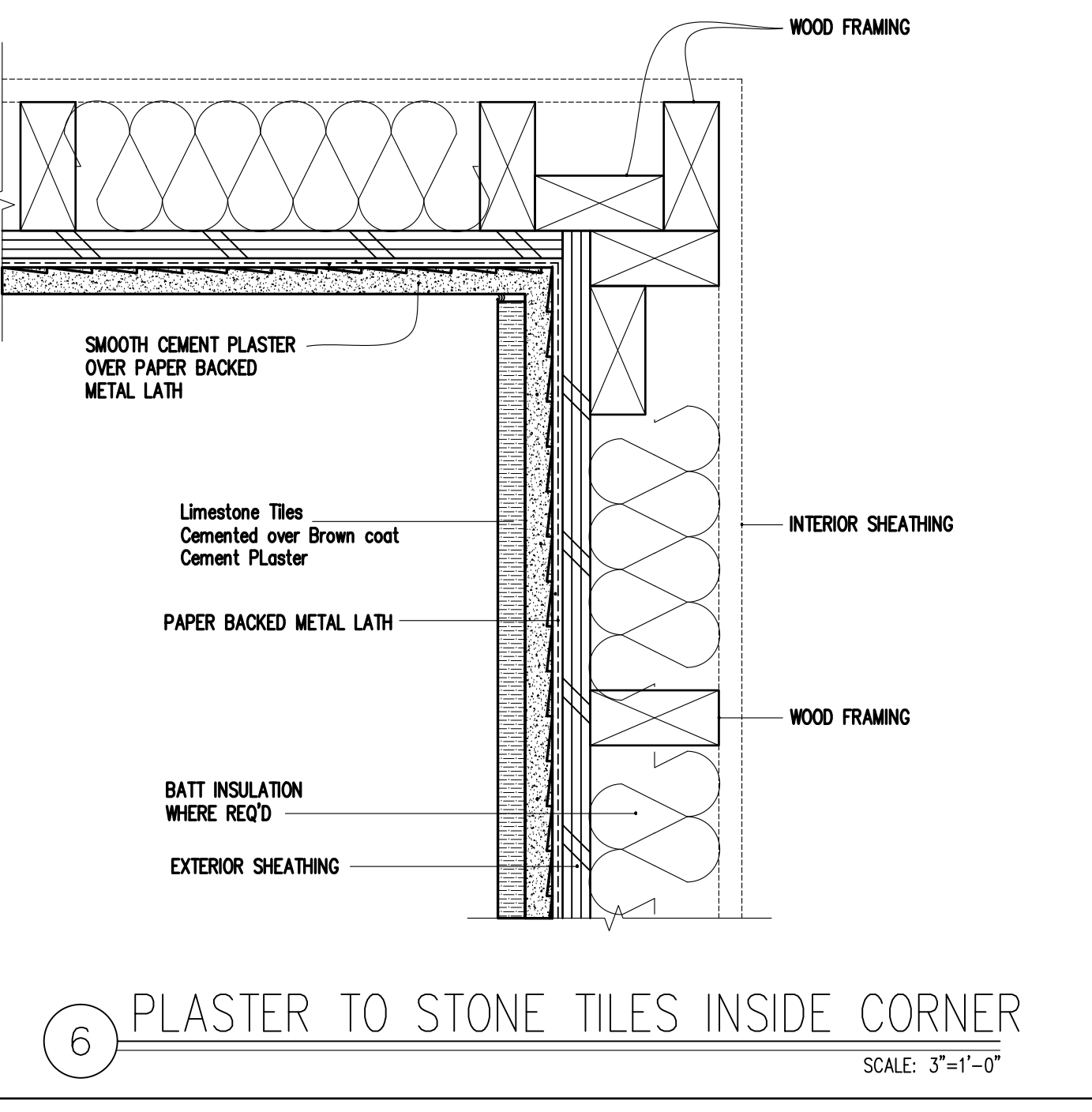
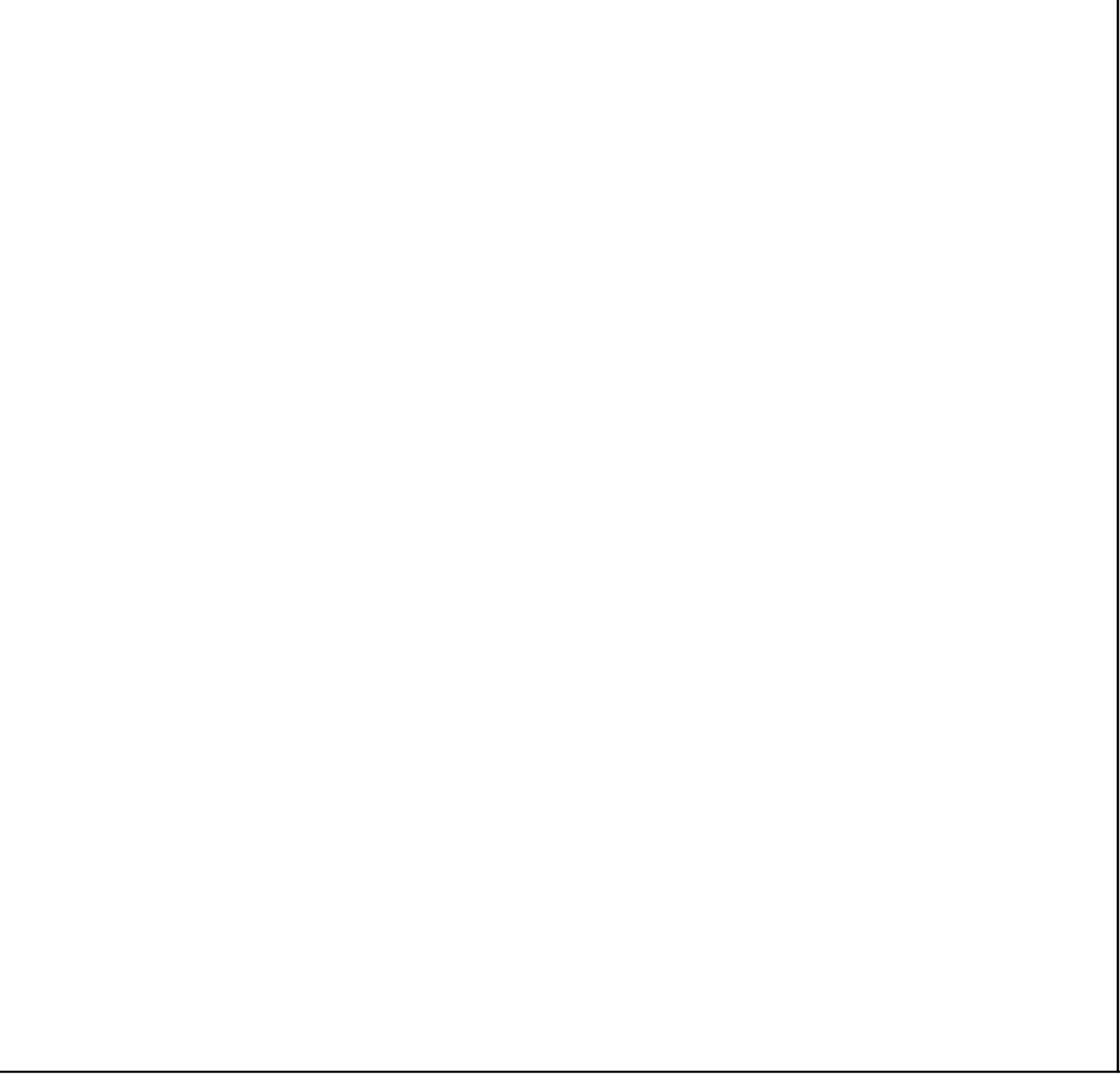
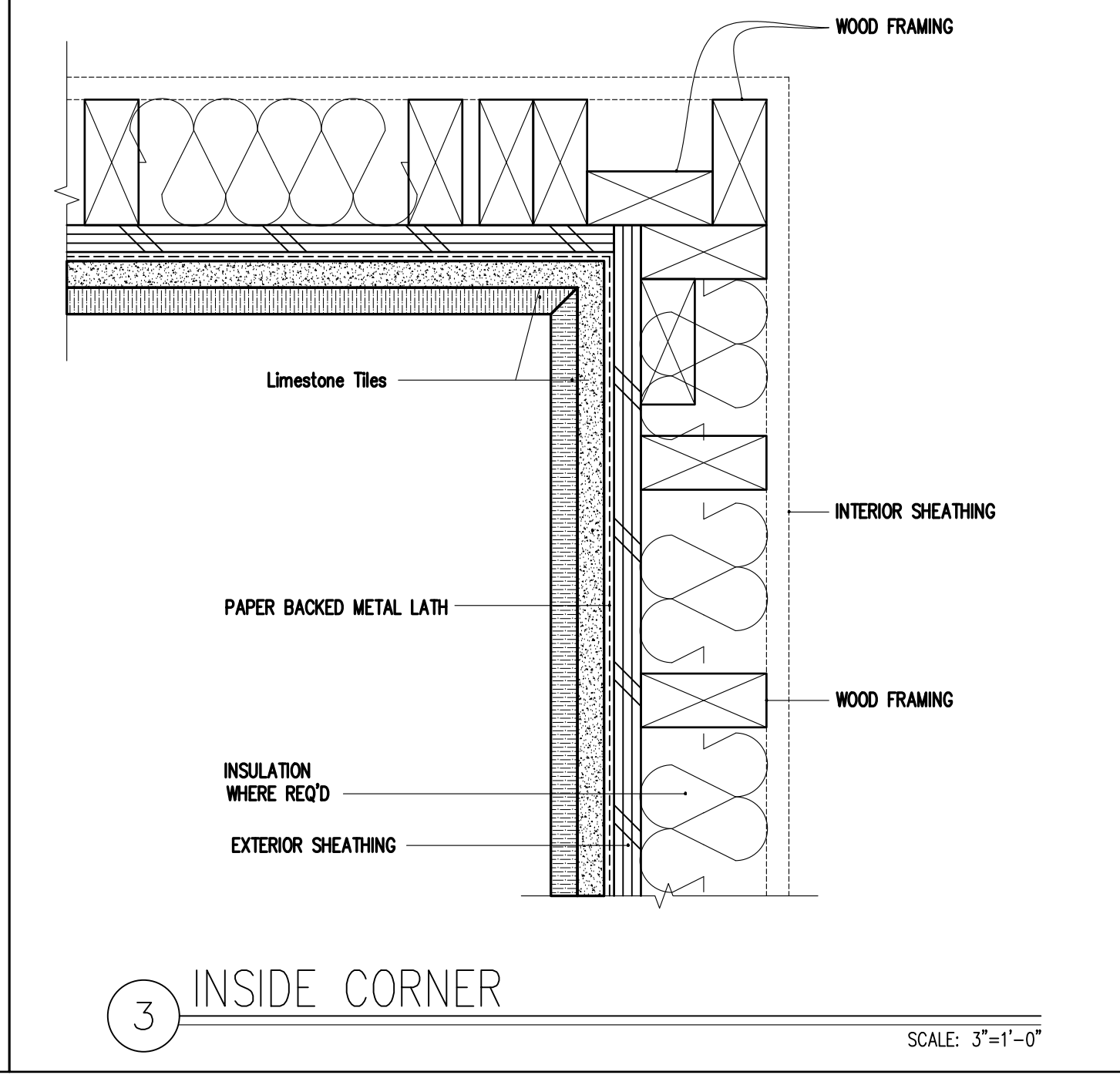
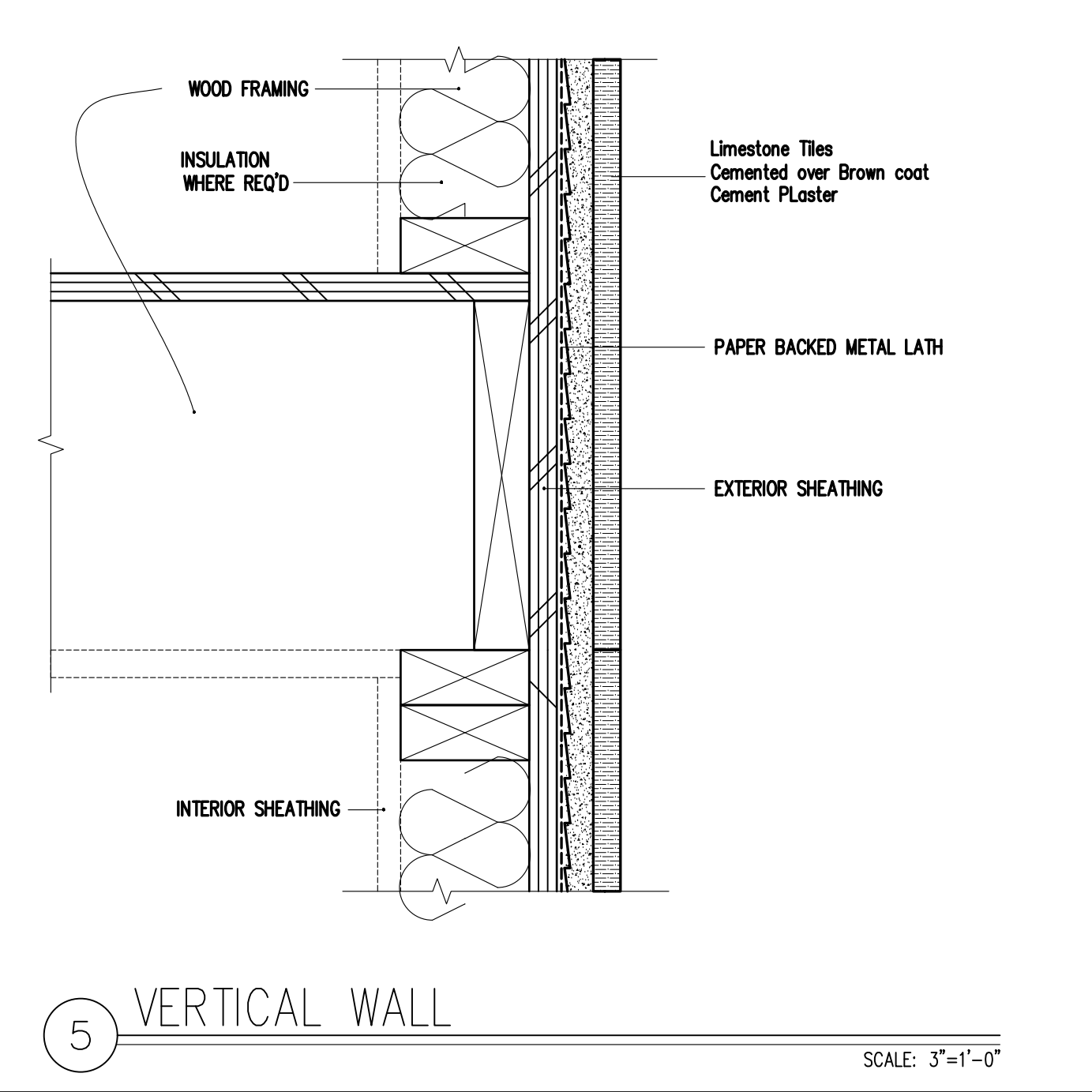
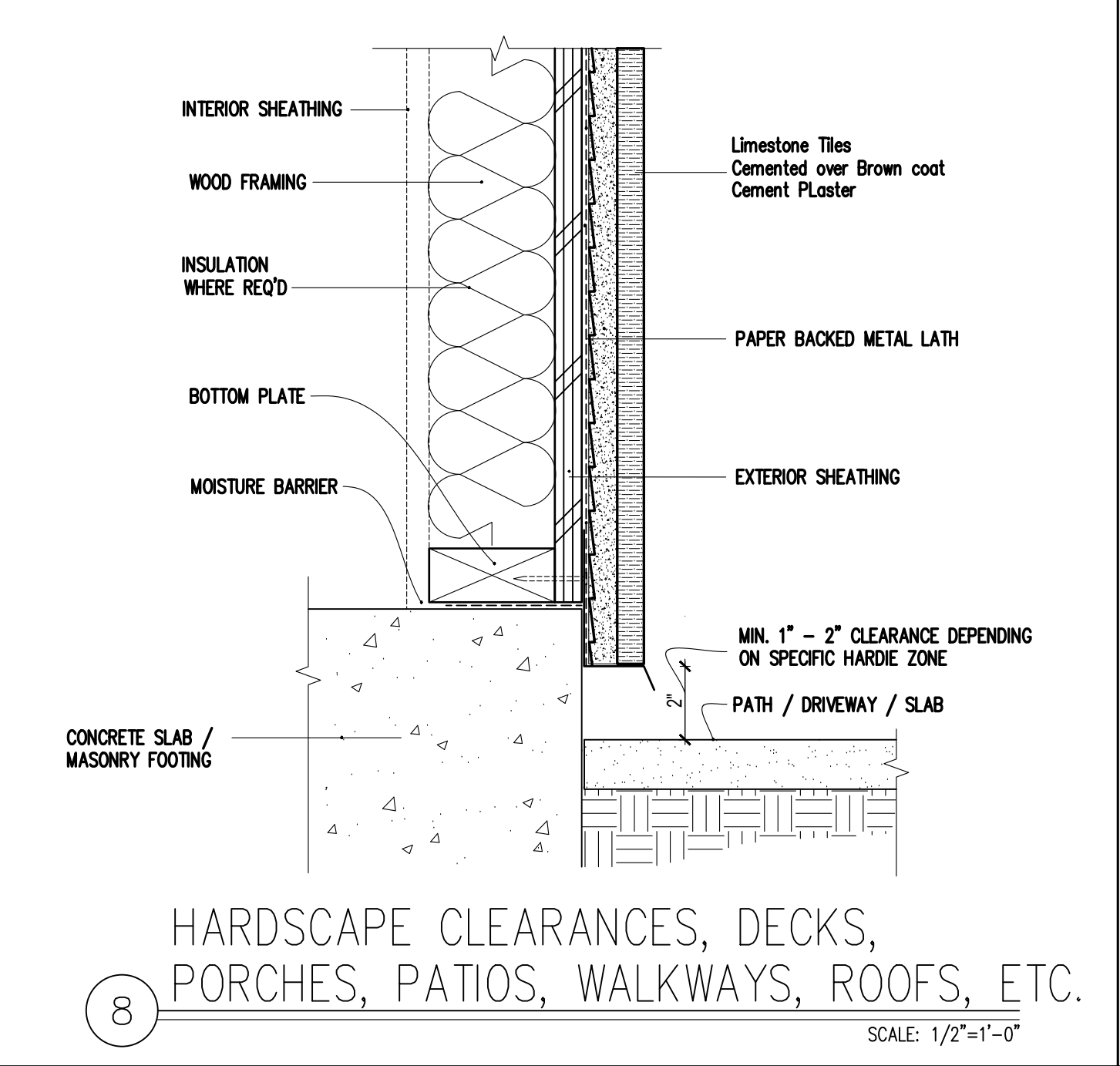
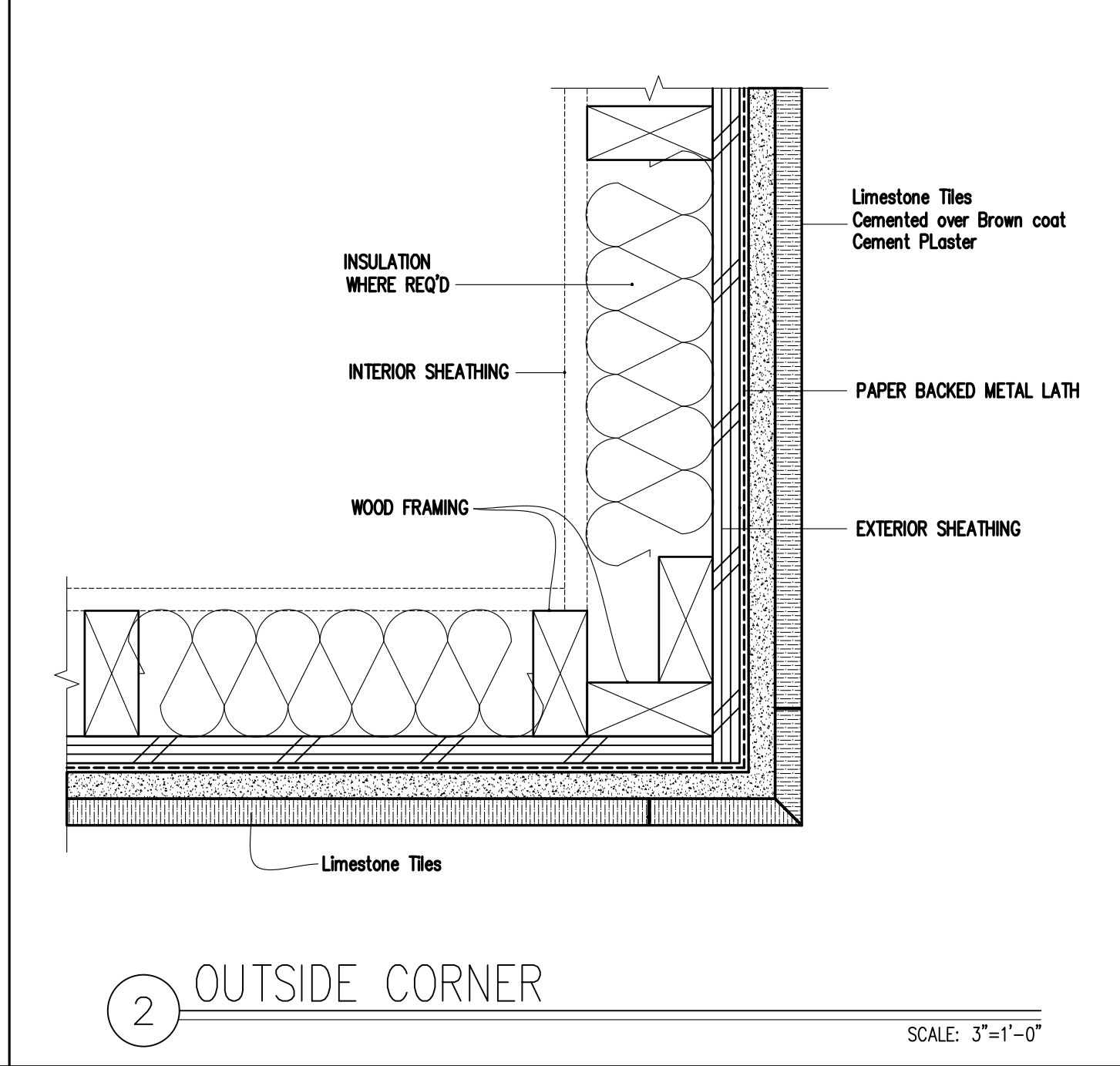
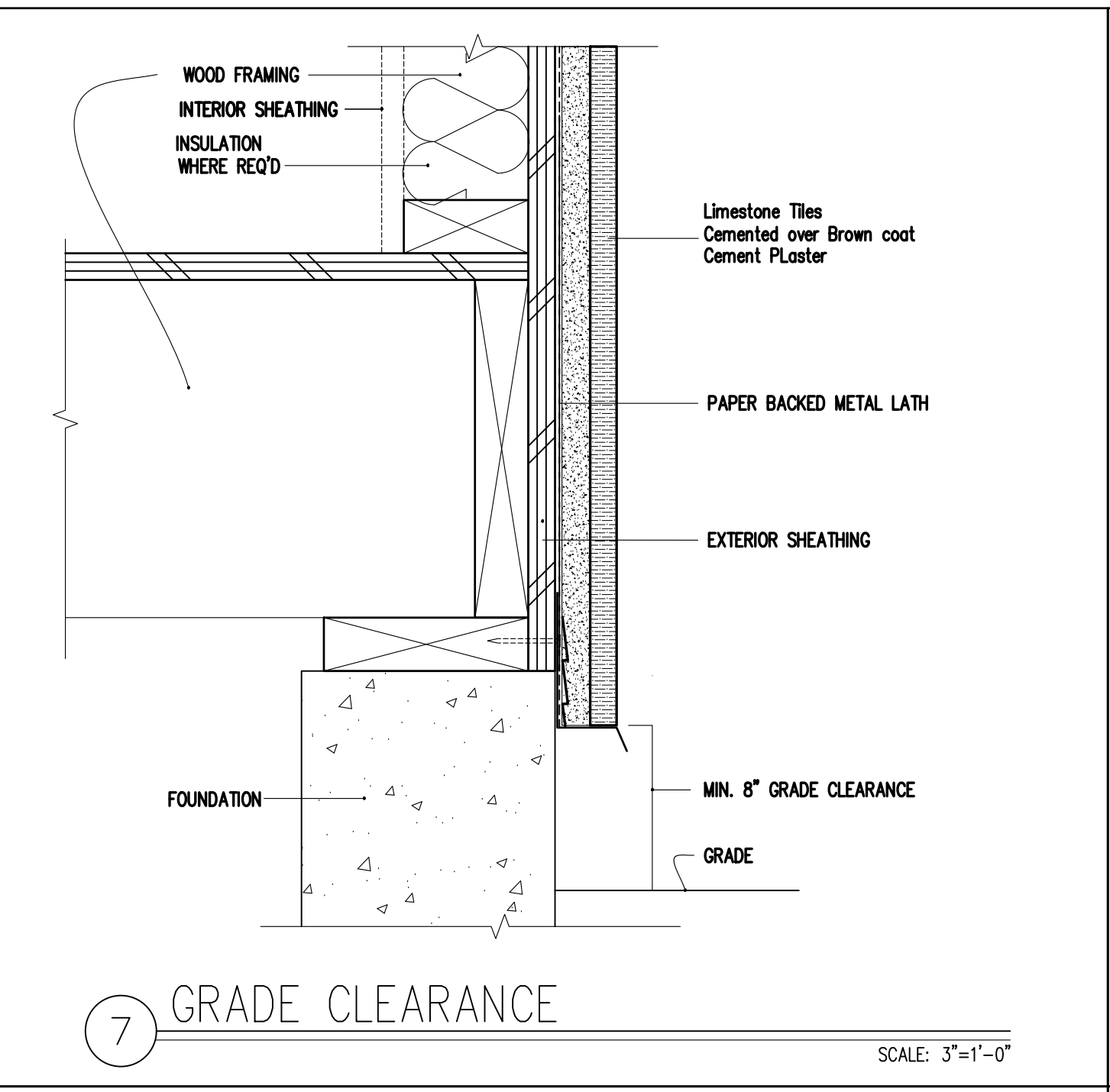
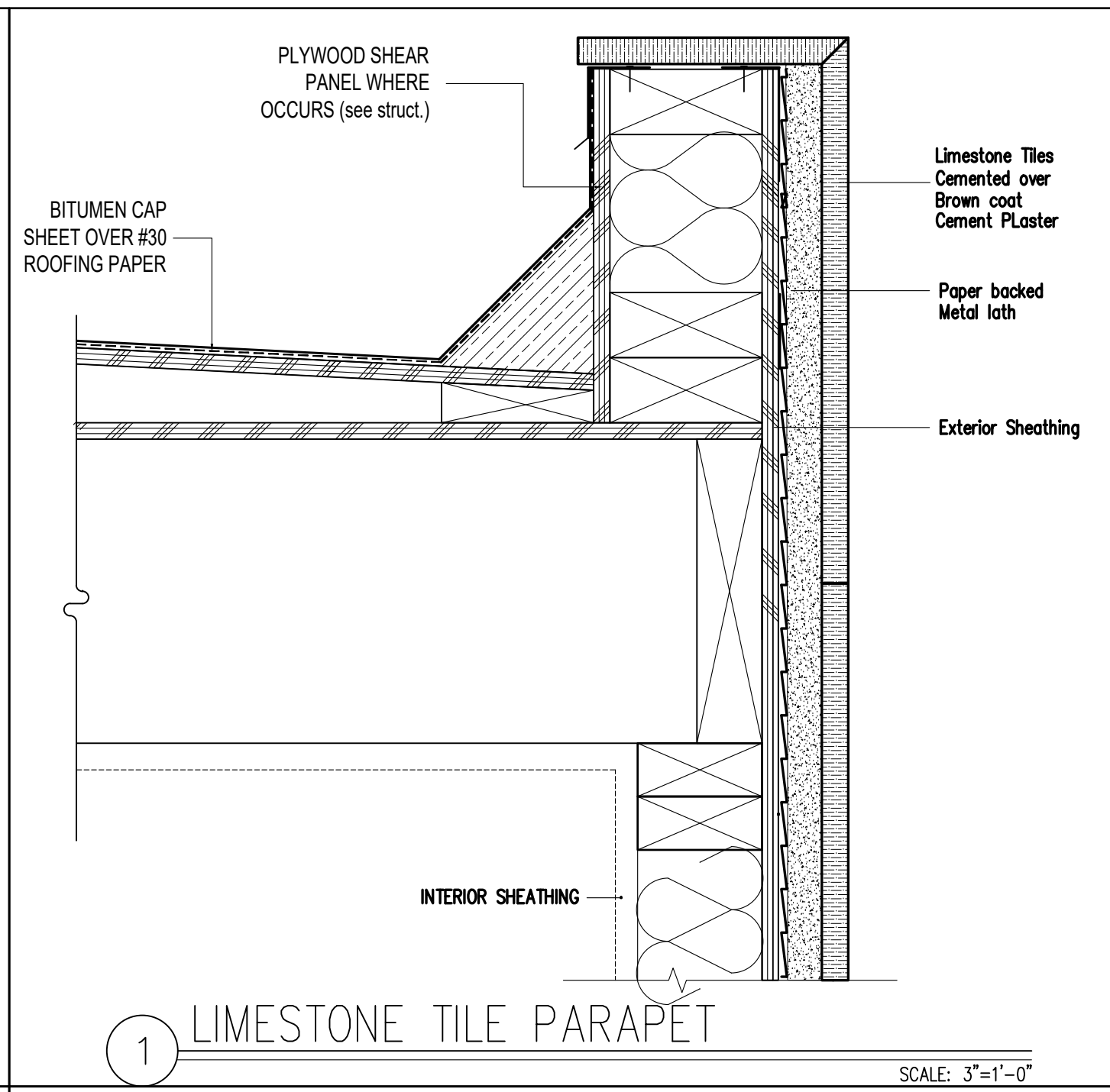
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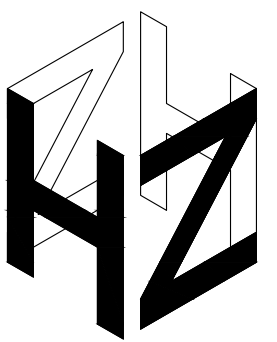
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DETAILS

DATE	05.08.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A6.2





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The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Mr. and Mrs. Ekmekchian
3130 N Lamer St.
Burbank, Ca. 91504

PROJECT:
Ekmekchian Residence
3130 N Lamer St.
Burbank, Ca. 91504

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

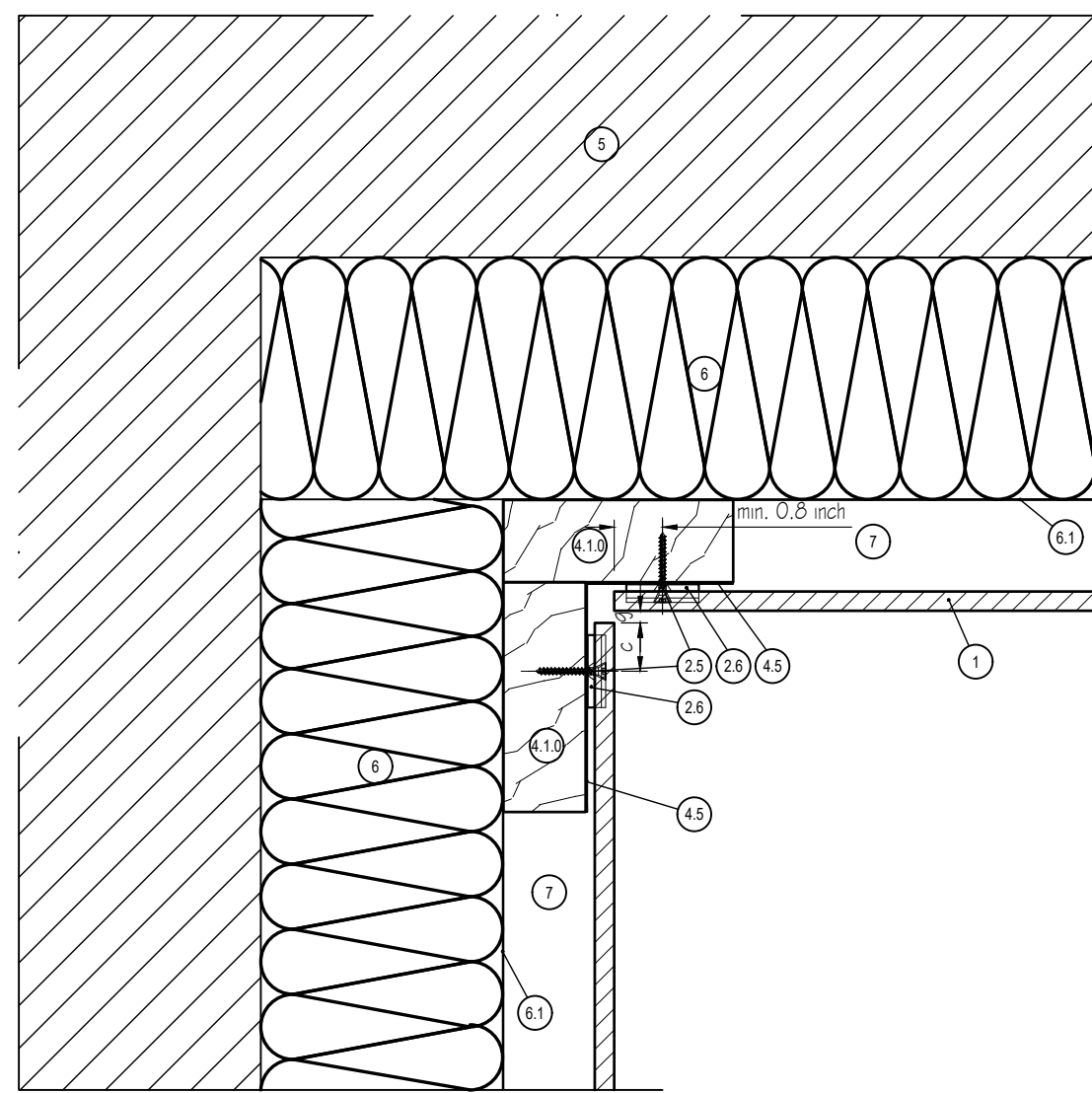
DETAILS

DATE	05.08.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	011222
SHEET	

A6.3

LEGEND:	
1	Trespa® PURA NFC® panel
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
7	Ventilated cavity

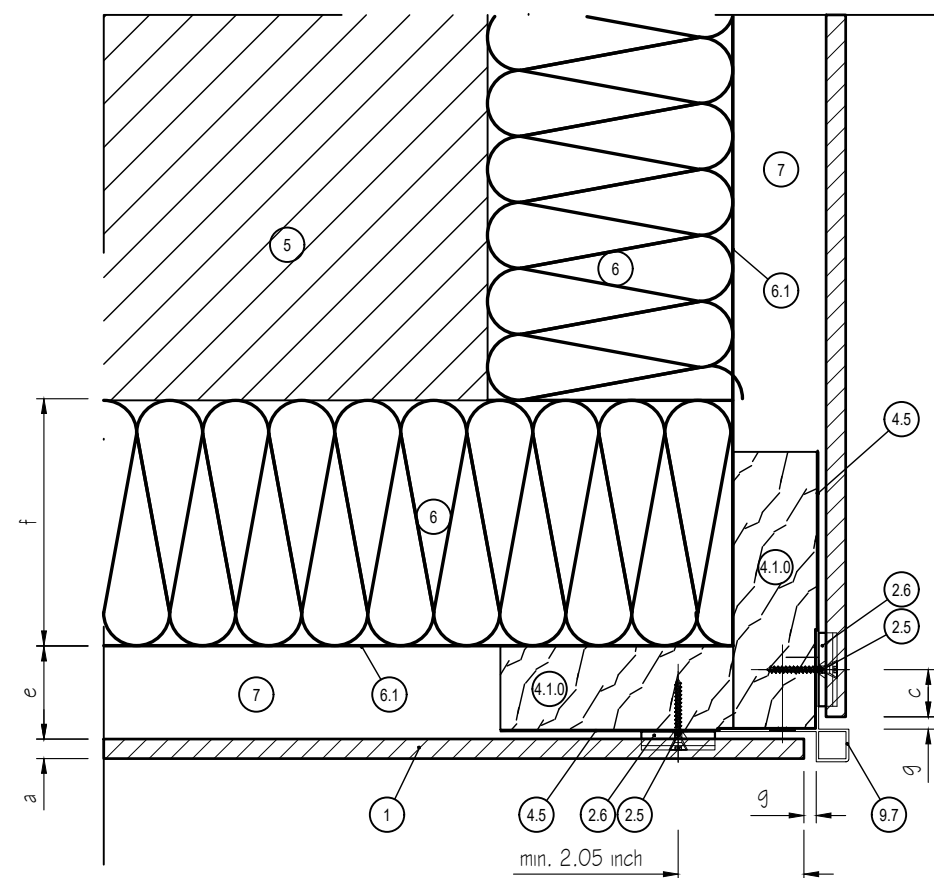
GENERAL INFORMATION:	
a	Panel thickness 0.3 inch
c	Edge clearance min. 0.8 inch, max. 10 x panel thickness
e	Ventilation min. 0.8 inch. Recommended max. cavity depth (between rainscreen cladding and insulation) 2 inch. inlets and outlets min. 2.36 inch/foot
f	Insulation (thickness)
g	Distance min. 2 inch



Façade cladding with Trespa PURA FLUSH Siding(Interior corner) N.T.S. 3

LEGEND:	
1	Trespa® PURA NFC® panel
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
7	Ventilated cavity
9.7	Outer corner profile (PROFACE® CORNEX C128-A)

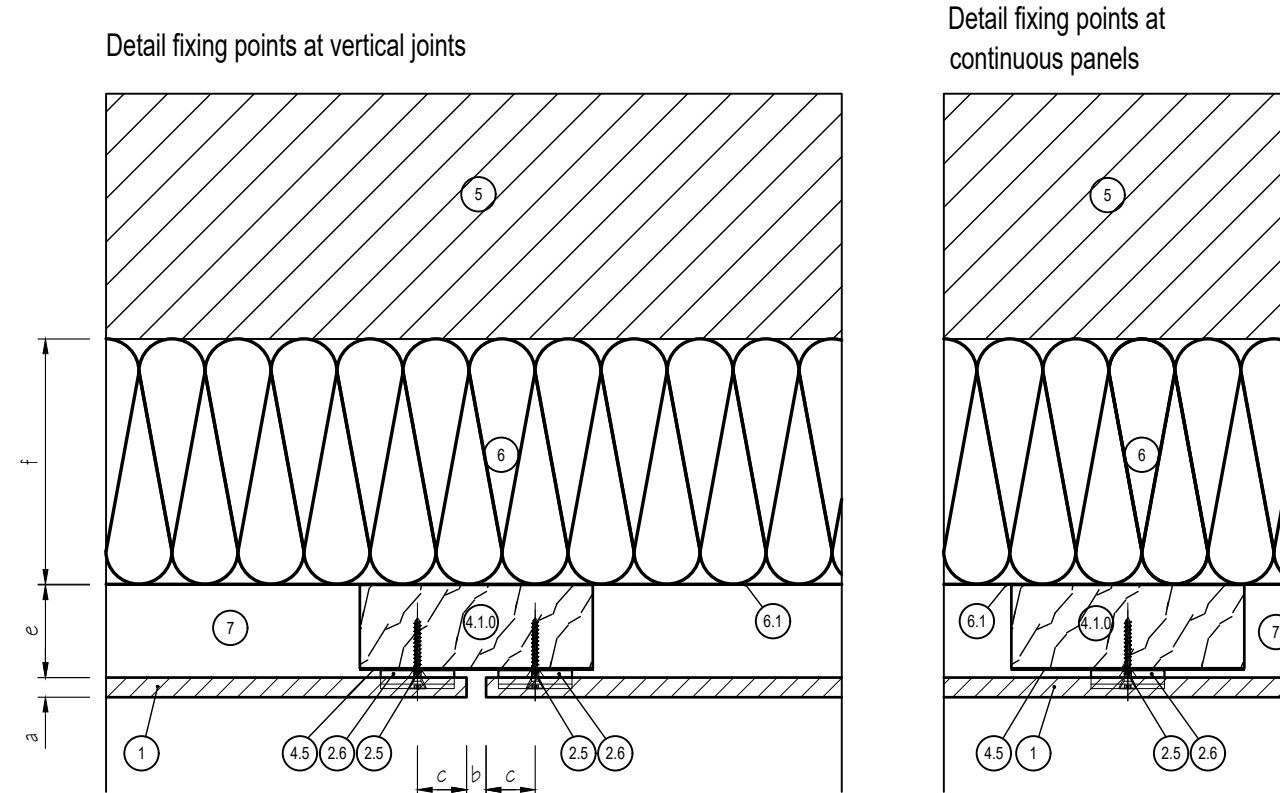
GENERAL INFORMATION:	
a	Panel thickness 0.3 inch
c	Edge clearance min. 0.8 inch, max. 10 x panel thickness
e	Ventilation min. 0.8 inch. Recommended max. cavity depth (between rainscreen cladding and insulation) 2 inch. inlets and outlets min. 2.36 inch/foot
f	Insulation (thickness)
g	Distance min. 2 inch



Façade cladding with Trespa PURA FLUSH Siding(External corner) N.T.S. 2

LEGEND:	
1	Trespa® PURA NFC® panel
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
7	Ventilated cavity

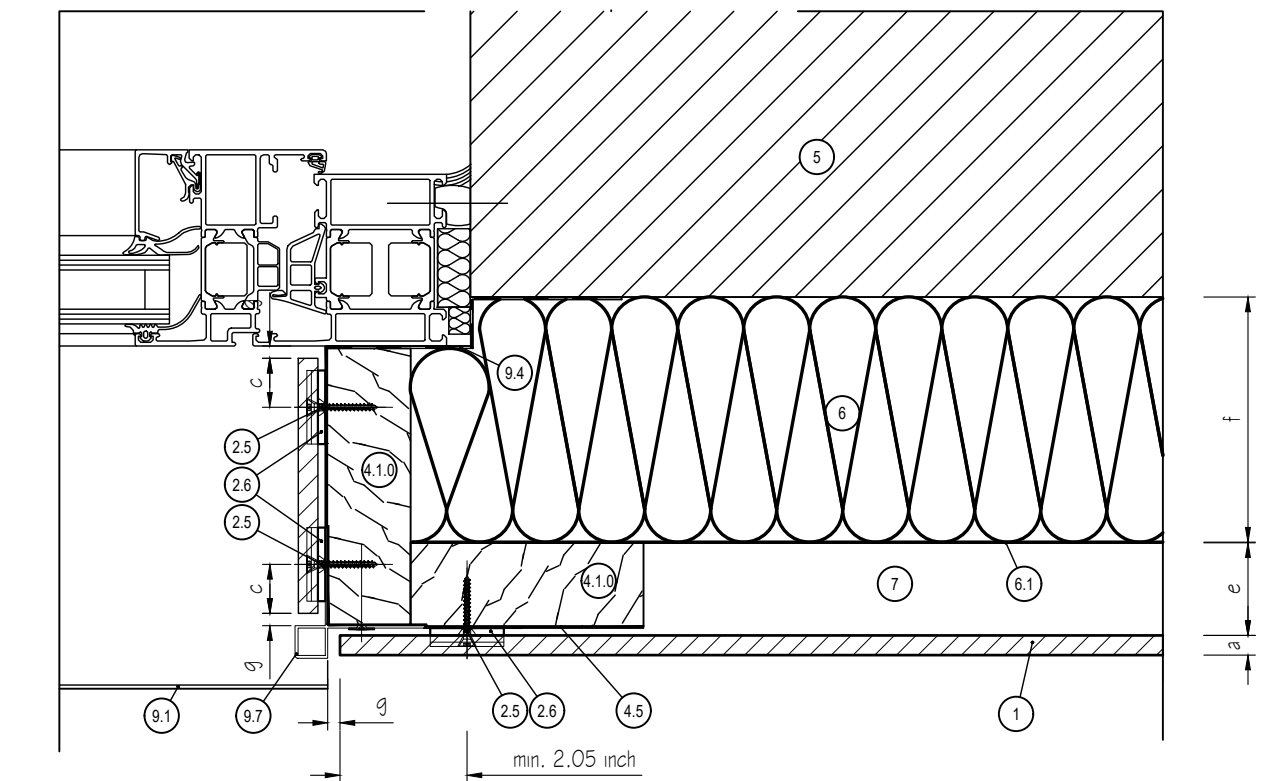
GENERAL INFORMATION:	
a	Panel thickness 0.3 inch
b	Joint width 0.3 inch. Based on applicable building standards, regulations or certificates, wider joints may be permissible
c	Edge clearance min. 0.8 inch, max. 10 x panel thickness
e	Ventilation min. 0.8 inch. Recommended max. cavity depth (between rainscreen cladding and insulation) 2 inch. inlets and outlets min. 2.36 inch/foot
f	Insulation (thickness)



Façade cladding with Trespa PURA FLUSH Siding(Joint vertical) N.T.S. 1

LEGEND:	
1	Trespa® PURA NFC® panel
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
9.1	Window sill
9.4	Wind seal
9.7	Outer corner profile (PROFACE® CORNEX C128-A)

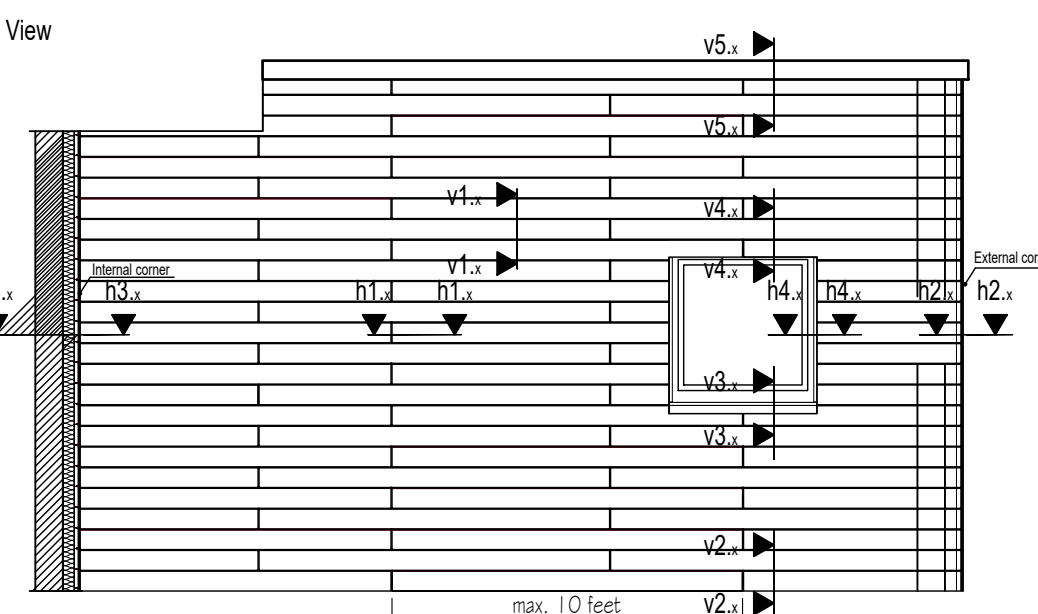
GENERAL INFORMATION:	
a	Panel thickness 0.3 inch
c	Edge clearance min. 0.8 inch, max. 10 x panel thickness
e	Ventilation min. 0.8 inch. Recommended max. cavity depth (between rainscreen cladding and insulation) 2 inch. inlets and outlets min. 2.36 inch/foot
f	Insulation (thickness)
g	Distance min. 2 inch



Façade cladding with Trespa PURA FLUSH Siding(Window embrasure) N.T.S. 4

LEGEND:	
1	Trespa® PURA NFC® panel
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.1.1	Horizontal counter batten
4.2	Thermal isolator
4.3	Wall anchor
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
8	Perforated angle closure

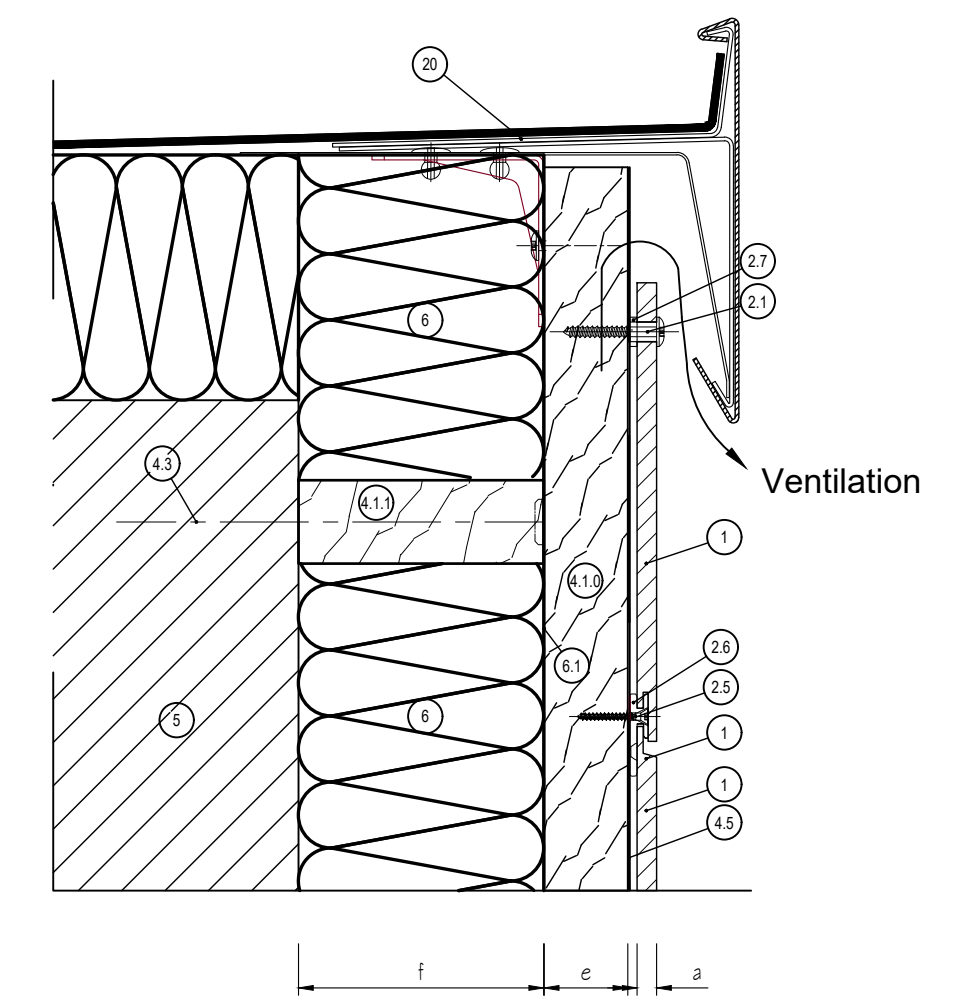
Maximum panel size and maximum fixing distance for façade cladding with Trespa® PURA NFC® please refer to the installation guidelines.



Façade cladding with Trespa PURA FLUSH Siding(base) N.T.S. 5

LEGEND:	
1	Trespa® PURA NFC® panel
2.1	Fast fix screw (SFS Intec RVS A2 0.2 x 1.5 inch)
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
2.7	Installation ring
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.1.1	Horizontal counter batten
4.3	Wall anchor
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
7	Ventilated cavity
9.1	Window sill
9.2	Window reveal with TRESPA®
9.4	Wind seal
9.7	Outer corner profile (PROFACE® CORNEX C128-A)
20	Roof connection not part of TRESPA® delivery program

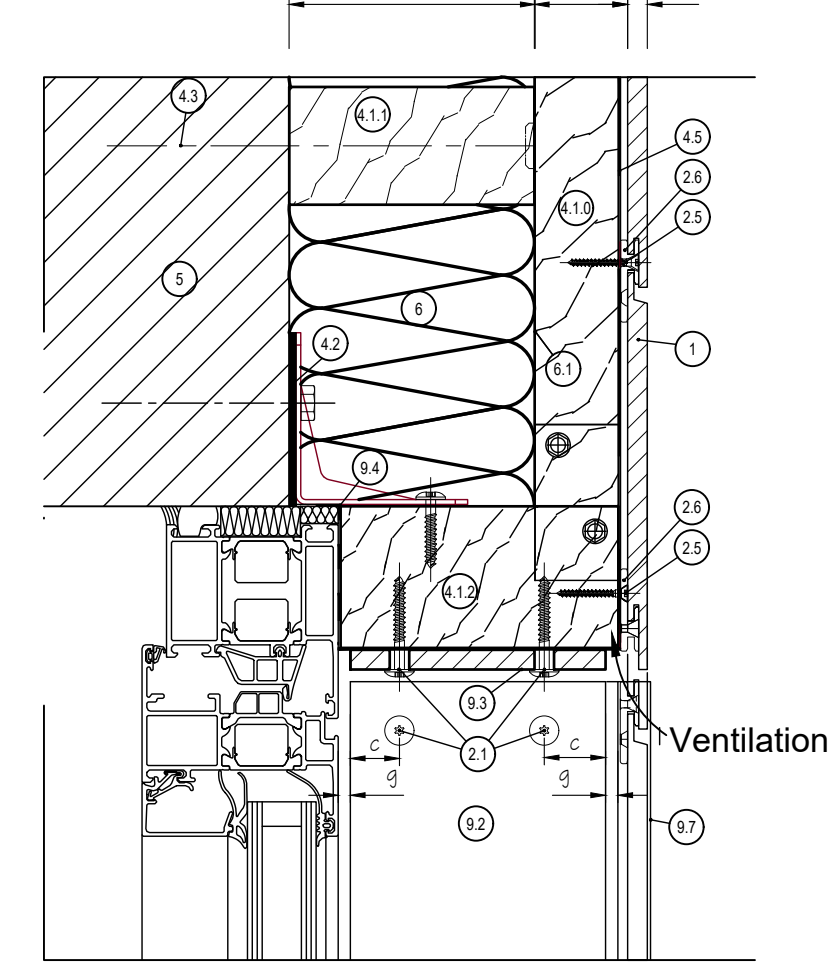
GENERAL INFORMATION:	
a	Panel thickness 0.3 inch
c	Edge clearance min. 0.8 inch, max. 10 x panel thickness
e	Ventilation min. 0.8 inch. Recommended max. cavity depth (between rainscreen cladding and insulation) 2 inch. inlets and outlets min. 2.36 inch/foot
f	Insulation (thickness)
g	Distance min. 2 inch



Façade cladding with Trespa PURA FLUSH Siding(Panel overlap) N.T.S. 6

LEGEND:	
1	Trespa® PURA NFC® panel
2.1	Fast fix screw (SFS Intec RVS A2 0.2 x 1.5 inch)
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.1.1	Horizontal counter batten
4.1.2	Partial wooden substructure
4.2	Thermal isolator
4.3	Wall anchor
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
9.2	Window reveal with TRESPA®
9.3	Window head with TRESPA®
9.4	Wind seal
9.7	Outer corner profile (PROFACE® CORNEX C128-A)

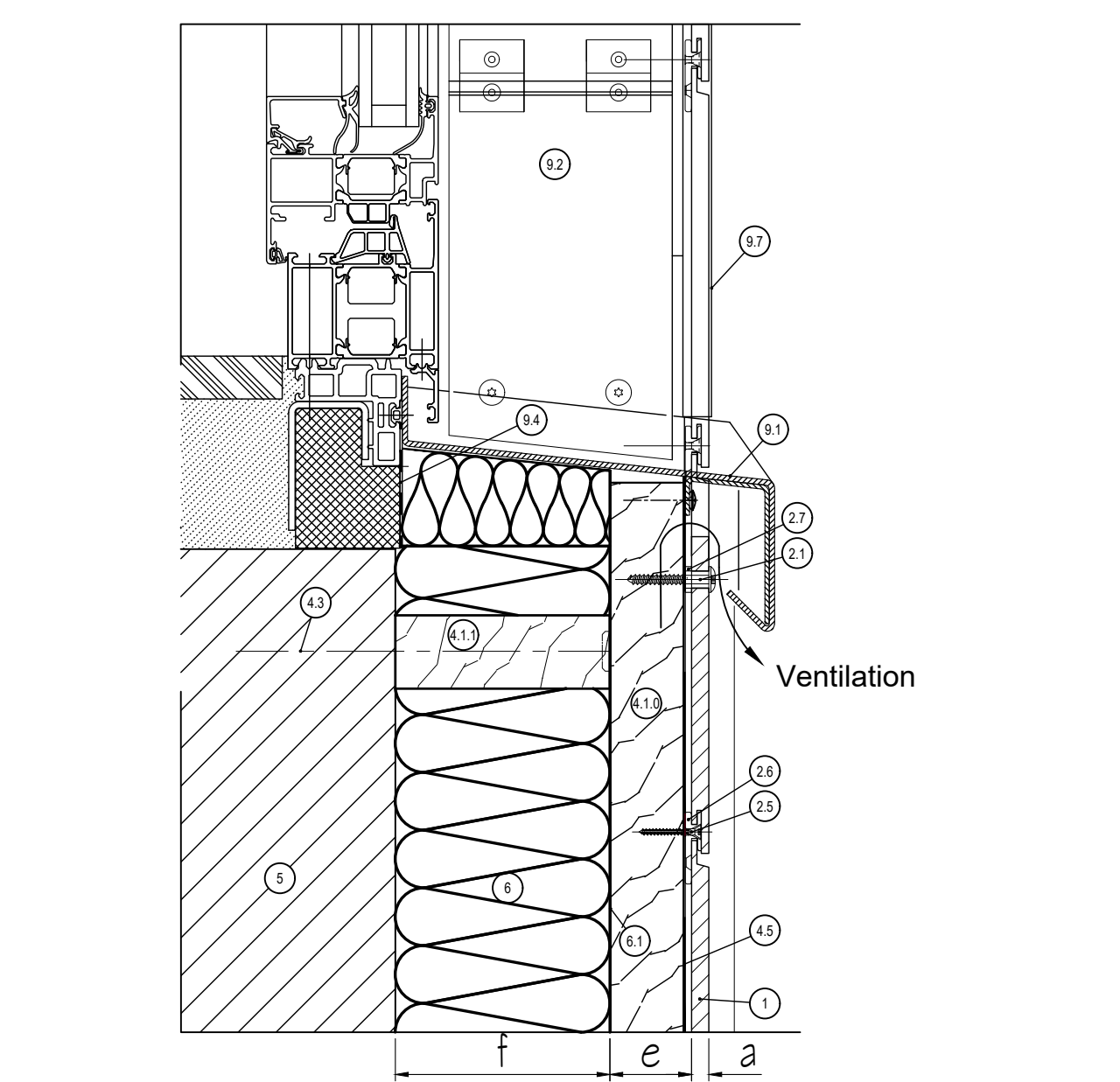
GENERAL INFORMATION:	
a	Panel thickness 0.3 inch
c	Edge clearance min. 0.8 inch, max. 10 x panel thickness
e	Ventilation min. 0.8 inch. Recommended max. cavity depth (between rainscreen cladding and insulation) 2 inch. inlets and outlets min. 2.36 inch/foot
f	Insulation (thickness)
g	Distance min. 2 inch



Façade cladding with Trespa PURA FLUSH Siding(Window head) N.T.S. 8

LEGEND:	
1	Trespa® PURA NFC® panel
2.1	Fast fix screw (SFS Intec RVS A2 0.2 x 1.5 inch)
2.5	Counter sunk screw (WURTH 0.137x1.18 inch, AW 20)
2.6	Universal clip
2.7	Installation ring
4.1.0	Vertical wood batten (min. 37 - 43 x 1.3 inch)
4.1.1	Horizontal counter batten
4.3	Wall anchor
4.5	EPDM gasket
5	Wall
6	Insulation
6.1	Weather barrier membrane
7	Ventilated cavity
9.1	Window sill
9.2	Window reveal with TRESPA®
9.4	Wind seal
9.7	Outer corner profile (PROFACE® CORNEX C128-A)

GENERAL INFORMATION:	
a	Panel thickness 0.3 inch
c	Edge clearance min. 0.8 inch, max. 10 x panel thickness
e	Ventilation min. 0.8 inch. Recommended max. cavity depth (between rainscreen cladding and insulation) 2 inch. inlets and outlets min. 2.36 inch/foot
f	Insulation (thickness)
g	Distance min. 2 inch



Façade cladding with Trespa PURA FLUSH Siding(Window sill) N.T.S. 7

DOOR SCHEDULE

LEVEL	OPENING					DOOR		FRAME		SCREEN			HARDWARE GROUP			FIRE RATING			DETAILS			REMARKS
	NO.	TYPE	PAIR	WIDTH	HEIGHT	THICK	MATERIALS	FINISH	MATERIALS	FINISH	SCREEN	HARDWARE GROUP	FIRE RATING	HEAD	JAMB	SILL						
GROUND FLOOR	101	A	-	4'-0"	8'-0"	2"	HM	PAINT	METAL	MFR	N	1	-									PIVOT DOOR
	102	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	103	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	104	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	3	-									
	105	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	106	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	3	-									
	107	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	108	B	-	3'-0"	9'-0"	1-3/4"	FIBERGLASS/TEMP. GLASS	MFR	FIBERGLASS	MFR	-	4	-									TEMPERED GLASS
	109	F	PAIR	6'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	110	C	4 PANELS	19'-0"	9'-0"	1-3/4"	FIBERGLASS/TEMP. GLASS	MFR	FIBERGLASS	MFR	-	4	-									TEMPERED GLASS
	111	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	112	G	PAIR	8'-0"	8'-0"	1-3/4"	ALUMINUMMIRROR	MFR	-	MFR	-	-	-									
	113	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	114	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	3	-									
	115	I	-	3'-0"	8'-0"	1-3/4"	FIBERGLASS/TEMP. GLASS	MFR	WOOD	MFR	-	2	-									
	116	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	117	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	118	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	3	-									
	119	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	3	-									
	120	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	121	G	PAIR	8'-0"	8'-0"	1-3/4"	ALUMINUMMIRROR	MFR	-	MFR	-	-	-									
	122	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	2	-									
	123	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	3	-									
	124	E	-	3'-0"	8'-0"	1-3/4"	WOOD / SC	PAINT	WOOD	PAINT	-	3	-	20 MIN.								
	125	H	-	16'-0"	8'-0"	1-3/4"	INSULATED METAL	MFR	-	MFR	-	5	-									

DOOR TYPES

DOOR HARDWARE GROUP:

- ENTRANCE LOCK UNLOCKED BY KEY FROM OUTSIDE INSIDE TURN BUTTON LOCKING
- PRIVACY LOCK PUSH-BUTTON LOCKING TURNING INSIDE KNOB/LEVER RELEASES PUSH-BUTTON CAN OPEN FROM OUTSIDE VIA EMERGENCY RELEASE
- PASSAGE LATCH BOTH KNOBS/LEVERS ALWAYS UNLOCKED
- PATIO DOOR NO KEY FROM OUTSIDE INSIDE TURN BUTTON LOCKING
- REMOTE CONTROLLED CHAIN LESS SECTIONAL

NOTE:

ALL DOORS AND WINDOWS SHALL MEET CITY OF GLENDALE SECURITY ORDINANCE

ALL EXTERIOR DOORS SHALL BE SOLID CORE WOOD MINIMUM 1-3/8" THK IN THE INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4"

ALL DOOR GLAZING SHALL HAVE AN ENERGY RATING AS PER TITLE 24 CALCULATION

U-FACTOR = 0.34
SHGC = 0.33

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE

WD - WOOD
GL - GLASS
MFR - MANUFACTURED
HC - HOLLOW CORE
SC - SOLID CORE

Ⓟ - TEMPERED
Ⓡ - FIXED

WINDOW SCHEDULE

LEVEL	OPENING				FRAME				GLASS				DETAILS			REMARKS		
	NO.	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	OPERATION	TYPE	THICK	TYPE	TEMPERED	SCREEN	RECESSED	EDGE	HEAD		JAMB	SILL
GROUND FLOOR	101	D	2'-6"	3'-6"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				
	102	D	2'-6"	3'-6"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				
	103	E	9'-0"	9'-0"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				ESCAPE WINDOW
	104	D	2'-6"	3'-6"	FIBERGLASS	MFR.	CASEMENT	NAILED-IN	1/8"	DUAL GLAZED	Y	N	Y	PLASTER				
	105	C	2'-6"	2'-0"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				
	106	B	5'-0"	2'-0"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				
	107	A	6'-0"	7'-0"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				ESCAPE WINDOW
	108	D	2'-6"	3'-6"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				
	109	D	2'-6"	3'-6"	FIBERGLASS	MFR.	CASEMENT	NAILED-IN	1/8"	DUAL GLAZED	Y	N	Y	PLASTER				
	110	A	6'-0"	7'-0"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				ESCAPE WINDOW
	111	A	6'-0"	7'-0"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				
	112	B	2'-6"	3'-6"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				
	113	E	9'-0"	9'-0"	FIBERGLASS	MFR.	SLIDING	NAILED-IN	1/8"	DUAL GLAZED	Y	Y	Y	PLASTER				ESCAPE WINDOW
	114	D	2'-6"	3'-6"	FIBERGLASS	MFR.	CASEMENT	NAILED-IN	1/8"	DUAL GLAZED	Y	N	Y	PLASTER				

WINDOW TYPES

MIN. OPENING 2'-0"

MAX. OPENING 4'-0"

SILL

FF

MIN. CLEAR OPENABLE AREA = 5.7 SF

PER CBC 1029.2.1 MEANS OF EGRESS

Ⓟ - TEMPERED
Ⓡ - FIXED
EW - ESCAPE WINDOW

ALL WINDOW GLAZING SHALL HAVE AN ENERGY RATING AS PER TITLE 24 CALCULATION
U-FACTOR = 0.30
SHGC = 0.23

* EXTERIOR GLAZED DOORS & WINDOWS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257 OR MEET THE REQUIREMENTS OF SFM 12-7A-2

* THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN DONE.

ROOM FINISH SCHEDULE

LEVEL	ROOM	FLOOR		WALL		BASE		CEILING		CEILING-HT	REMARKS
		HARDWOOD	CERAMIC/STONE TILES	SEALED CONCRETE	PAINTED GYPSUM BD. (FLAT)	PAINTED GYPSUM BD. (SEMI-GLOSS)	CERAMIC/STONE TILES	PAINTED WOOD (SEMI-GLOSS)	CERAMIC TILES		
GROUND FLOOR	101	PDR									
	102	STUDY / BEDROOM 5									
	103	CLOSET									
	104	SAFE									
	105	MASTER CLOSET									
	106	MASTER BATH									
	107	MASTER BEDROOM									
	108	KITCHEN									
	109	LIVING									
	110	DINING									
	111	BEDROOM 2									
	112	BATH									
	113	PDR									
	114	BATH									
	115	BEDROOM 3									
	116	CLOSET									
	117	LAUNDRY									
	118	BEDROOM 4									
	119	BATH									
	120	PARKING GARAGE									



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The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:
Mr. and Mrs. Ekmekchian
3130 N Lamer St.
Burbank, Ca. 91504

PROJECT:
Ekmekchian Residence
3130 N Lamer St.
Burbank, Ca. 91504

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:
DOOR / WINDOW AND ROOM FINISH SCHEDULES

DATE	05.08.23
SCALE	N.T.S.
DRAWN BY	HZ
JOB NUMBER	011222

SHEET
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