

STORM WATER MANAGEMENT NOTES:

1. Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or winds.
2. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
4. Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
5. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
6. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
7. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way.
8. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
9. Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
10. Schedule construction activity to reduce area and duration of soil exposed to erosion by wind, rain, runoff and vehicle tracking.

EXISTING NONCOMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENT: SENATE BILL 407 (SB 407) REQUIRES NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATERCONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS BILL APPLIES TO ALL SINGLE-FAMILY RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS CONSTRUCTED ON OR BEFORE JANUARY 1, 1994. FIXTURES INCLUDE WATER CLOSETS, URINALS, SHOWERHEADS, LAVATORY FAUCETS, AND KITCHEN FAUCETS. NONCOMPLIANT FIXTURES CAN ONLY BE REPLACED BY FIXTURES COMPLYING WITH THE REQUIREMENTS OF CALGREEN AND THE CALIFORNIA PLUMBING CODE.

THE WATER-CONSERVING PLUMBING FIXTURE CERTIFICATE OF COMPLIANCE MUST BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO THE FINAL BUILDING INSPECTION.

- NEW INSTALLATION OF GAS WATER HEATHER SHALL HAVE ALL THE FOLLOWING AS PER 2019 CALIFORNIA ENERGY CODE 150.0(n):
1. A 120V ELECTRICAL RECEPTACLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS.
 2. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE TERMINATION AND THE WATER HEATER.
 3. A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.
 4. A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 BTU/HR.

- NOTE:
1. UNFIRED TANKS SHALL HAVE A MINIMUM R-12 INSULATION
 2. R-7.7 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES.
 3. ALL HOT WATER PIPING 3/4" OR LARGER, FROM THE WATER HEATER TO THE KITCHEN FIXTURES, SHALL HAVE R-7.7 INSULATION.

NOTE:
THE APPROVAL OF PLANS AND SPECIFICATION DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE STATE LAW.

BUILDING MAINTENANCE AND OPERATION SEC.4.410
BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, OR OTHER APPROVED MEDIA SHALL BE PLACE IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC.4.410.

NOTE:
PROVIDE ON COVER SHEET IN BOLD LETTER TO CALL "DIG ALERT" PRIOR TO ANY GROUND WORK OR EXCAVATION.

BACKWATER VALVE TO BE INSTALLED ON PRIVATE BUILDING SEWER PER BMC 8-1-313 AND REQUIREMENTS OF THE CITY'S CDD-BUILDING DEPARTMENT. IT IS NOTED AND ACKNOWLEDGED THAT CITY STAFF WILL NOT SIGN OFF ON THE FINAL BUILDING PERMIT APPROVAL AND/OR CERTIFICATE OF OCCUPANCY UNTIL THE OWNER/DEVELOPER PROVIDES PROOF THAT THE BACKWATER VALVE(S) HAVE BEEN INSTALLED.

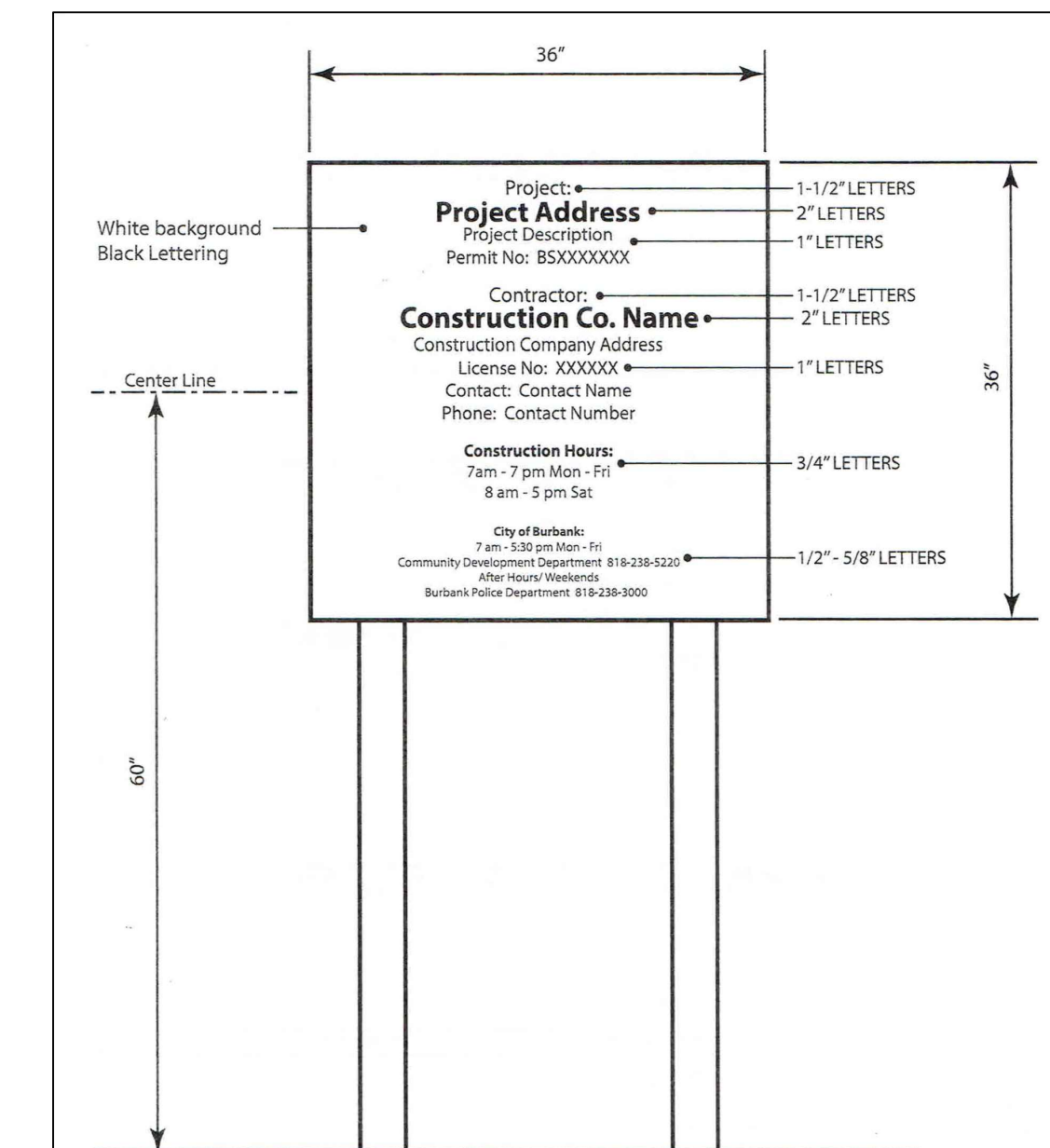
PER BMC 9-3-407, BEST MANAGEMENT PRACTICES SHALL APPLY TO ALL CONSTRUCTION PROJECTS AND SHALL BE REQUIRED FROM THE TIME OF LAND CLEARING, DEMOLITION OR COMMENCEMENT OF CONSTRUCTION UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY.

ANY EXISTING FIXTURE OR CONNECTION TO THE SEWER MAIN LINE MUST BE CAPPED BEFORE BUILDING DEMOLITION ACTIVITIES OCCUR.

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS(INCL.TUBULAR)MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

EFFECTIVE JANUARY 1, 2017 NEW INSTALLATION GAS WATER HEATER SHALL HAVE ALL THE FOLLOWING AS PER 2016 ENERGY STANDARDS 150.0 (N):

- 1) A 120V ELECTRICAL RECEPTACLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS.
- 2) A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE AND WATER HEATER.
- 3) A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.
- 4) A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 BTU/HR.



- PROJECT SIGN**
1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).
 2. Sign may be mounted independently or on the construction fence.

ARCHISET INCORPORATION
Areg Vardanyan
ADD.: 200 W Gleasons Blvd Suite 104
Glendale, CA 91202
Tel.: (818) 210 8894
E-mail: info.archiset@gmail.com

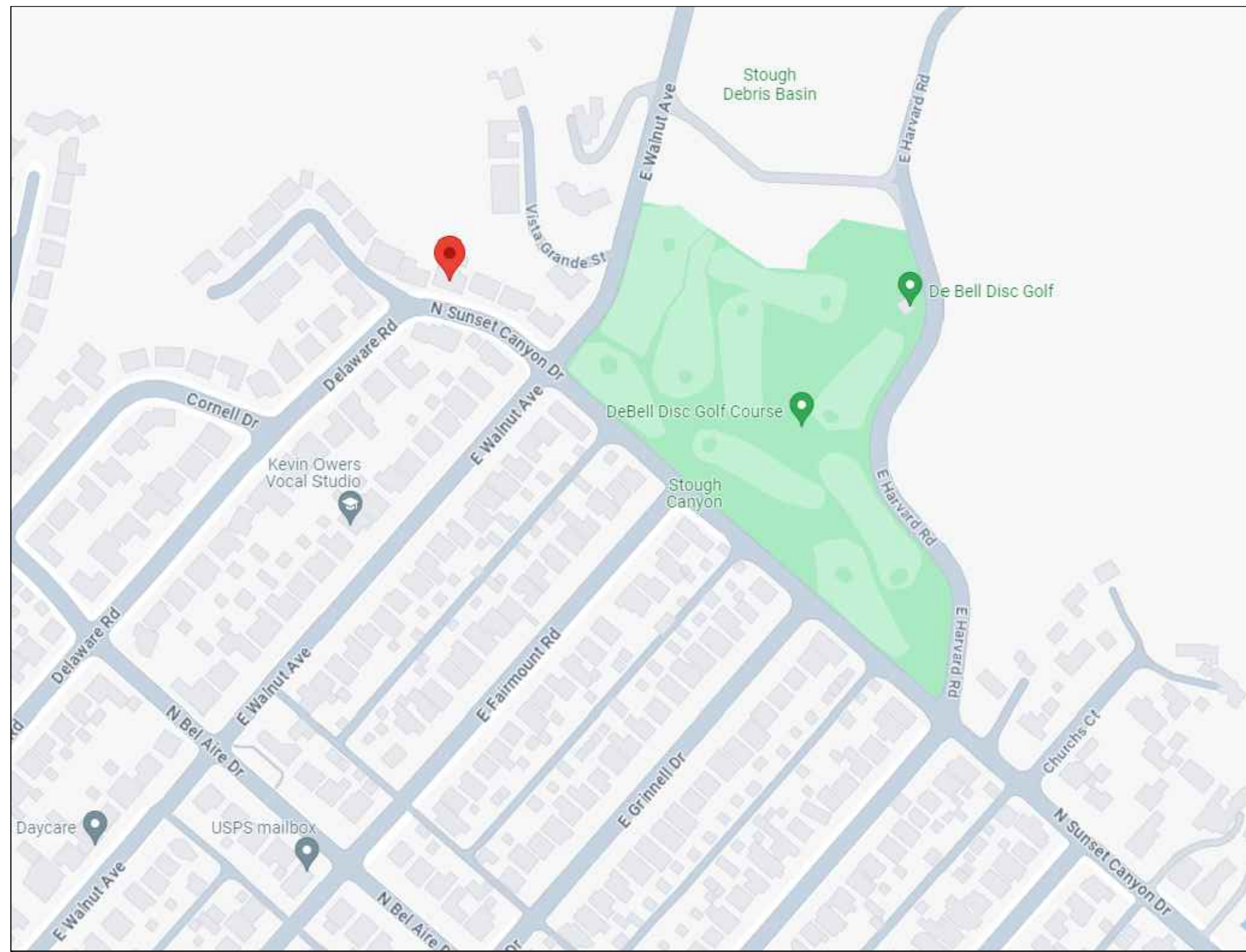
PROJECT #: 24-10
PLOT DATE: 11/5/24
DRAWN BY: SH
CHECKED BY: AV

ALL IDEAS, ARRANGEMENTS AND DESIGN CONCEPTS ARE PROPRIETARY TO ARCHISET INC. AND SHALL NOT BE USED OR REPRODUCED IN PART OR IN WHOLE WITHOUT THE EXPRESS PERMISSION IN WRITING BY ARCHISET INCORPORATION.

OWNER: Kamilla Khudyakova
ADDRESS: 1018 N SUNSET CANYON DR, BURBANK CA 91504
PAGE NAME: COVER SHEET

STAMP:

SHEET:
A-1



SCOPE OF WORK:

(E) HOUSE REMODELING WITH CHANGING OF CEILING HEIGHT AND (N) ADDITION AND ADDING A (N) PATIO

LEGAL DESCRIPTION:

| | |
|----------------------------|---|
| SITE ADDRESS: | 1018 N SUNSET CANYON DR, BURBANK CA 91504 |
| ACCESSOR PARCEL No. (APN): | 2470-009-006 |
| TRACT: | 16976 |
| LOT: | 78 |
| ZONING: | R-1 |
| CONSTRUCTION TYPE: | TYPE V B |

OWNER INFORMATION: KAMILLA KHUDYAKOVA
 ARCHITECT INFORMATION: MANVEL VARDANYAN

AREA INFORMATION:

| | |
|---------------------|-----------------|
| LOT AREA | 15,870.0 SQ.FT. |
| EXISTING HOUSE AREA | 2,310.0 SQ.FT. |
| EXISTING GARAGE | 527.0 SQ.FT. |
| EXISTING PATIO | 363.0 SQ.FT. |

| FLOOR AREA RATIO (LOT COVERAGE) NO CHANGE | |
|---|--------------------|
| LOT SIZE 15,870.0 SQ/FT | LOT COVERAGE TOTAL |
| EXISTING HOUSE | 2,310.0 S.F. |
| EXISTING GARAGE | 527.0 S.F. |
| EXISTING PATIO | 363.0 S.F. |
| (N) 2ND STORY ADDITION (REC. ROOM) | 381.0 S.F. |
| (N) 1ST FLOOR ADDITION | 152.0 S.F. |
| (N) FRONT COVERED PORCH | 124.71 S.F. |
| NEW REAR ADDITION, | 35.0 S.F. |

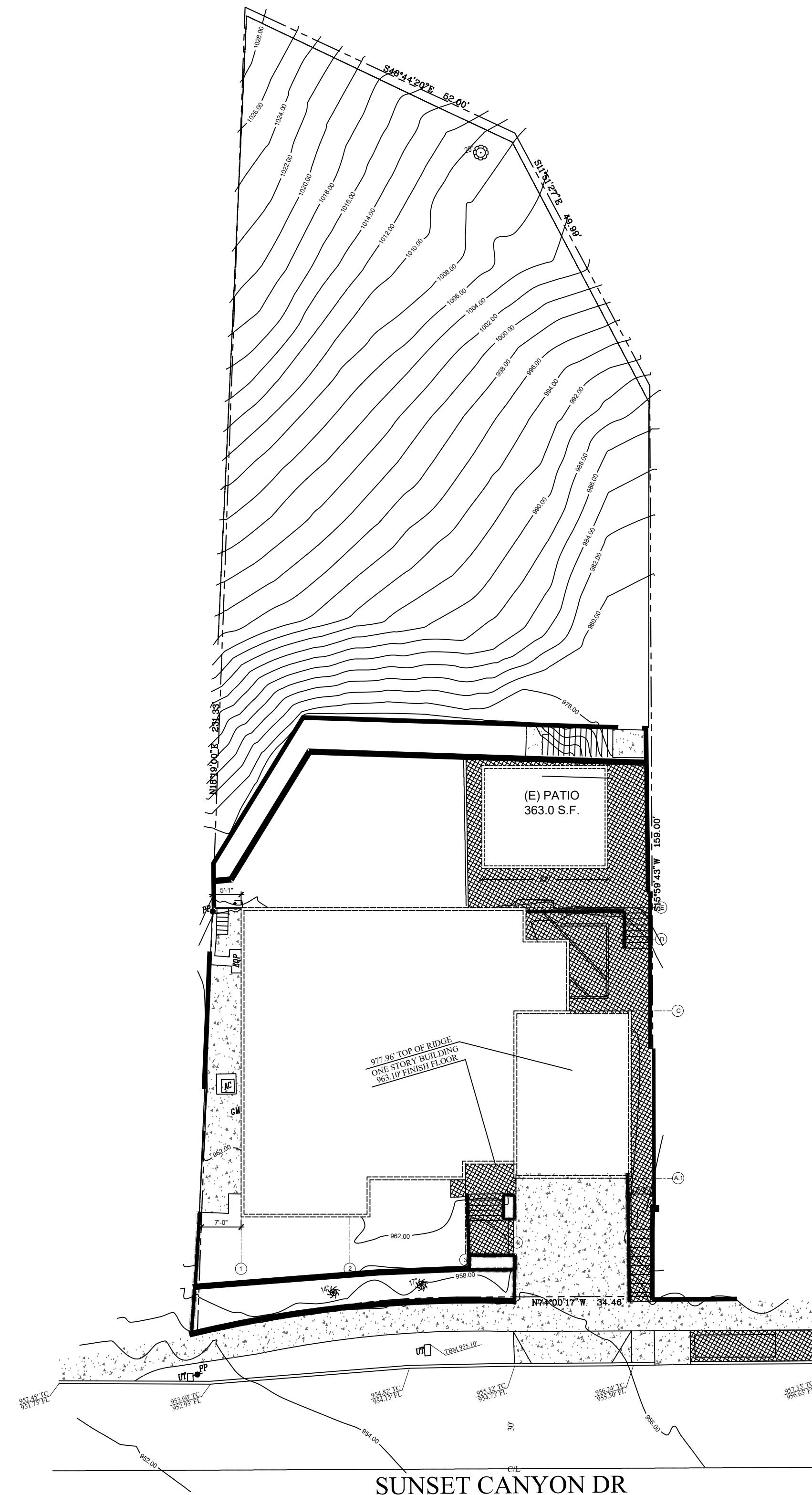
FAR
 7500x0.4=3000
 7500-1500=7500x0.3=2250
 870x0.2=174
 TOTAL=5,424 S.F.>3,892.71 S.F.

PROPERTY INFORMATION

| | |
|-------------------------------|--------|
| STORY: | 2 |
| NUMBER OF EXISTING BEDROOMS: | 4 |
| NUMBER OF EXISTING BATHROOMS: | 4 |
| EXISTING OCCUPANCY USE: | R-3 |
| PROPOSED OCCUPANCY USE: | R-3 |
| BUILDING HEIGHT: | 21'-0" |

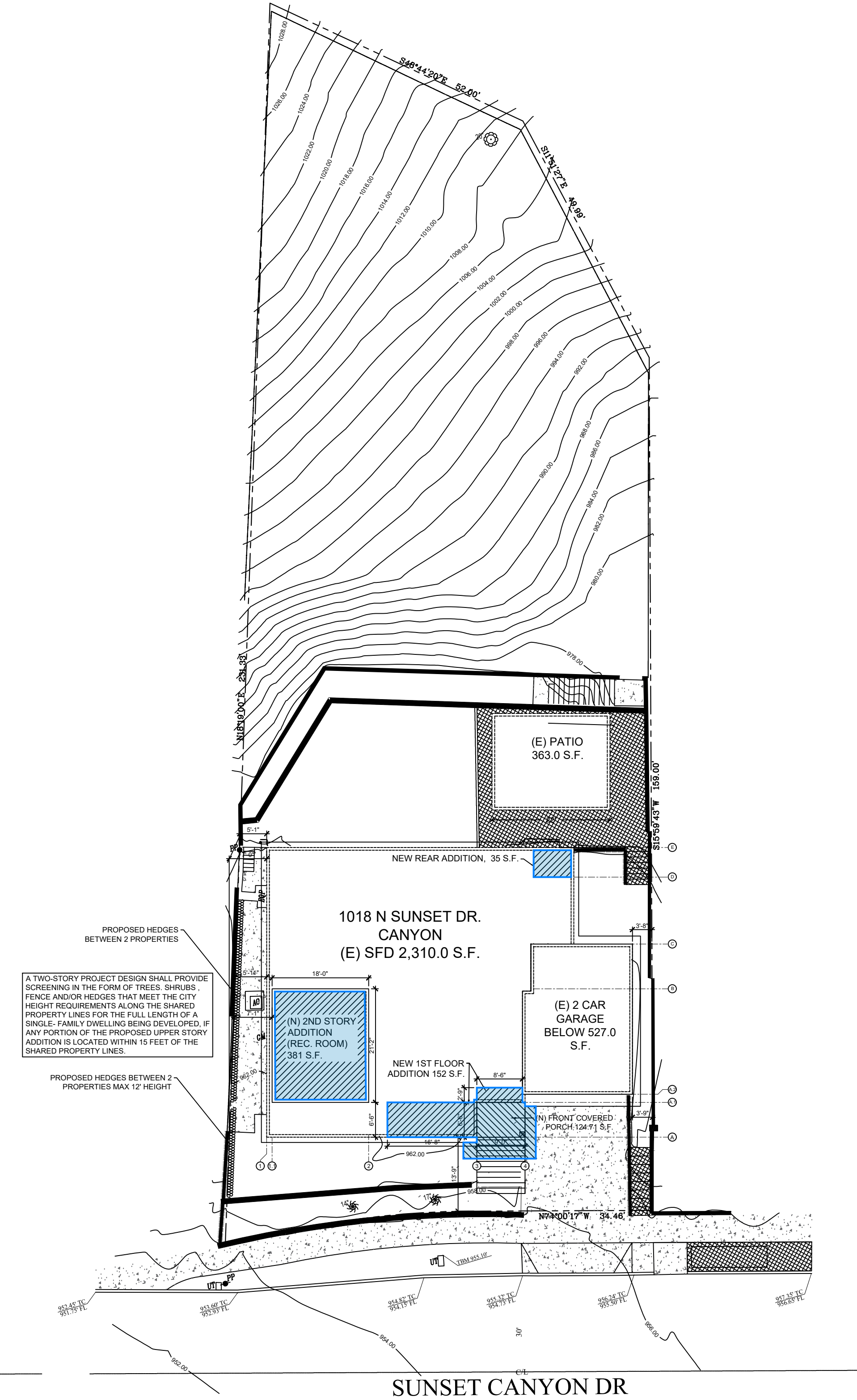
SHEET INDEX:

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| A-1 | COVER SHEET |
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SUNSET CANYON DR

EXISTING FLOOR PLAN
 SCALE: 1/16"=1'-0"



SUNSET CANYON DR

PROPOSED FLOOR PLAN
 SCALE: 1/16"=1'-0"

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PROJECT #: 24-10
 PLOT DATE: 11/5/24
 DRAWN BY: SH
 CHECKED BY: AV

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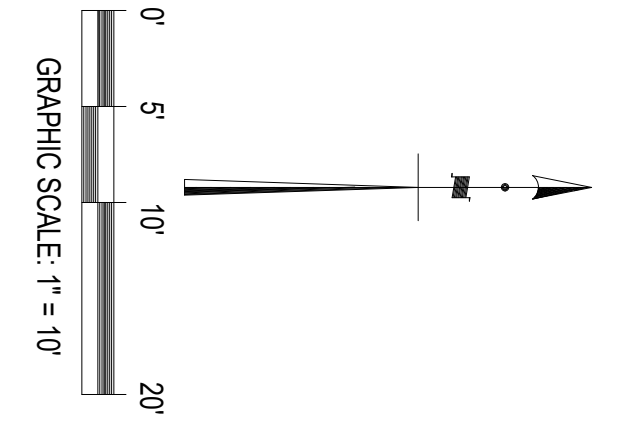
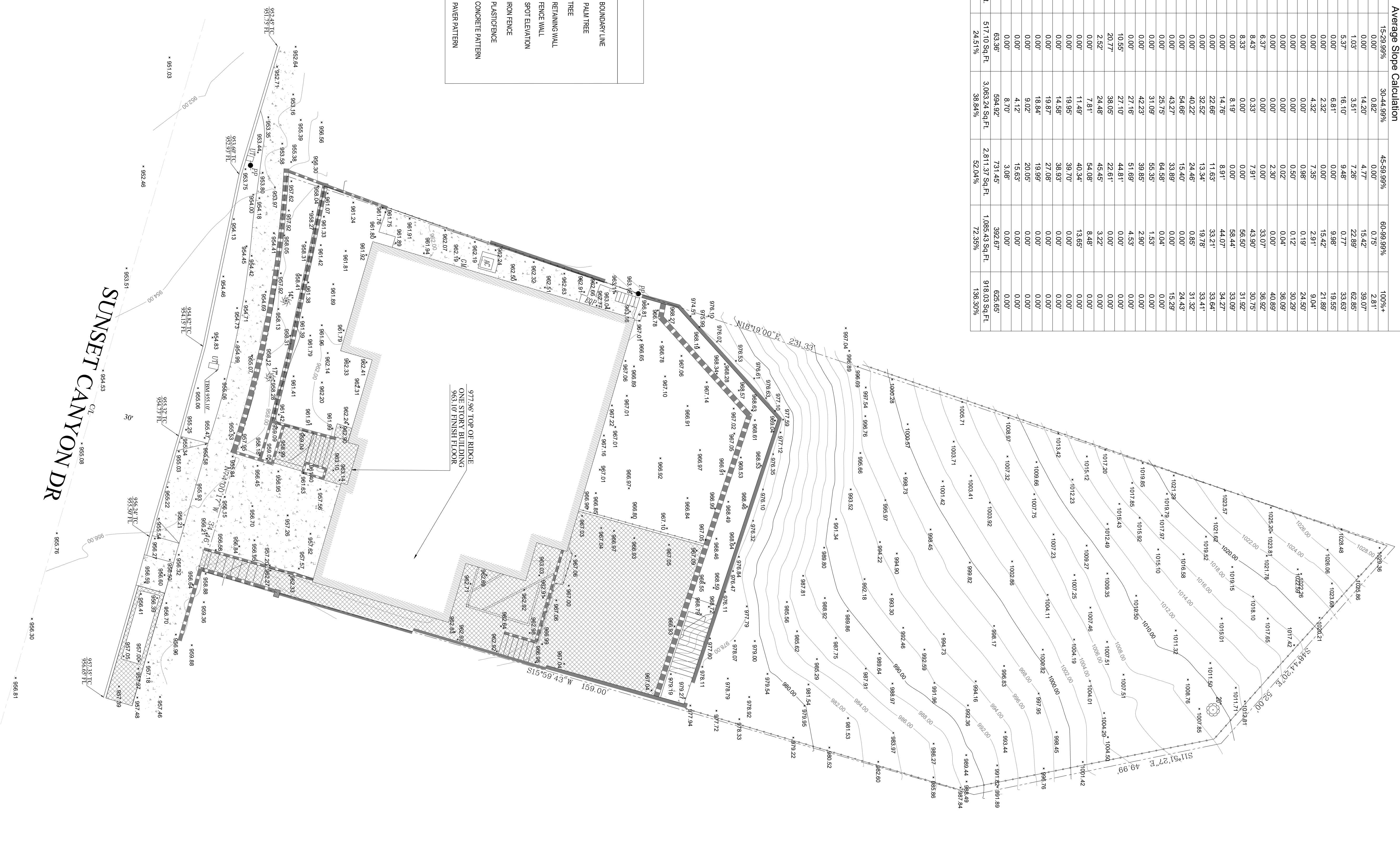
OWNER: Kamilla Khudyakova
 ADDRESS: 1018 N SUNSET CANYON DR, BURBANK CA 91504
 PAGE NAME: SITE PLAN

STAMP:

SHEET:
A-2

| Average Slope Calculation | | | | | | | |
|---------------------------|-------------------|------------------|----------------|------------------|------------------|------------------|----------------|
| Contour | Length | 0-14.99% | 15-29.99% | 30-44.99% | 45-59.99% | 60-99.99% | 100%+ |
| 996.00' | 7.51' | 3.13' | 0.00' | 0.00' | 0.00' | 0.75' | 2.81' |
| 998.00' | 91.67' | 18.20' | 0.00' | 14.20' | 4.77' | 15.42' | 39.07' |
| 998.00' | 97.54' | 0.00' | 1.03' | 3.51' | 22.89' | 62.85' | 62.85' |
| 998.00' | 104.70' | 39.96' | 5.37' | 16.10' | 9.48' | 0.77' | 33.63' |
| 998.00' | 36.34' | 0.00' | 0.00' | 6.81' | 0.00' | 0.00' | 19.95' |
| 998.00' | 39.62' | 0.00' | 0.00' | 2.32' | 0.00' | 15.42' | 21.89' |
| 998.00' | 23.61' | 0.00' | 0.00' | 4.32' | 0.00' | 7.35' | 9.04' |
| 998.00' | 25.67' | 0.00' | 0.00' | 0.00' | 0.00' | 0.19' | 24.50' |
| 998.00' | 30.91' | 0.00' | 0.00' | 0.00' | 0.50' | 0.12' | 30.29' |
| 998.00' | 43.81' | 0.00' | 0.00' | 0.00' | 0.02' | 0.04' | 36.09' |
| 998.00' | 87.48' | 11.12' | 6.37' | 0.00' | 0.00' | 3.07' | 40.89' |
| 998.00' | 91.32' | 0.00' | 8.43' | 0.33' | 0.00' | 43.90' | 36.92' |
| 998.00' | 96.75' | 0.00' | 0.00' | 0.00' | 0.33' | 0.00' | 30.75' |
| 998.00' | 98.76' | 0.00' | 0.00' | 0.00' | 0.00' | 31.62' | 31.62' |
| 998.00' | 99.73' | 0.00' | 0.00' | 0.00' | 0.00' | 59.48' | 33.99' |
| 998.00' | 102.01' | 0.00' | 0.00' | 0.00' | 0.00' | 59.48' | 33.99' |
| 998.00' | 101.14' | 0.00' | 0.00' | 0.00' | 0.00' | 44.07' | 34.27' |
| 998.00' | 99.04' | 0.00' | 0.00' | 0.00' | 0.00' | 33.21' | 33.64' |
| 998.00' | 96.84' | 0.00' | 0.00' | 0.00' | 0.00' | 19.78' | 33.41' |
| 998.00' | 94.49' | 0.00' | 0.00' | 40.22' | 24.46' | 0.85' | 0.00' |
| 998.00' | 92.46' | 0.00' | 0.00' | 54.66' | 15.40' | 24.43' | 0.00' |
| 998.00' | 90.38' | 0.00' | 0.00' | 43.27' | 33.89' | 15.29' | 0.00' |
| 998.00' | 87.97' | 0.00' | 0.00' | 25.75' | 64.58' | 0.04' | 0.00' |
| 998.00' | 84.97' | 0.00' | 0.00' | 31.09' | 55.35' | 1.53' | 0.00' |
| 998.00' | 83.39' | 0.00' | 0.00' | 42.23' | 39.85' | 2.90' | 0.00' |
| 998.00' | 82.47' | 0.00' | 0.00' | 27.16' | 51.69' | 4.59' | 0.00' |
| 998.00' | 81.43' | 0.00' | 0.00' | 20.77' | 44.81' | 0.00' | 0.00' |
| 998.00' | 75.66' | 0.00' | 0.00' | 38.05' | 22.61' | 0.00' | 0.00' |
| 998.00' | 70.37' | 0.00' | 0.00' | 29.48' | 45.45' | 3.22' | 0.00' |
| 998.00' | 65.49' | 0.00' | 0.00' | 14.88' | 54.08' | 8.48' | 0.00' |
| 998.00' | 59.65' | 0.00' | 0.00' | 11.49' | 40.34' | 13.65' | 0.00' |
| 998.00' | 53.51' | 0.00' | 0.00' | 19.99' | 39.70' | 0.00' | 0.00' |
| 998.00' | 48.95' | 0.00' | 0.00' | 14.58' | 38.93' | 0.00' | 0.00' |
| 998.00' | 46.95' | 0.00' | 0.00' | 19.87' | 27.08' | 0.00' | 0.00' |
| 998.00' | 29.07' | 0.00' | 0.00' | 18.84' | 19.99' | 0.00' | 0.00' |
| 998.00' | 19.76' | 0.00' | 0.00' | 9.02' | 20.05' | 0.00' | 0.00' |
| 998.00' | 11.78' | 0.00' | 0.00' | 4.12' | 15.63' | 0.00' | 0.00' |
| Total Length | 2,460.48' | 72.43' | 63.36' | 594.92' | 731.45' | 392.67' | 625.65' |
| Development Area | 11,597.63 Sq. Ft. | 3,200.69 Sq. Ft. | 517.10 Sq. Ft. | 3,063.24 Sq. Ft. | 2,811.37 Sq. Ft. | 1,085.43 Sq. Ft. | 918.03 Sq. Ft. |
| AVG Slope | 42.78% | 4.53% | 24.51% | 38.94% | 52.04% | 72.35% | 136.30% |

| LEGEND | | | |
|--------|-----------------------|--|------------------|
| | UTILITIES | | BOUNDARY LINE |
| | GAS METER | | PALM TREE |
| | AIR CONDITIONING UNIT | | TREE |
| | EQUIPMENT | | RETAINING WALL |
| | POWER POLE | | FENCE WALL |
| | C.L. CENTERLINE | | SPOT ELEVATION |
| | DRAIN | | IRON FENCE |
| | COLUMN | | PLASTIC FENCE |
| | | | CONCRETE PATTERN |
| | | | PAVER PATTERN |



DESIGNED BY: AK
CHECKED BY: GB
1018 N SUNSET
CANYON DR
BURBANK CA 91504



DATE: 10/10/2024
JOB NO: MLB24-1002

| REV | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| 1 | - | - | - |
| 2 | - | - | - |
| 3 | - | - | - |
| 4 | - | - | - |
| 5 | - | - | - |

TOPOGRAPHIC SURVEY

BENCH MARK:
TEMPORARY BENCH MARK: ASSUME AS UTILITIES
BOX LD ON SUNSET CANYON DR SIDEWALK
ELEVATION: 955.10

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN
BELOW IS SITUATED IN THE CITY OF
BURBANK COUNTY OF LOS ANGELES,
DESCRIBED AS FOLLOWS:
TRACT NO 16976 LOT 78, PER MAP
RECORDED IN BOOK 431, PAGES 46-47,
INCLUDES OF MAPS, RECORDS OF LOS
ANGELES COUNTY.

APN: 2470-009-006

MLB CONSULTING AND ENGINEERING, INC.
7918 FOOTHILL BLVD.
SUNLAND, CA 91040
(818) 521-6342
INFO@MLBENGINEERING.ORG

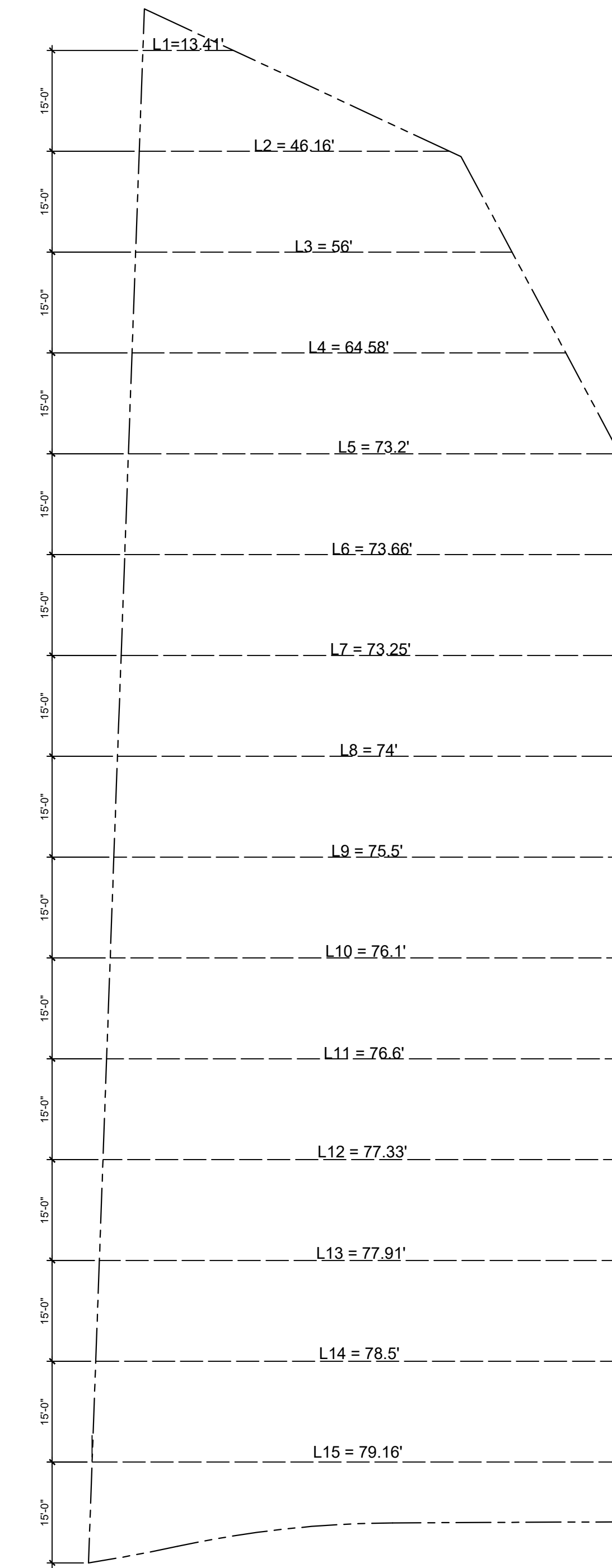
AVERAGE FRONT PREVAILING SETBACK CALC.

$$(13'-2") + (9'-8") + (10'-4") + (14'-3") + (17'-8") + 15'-2" = 80'-3"$$

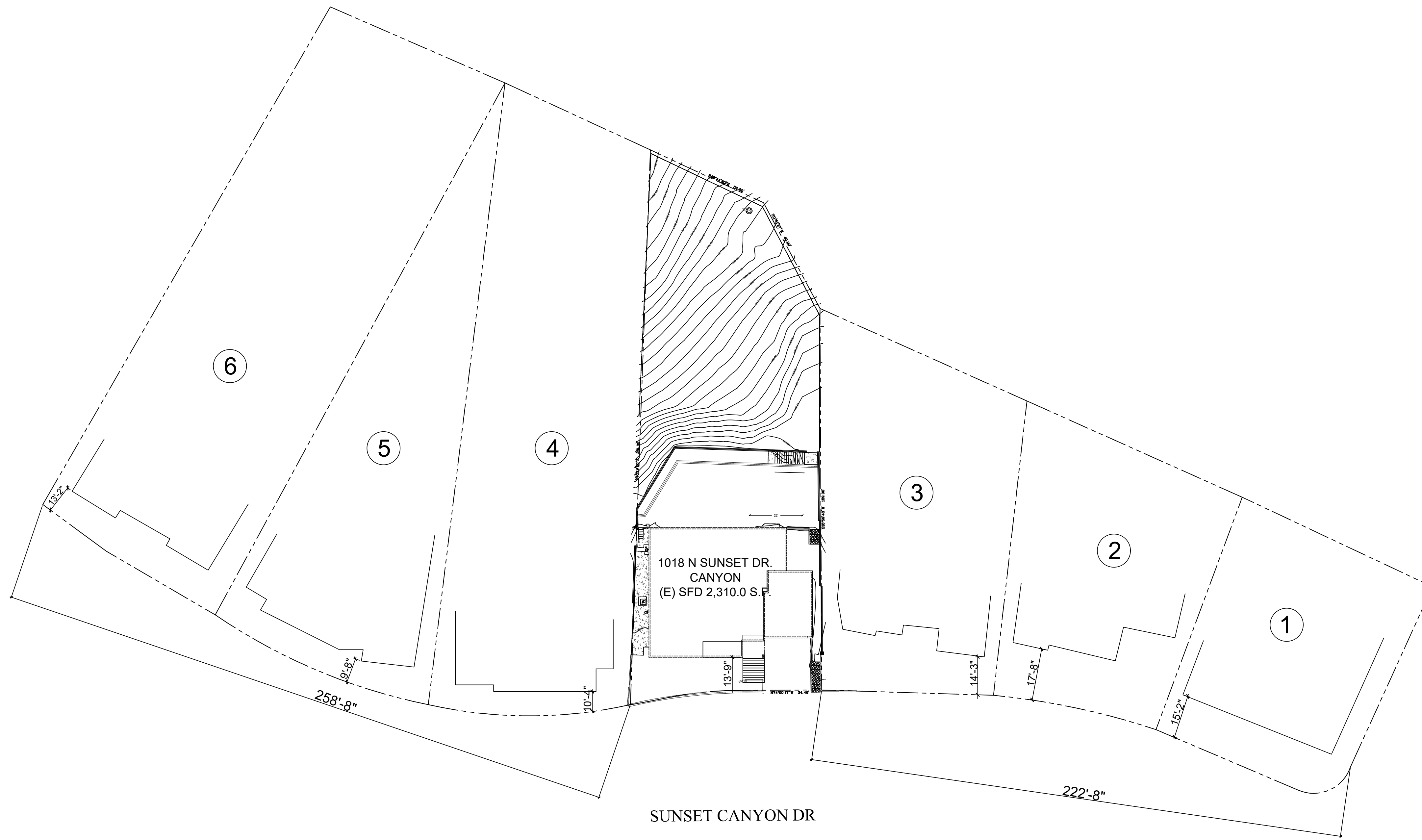
$$80'-3" / 6 = 13.375'$$

AVERAGE WIDTH CALCULATION

| SEGMENTS @ 15' | LENGTH |
|-------------------|----------------|
| L1 | 13.41' |
| L2 | 46.16' |
| L3 | 56' |
| L4 | 64.58' |
| L5 | 73.2' |
| L6 | 73.66' |
| L7 | 73.25' |
| L8 | 74' |
| L9 | 75.5' |
| L10 | 76.1' |
| L11 | 76.6' |
| L12 | 77.33' |
| L13 | 77.91' |
| L14 | 78.5' |
| L15 | 79.16' |
| TOTAL | 1,015.36' / 15 |
| Average Lot Width | 67.6' |
| | 10% |
| | 6.76' |



AVERAGE LOT WIDTH CALC.
SCALE: 1/16"=1'-0"



AVERAGE FRONT PREVAILING SETBACK CALC.
SCALE: N.T.S.

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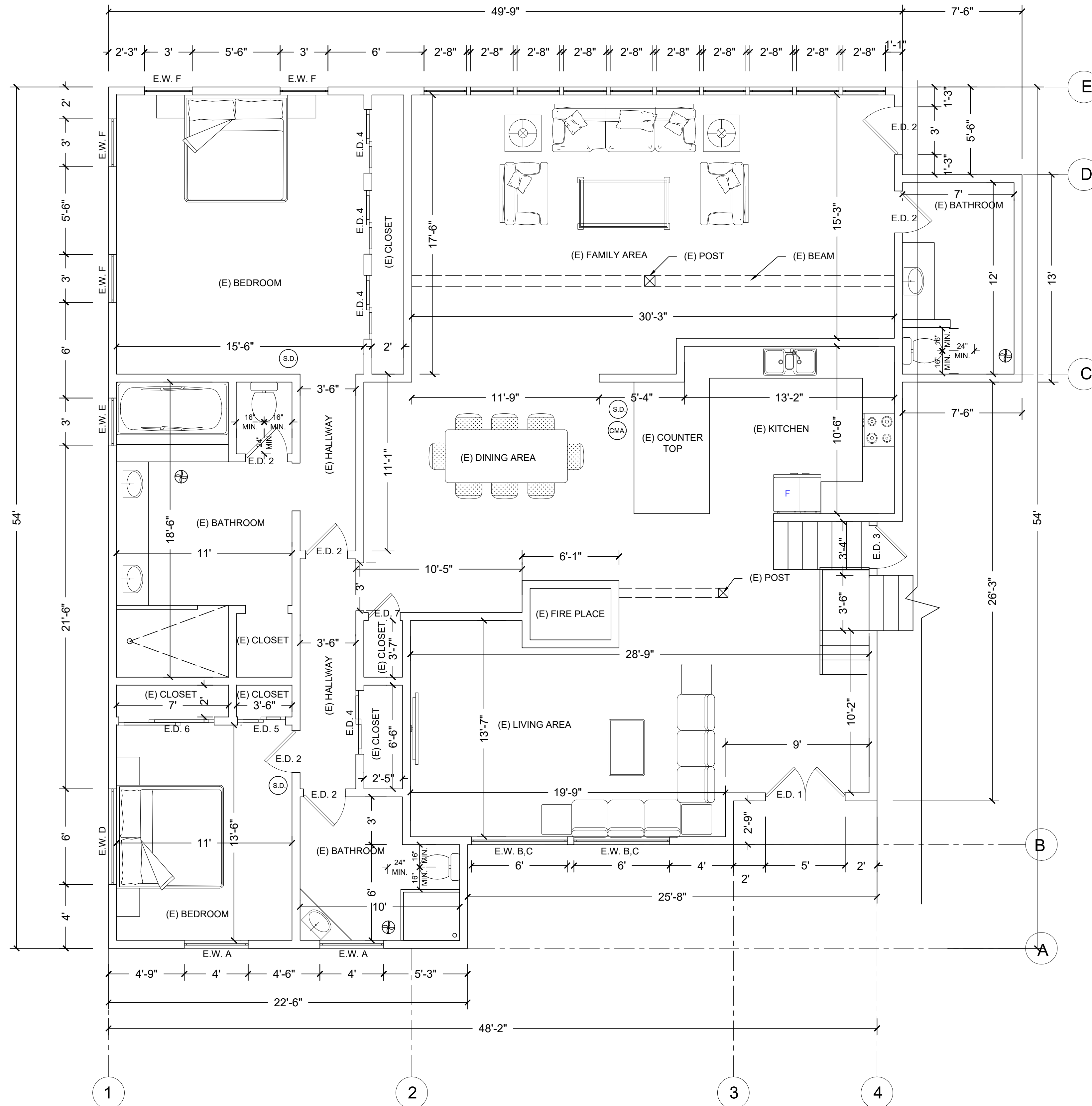
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OWNER: Kamilla Khudyakova
ADDRESS: 1018 N SUNSET CANYON DR, BURBANK CA 91504
PAGE NAME: AVERAGE FRONT CALC, AND AVERAGE LOT WIDTH CALC.

STAMP:

SHEET:
A-2.1



1 EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- (S.D.) SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: EACH BEDROOM, CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION) WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CRC R314.1)
- (CMA) AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
- 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1
- 001 ALL WATER CLOSET SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH.
- 002 HOT-MOP SHOWER PAN WITH CERAMIC TILE WAINSCOT UP TO CEILING, (SEE FLOOR PLAN FOR SIZE OF SHOWER). PROVIDE SHATTERPROOF GLASS ENCLOSURE.
- 003 ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- 004 PROVIDE 72" HIGH NON-ABSORBENT WALL FINISH ADJACENT TO SHOWER.
- 005 MINIMUM DIMENSION OF SHOWER TO BE 1024 SQ. INCH WITH 30" DIAMETER CLEAR.
- 006 PROVIDE TEMPERED GLASS ON DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-0" OF STANDING SURFACE).
- 007 2X6 STUDS AT 16" O.C. PLUMBING WALL.
- 008 G.F.I. OUTLET
- 009 PROVIDE SOUND INSULATION AT ALL BATHROOM & LAUNDRY ROOM WALLS.
- 010 GAS TANKLESS WATER HEATER (TAKAGI T-H3-OS-N)
- 011 GLAZING IN EXTERIOR DOORS OR 40 INCHES OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS. OR RATED BURGLARY RESISTANT GLAZING.
- 012 A. MINIMUM OF 22"x30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM.
- 013 R-4 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES.
- 014 (E) WATER HEATER
- 015 (E) HVAC UNIT IN THE ROOF
- 016 A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED DRYER EXHAUST DUCT IS LIMITED TO 14' WITH TWO 90° ELBOWS. A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6'-0" AND CANNOT BE CONCEALED.
- 017 NEW WASHER AND DRYER
- 018 NEW COUNTER W/ CABINETS ABV.
- 019 NEW REFRIGERATOR BY OWNER
- 020 NEW SINK BY OWNER
- 021 NEW STOVE BY OWNER
- 022 NEW DISHWASHER BY OWNER
- 023 NEW FULL HEIGHT CABINETS
- 024 (E) ELECTRIC METER
- 025 WASHER/DRYER SPACE. ROUGH-IN PLUMBING FOR HOT/COLD WATER & WASTE. VENT DRYER TO OUTSIDE AIR, PROVIDE 120V & 220V ELEC. OUTLET AND FUEL GAS OUTLET.
- 026 12"x12" MINIMUM PLUMBING ACCESS FOR TUBS.
- 027 1" MAX. DROP. THE LANDING OR FINISHED FLOORS SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD EXCEPT THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7/8" BELOW THE TOP OF THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OF FLOOR.

WALL LEGEND:

- (N) STUD WALLS
- (E) WALLS TO REMAIN
- (E) WALLS TO BE DEMO

GENERAL LEGEND:

- (E) = EXISTING ELEMENT
- (N) = NEW ELEMENT

EXISTING DOOR SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|-----------------------------------|----------|--------|
| E.D. 1 | DOUBLE EXTERIOR | 2'-2-6" | 6'-8" |
| E.D. 2 | SINGLE INTERIOR | 2'-8" | 6'-8" |
| E.D. 3 | SINGLE INTERIOR 20 MIN FIRE RATED | 2'-8" | 6'-8" |
| E.D. 4 | DOUBLE SLIDING | 2'-2-0" | 6'-8" |
| E.D. 5 | DOUBLE SLIDING | 2'-1-6" | 6'-8" |
| E.D. 6 | DOUBLE SLIDING | 2'-3'-0" | 6'-8" |
| E.D. 7 | SINGLE INTERIOR | 2'-0" | 6'-8" |
| E.D. 8 | GARAGE GATE | 16'-0" | 7'-0" |
| E.D. 9 | SINGLE EXTERIOR | 3'-0" | 6'-8" |

EXISTING WINDOW SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|----------------|-------|--------|
| E.W. A | SINGLE HUNG | 4'-0" | 4'-0" |
| E.W. B | DOUBLE SLIDING | 6'-0" | 4'-0" |
| E.W. C | DOUBLE SLIDING | 6'-0" | 1'-6" |
| E.W. D | DOUBLE SLIDING | 6'-0" | 2'-0" |
| E.W. E | DOUBLE SLIDING | 3'-0" | 2'-0" |
| E.W. F | DOUBLE SLIDING | 3'-0" | 3'-0" |
| E.W. G | SINGLE HUNG | 3'-6" | 2'-6" |
| E.W. H | SINGLE HUNG | 4'-0" | 4'-0" |
| E.W. I | DOUBLE SLIDING | 6'-0" | 3'-0" |
| E.W. J | DOUBLE SLIDING | 3'-0" | 1'-6" |
| E.W. K | DOUBLE SLIDING | 2'-0" | 3'-0" |

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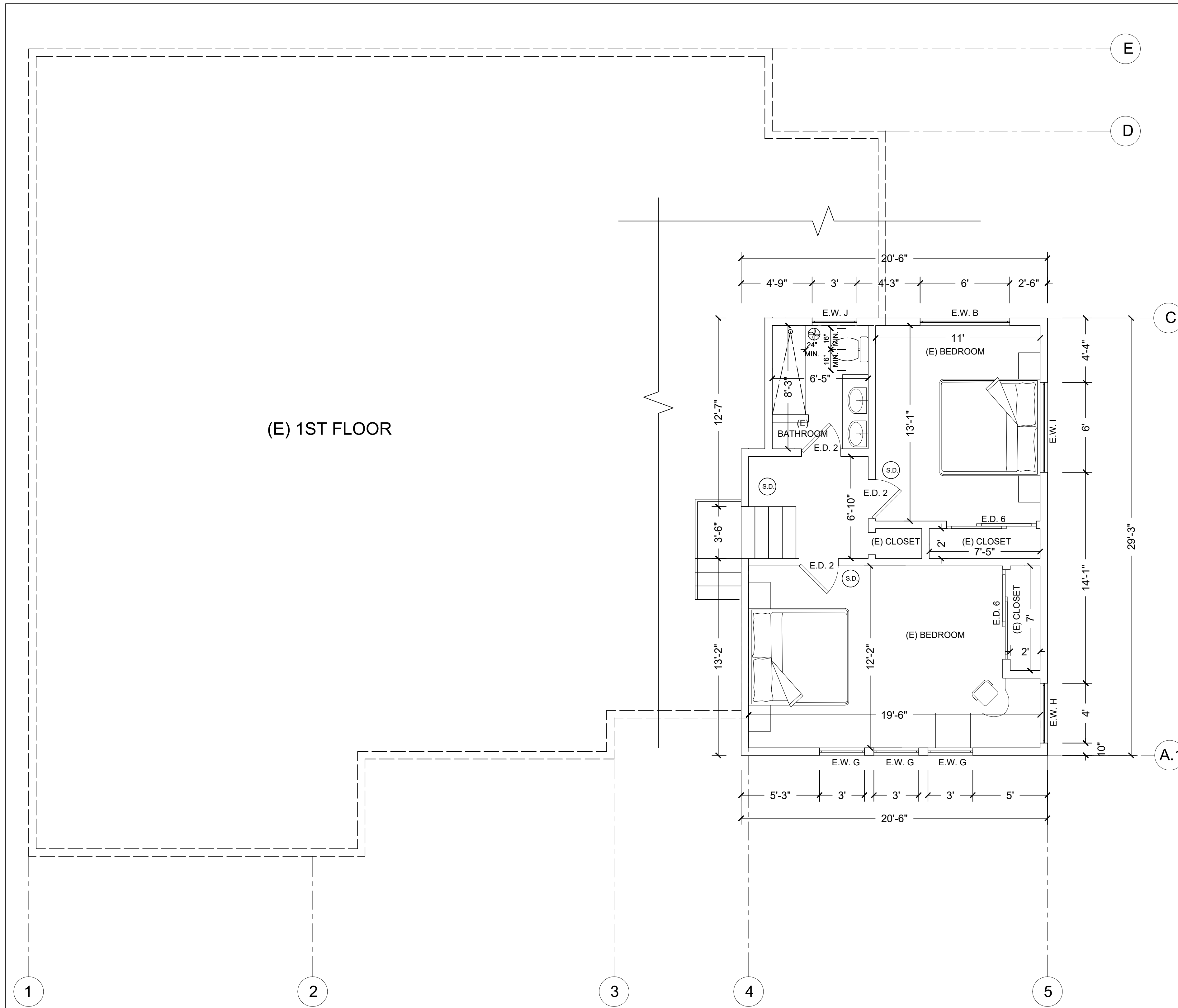
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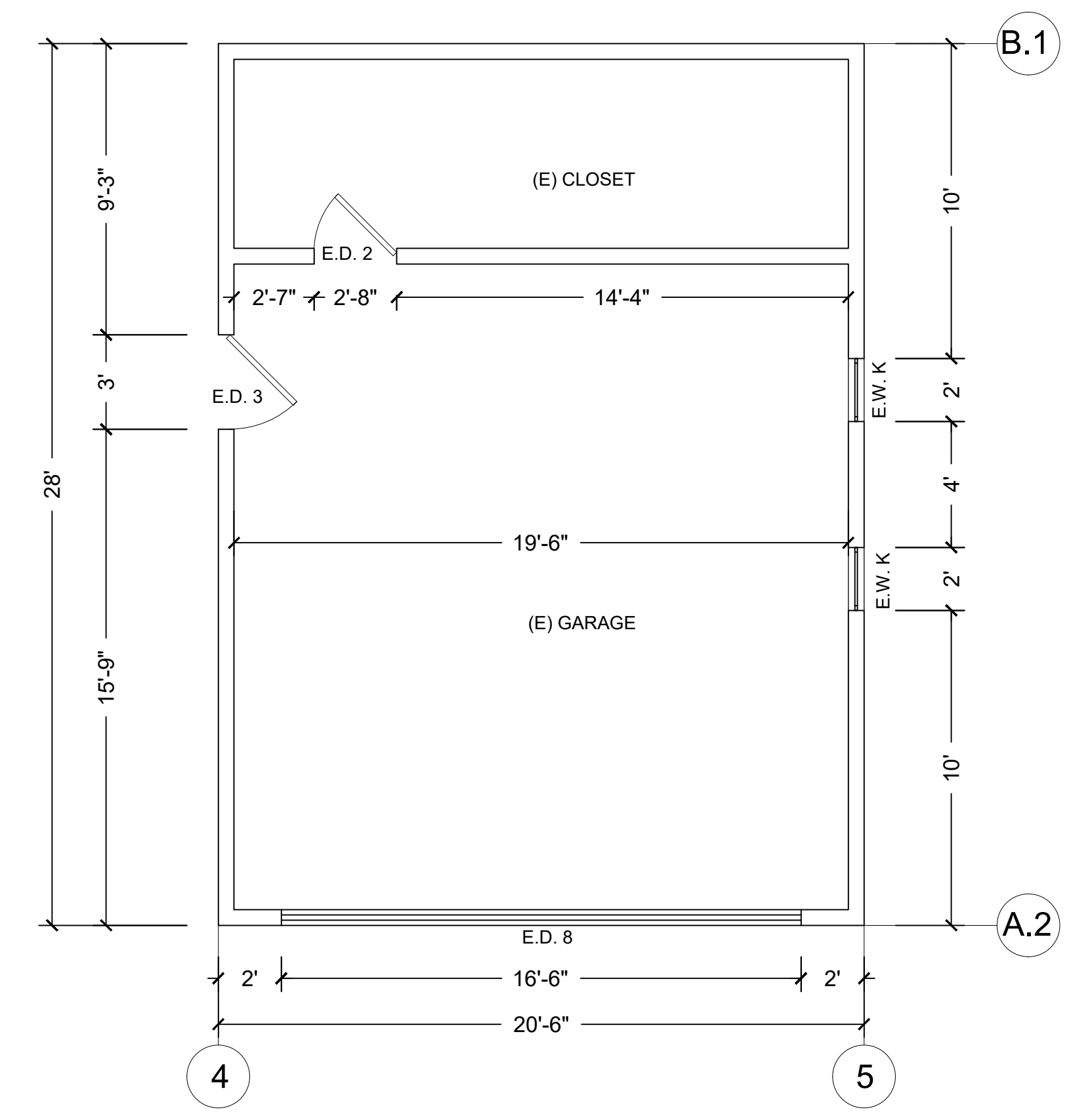
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PAGE NAME: EXISTING 1ST FLOOR PLAN

STAMP:

SHEET: A-3



1 EXISTING SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



1 EXISTING GARAGE (BASEMENT) FLOOR PLAN
Scale: 1/4" = 1'-0"

EXISTING DOOR SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|-----------------------------------|----------|--------|
| E.D. 1 | DOUBLE EXTERIOR | 2'-2"-6" | 6'-8" |
| E.D. 2 | SINGLE INTERIOR | 2'-8" | 6'-8" |
| E.D. 3 | SINGLE INTERIOR 20 MIN FIRE RATED | 2'-8" | 6'-8" |
| E.D. 4 | DOUBLE SLIDING | 2'-2'-0" | 6'-8" |
| E.D. 5 | DOUBLE SLIDING | 2'-1'-6" | 6'-8" |
| E.D. 6 | DOUBLE SLIDING | 2'-3'-0" | 6'-8" |
| E.D. 7 | SINGLE INTERIOR | 2'-0" | 6'-8" |
| E.D. 8 | GARAGE GATE | 16'-0" | 7'-0" |
| E.D. 9 | SINGLE EXTERIOR | 3'-0" | 6'-8" |

EXISTING DOOR SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|-----------------------------------|----------|--------|
| E.D. 1 | DOUBLE EXTERIOR | 2'-2"-6" | 6'-8" |
| E.D. 2 | SINGLE INTERIOR | 2'-8" | 6'-8" |
| E.D. 3 | SINGLE INTERIOR 20 MIN FIRE RATED | 2'-8" | 6'-8" |
| E.D. 4 | DOUBLE SLIDING | 2'-2'-0" | 6'-8" |
| E.D. 5 | DOUBLE SLIDING | 2'-1'-6" | 6'-8" |
| E.D. 6 | DOUBLE SLIDING | 2'-3'-0" | 6'-8" |
| E.D. 7 | SINGLE INTERIOR | 2'-0" | 6'-8" |
| E.D. 8 | GARAGE GATE | 16'-0" | 7'-0" |

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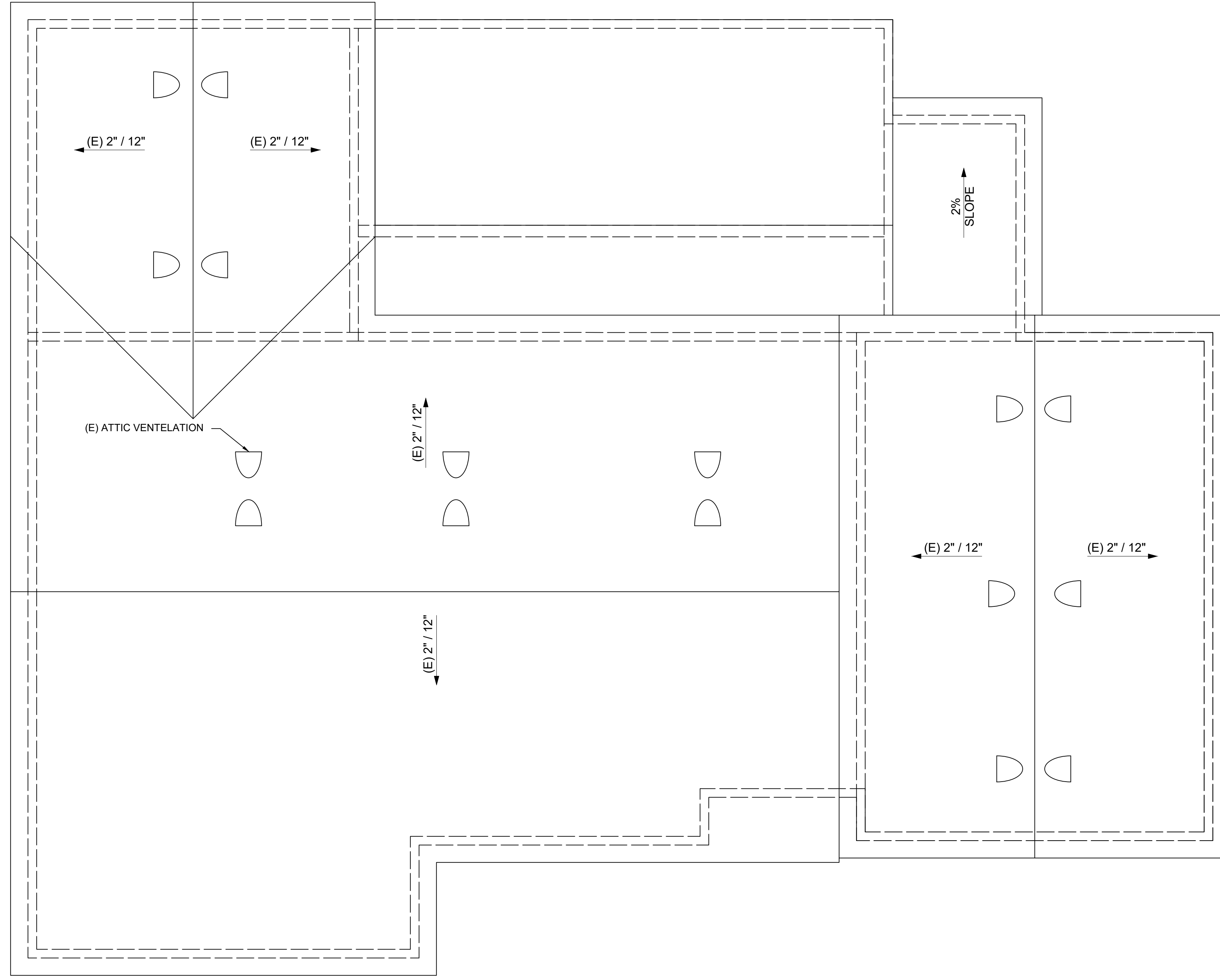
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1 EXISTING ROOF PLAN
Scale: 1/4" = 1'-0"

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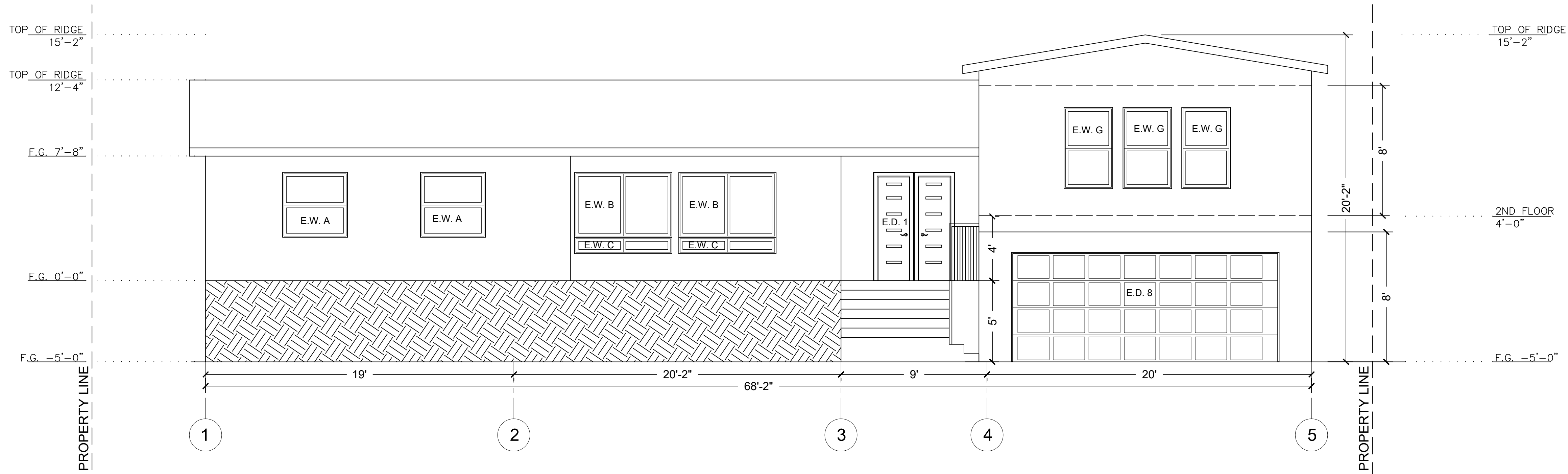
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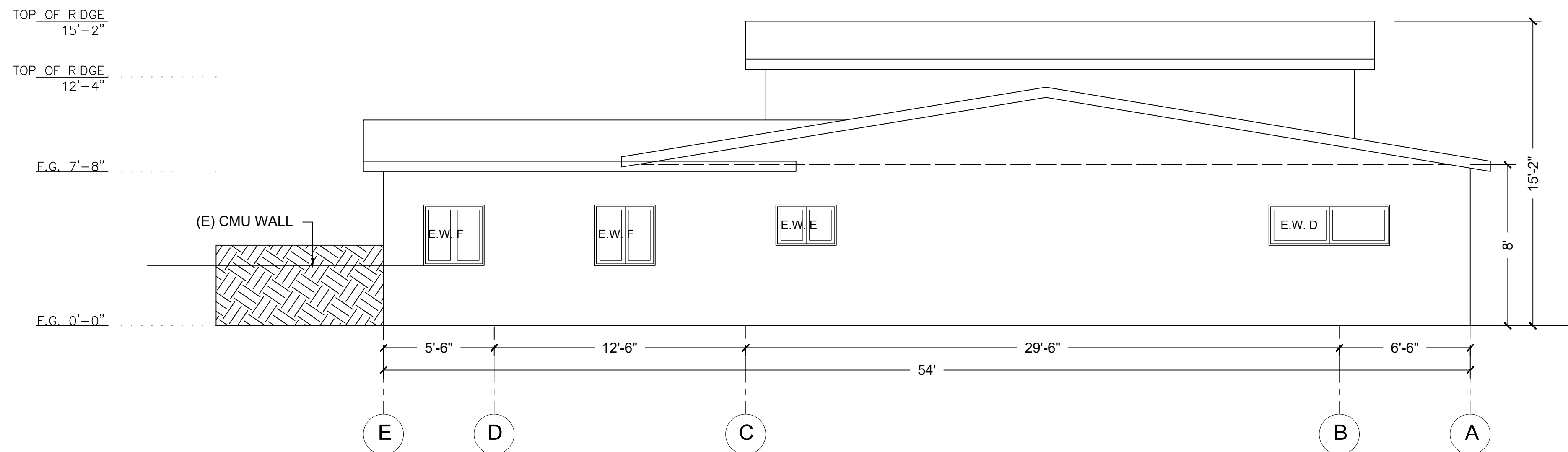
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A-5

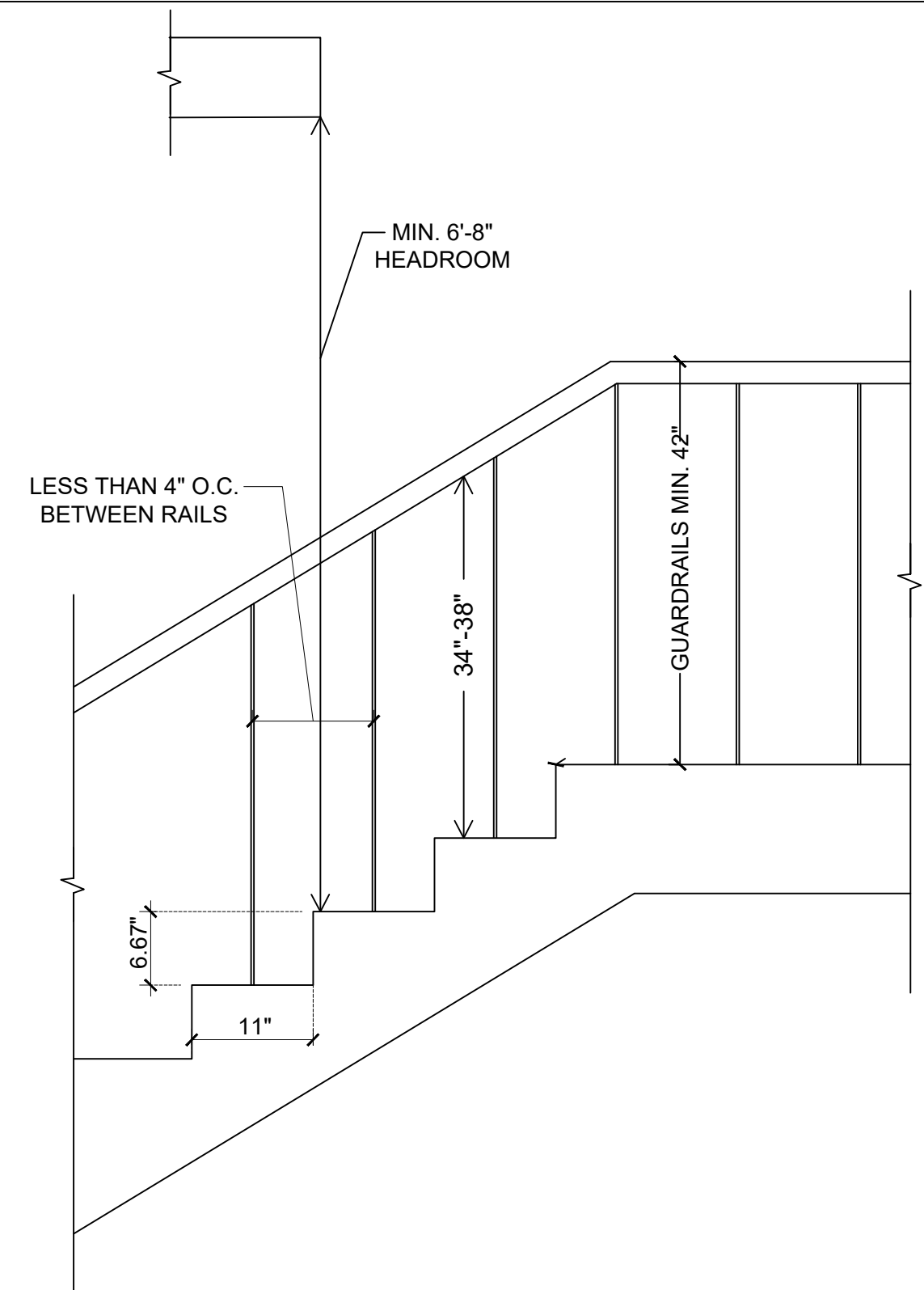


1 EXISTING 1-5 ELEVATION
Scale: 1/4" = 1'-0"



1 EXISTING E-A ELEVATION
Scale: 1/4" = 1'-0"

DETAIL



1 STAIRS & RAILING DETAIL N.T.S

EXISTING WINDOW SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|----------------|-------|--------|
| E.W. A | SINGLE HUNG | 4'-0" | 4'-0" |
| E.W. B | DOUBLE SLIDING | 6'-0" | 4'-0" |
| E.W. C | DOUBLE SLIDING | 6'-0" | 1'-6" |
| E.W. D | DOUBLE SLIDING | 6'-0" | 2'-0" |
| E.W. E | DOUBLE SLIDING | 3'-0" | 2'-0" |
| E.W. F | DOUBLE SLIDING | 3'-0" | 3'-0" |
| E.W. G | SINGLE HUNG | 3'-6" | 4'-6" |
| E.W. H | SINGLE HUNG | 4'-0" | 4'-0" |
| E.W. I | DOUBLE SLIDING | 6'-0" | 3'-0" |
| E.W. J | DOUBLE SLIDING | 3'-0" | 1'-6" |
| E.W. K | DOUBLE SLIDING | 2'-0" | 3'-0" |

EXISTING DOOR SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|-----------------------------------|---------|--------|
| E.D. 1 | DOUBLE EXTERIOR | 2-2'-6" | 6'-8" |
| E.D. 2 | SINGLE INTERIOR | 2'-8" | 6'-8" |
| E.D. 3 | SINGLE INTERIOR 20 MIN FIRE RATED | 2'-8" | 6'-8" |
| E.D. 4 | DOUBLE SLIDING | 2-2'-0" | 6'-8" |
| E.D. 5 | DOUBLE SLIDING | 2-1'-6" | 6'-8" |
| E.D. 6 | DOUBLE SLIDING | 2-3'-0" | 6'-8" |
| E.D. 7 | SINGLE INTERIOR | 2'-0" | 6'-8" |
| E.D. 8 | GARAGE GATE | 16'-0" | 7'-0" |
| E.D. 9 | SINGLE EXTERIOR | 3'-0" | 6'-8" |

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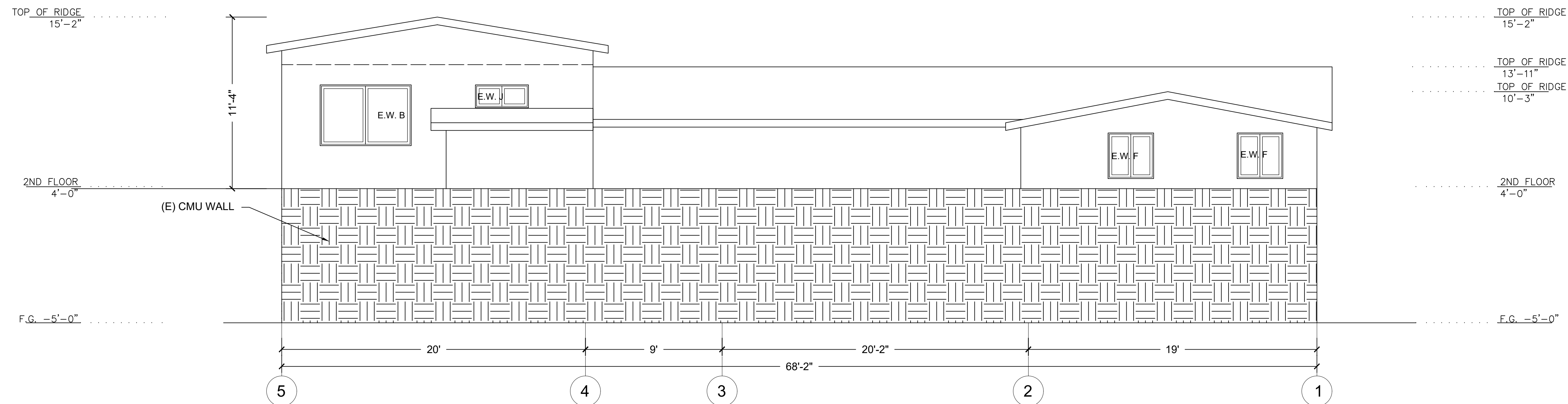
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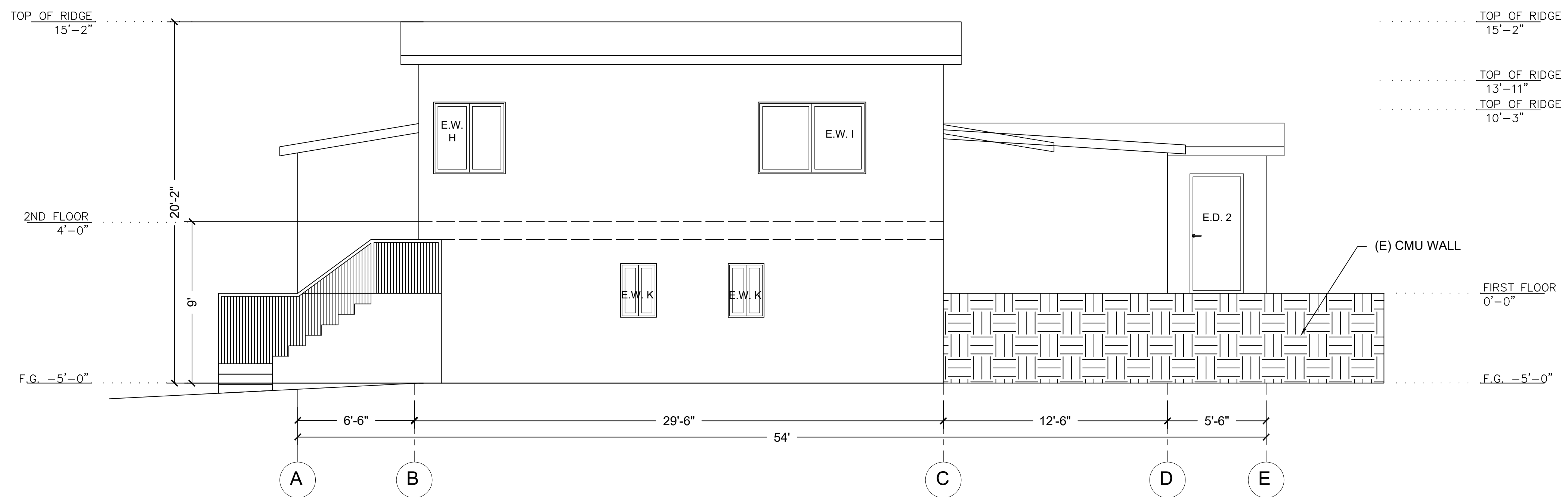
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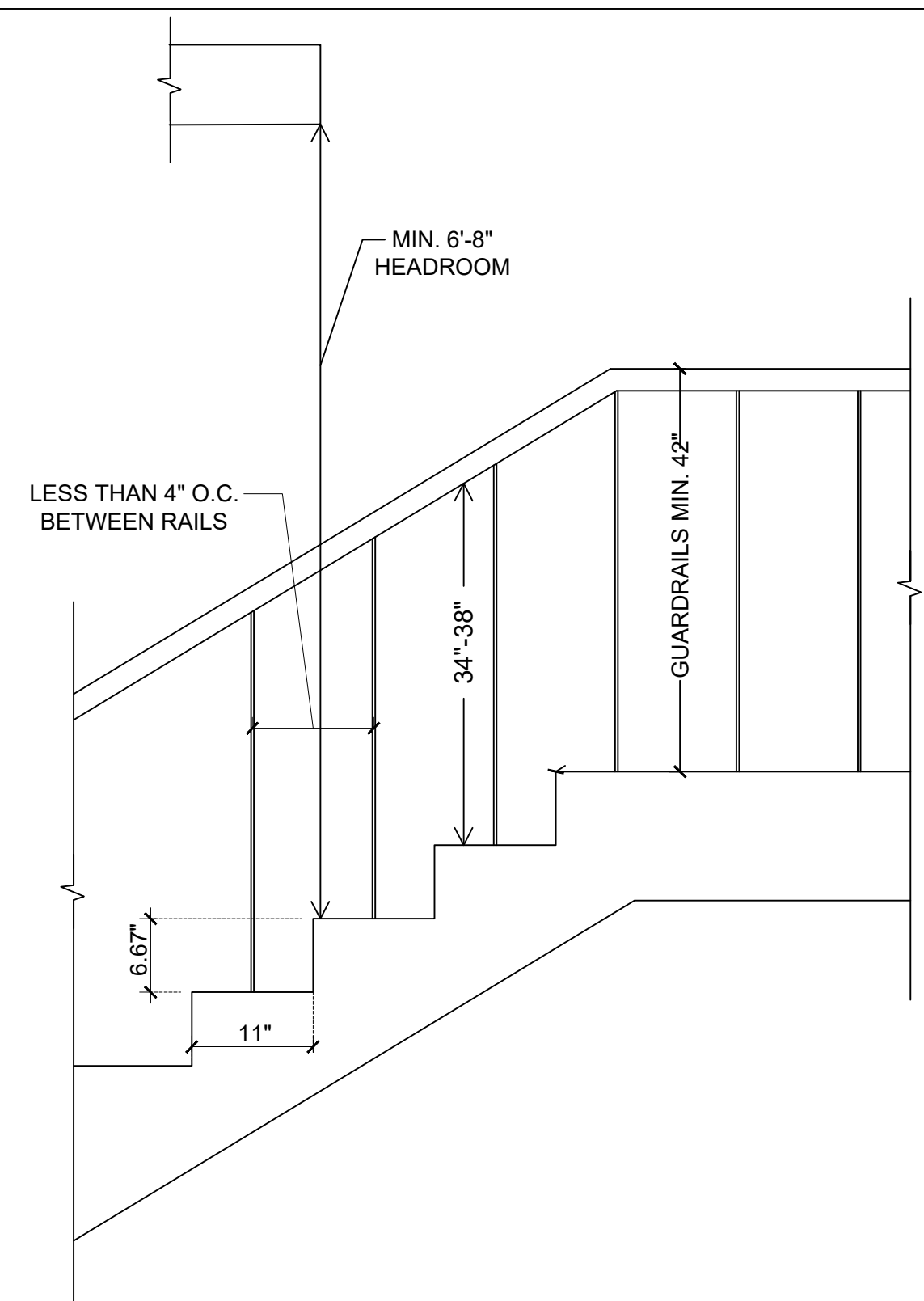


1 EXISTING 1-5 ELEVATION
Scale: 1/4" = 1'-0"



1 EXISTING A-E ELEVATION
Scale: 1/4" = 1'-0"

DETAIL



1 STAIRS & RAILING DETAIL N.T.S

EXISTING WINDOW SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|----------------|-------|--------|
| E.W. A | SINGLE HUNG | 4'-0" | 4'-0" |
| E.W. B | DOUBLE SLIDING | 6'-0" | 4'-0" |
| E.W. C | DOUBLE SLIDING | 6'-0" | 1'-6" |
| E.W. D | DOUBLE SLIDING | 6'-0" | 2'-0" |
| E.W. E | DOUBLE SLIDING | 3'-0" | 2'-0" |
| E.W. F | DOUBLE SLIDING | 3'-0" | 3'-0" |
| E.W. G | SINGLE HUNG | 3'-6" | 4'-6" |
| E.W. H | SINGLE HUNG | 4'-0" | 4'-0" |
| E.W. I | DOUBLE SLIDING | 6'-0" | 3'-0" |
| E.W. J | DOUBLE SLIDING | 3'-0" | 1'-6" |
| E.W. K | DOUBLE SLIDING | 2'-0" | 3'-0" |

EXISTING DOOR SCHEDULE

| TAG | DESCRIPTION | WIDTH | HEIGHT |
|--------|-----------------------------------|---------|--------|
| E.D. 1 | DOUBLE EXTERIOR | 2'-2-6" | 6'-8" |
| E.D. 2 | SINGLE INTERIOR | 2'-8" | 6'-8" |
| E.D. 3 | SINGLE INTERIOR 20 MIN FIRE RATED | 2'-8" | 6'-8" |
| E.D. 4 | DOUBLE SLIDING | 2'-2-0" | 6'-8" |
| E.D. 5 | DOUBLE SLIDING | 2'-1-6" | 6'-8" |
| E.D. 6 | DOUBLE SLIDING | 2'-3-0" | 6'-8" |
| E.D. 7 | SINGLE INTERIOR | 2'-0" | 6'-8" |
| E.D. 8 | GARAGE GATE | 16'-0" | 7'-0" |
| E.D. 9 | SINGLE EXTERIOR | 3'-0" | 6'-8" |

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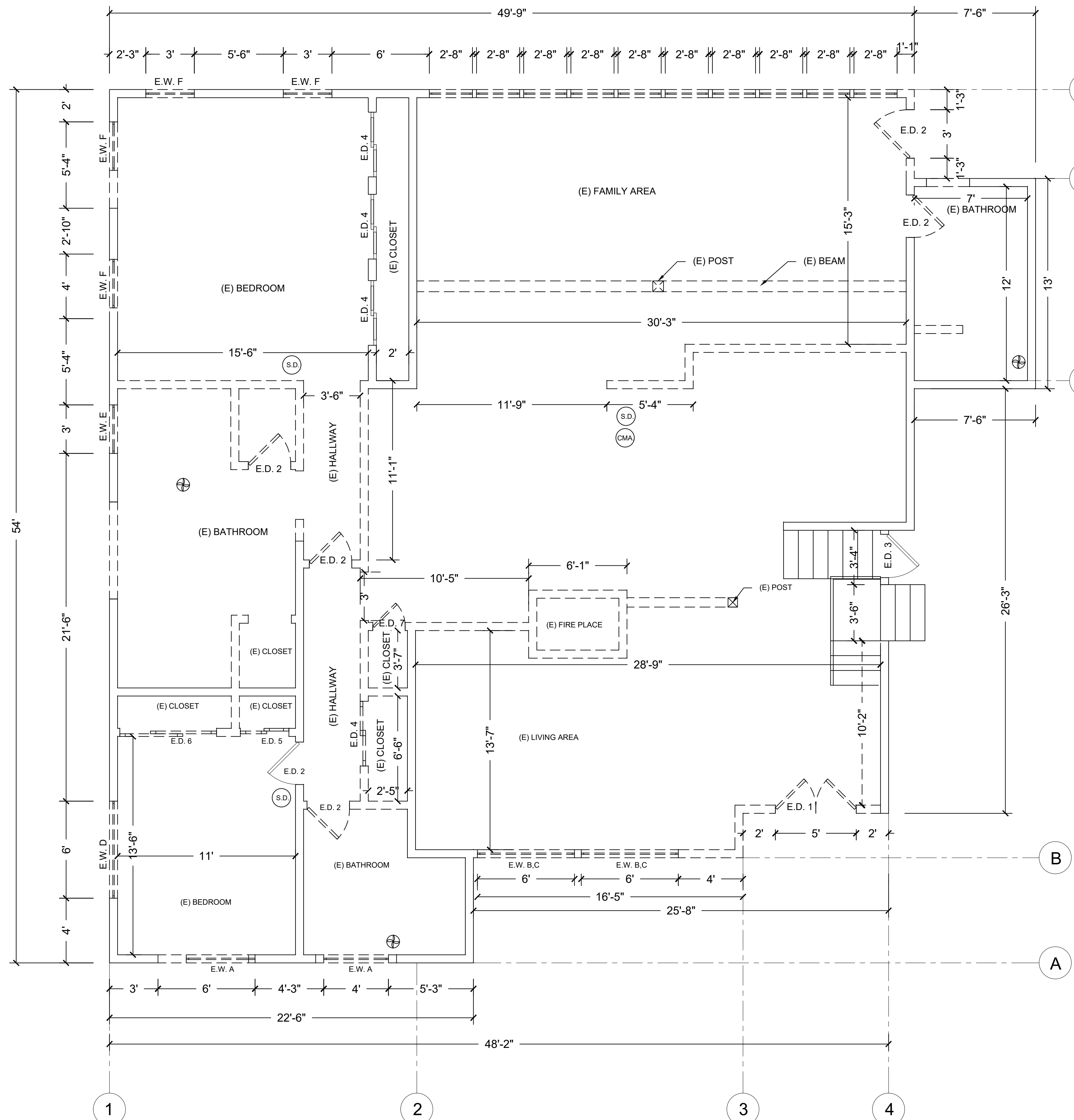
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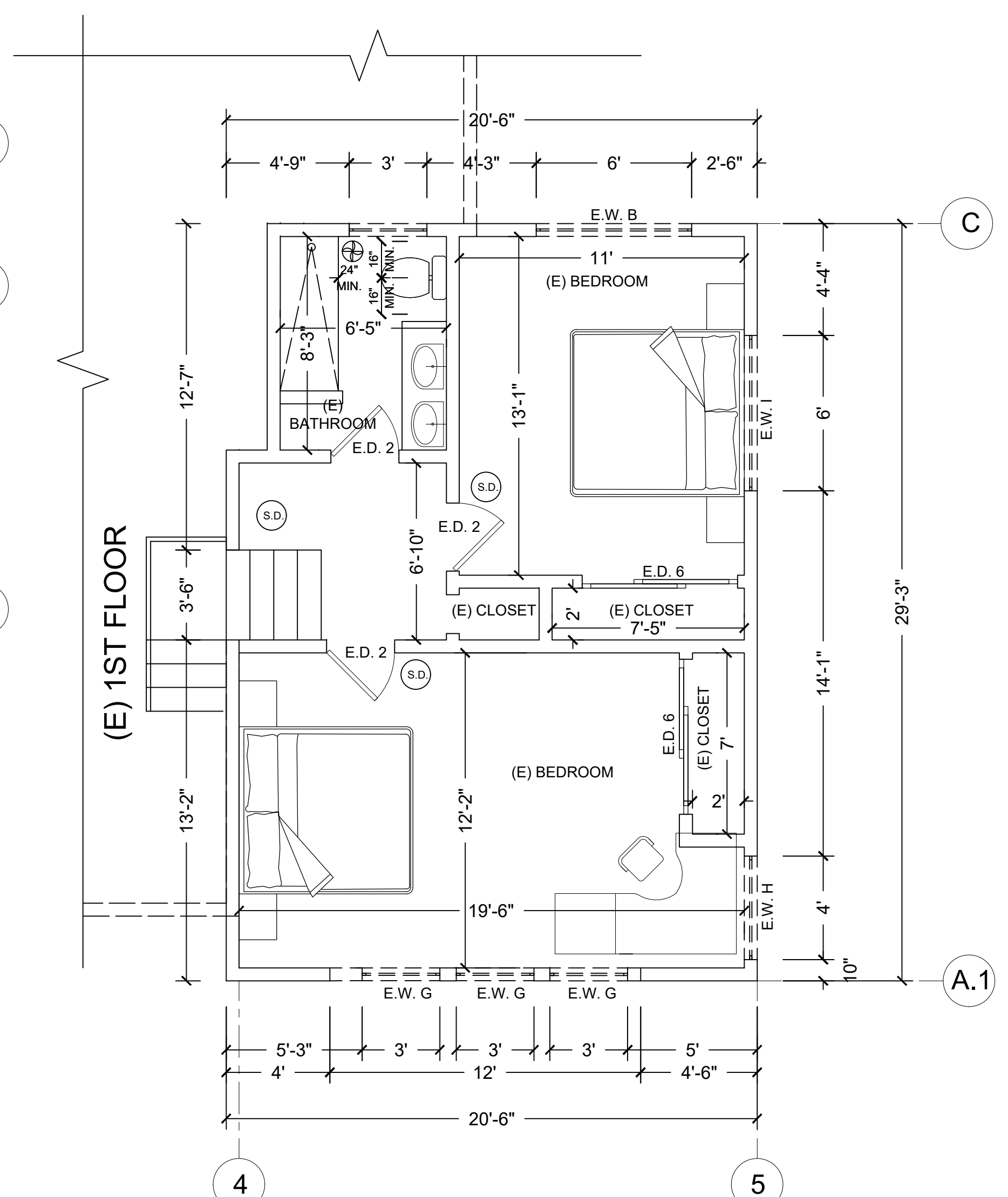
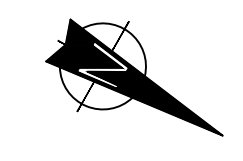
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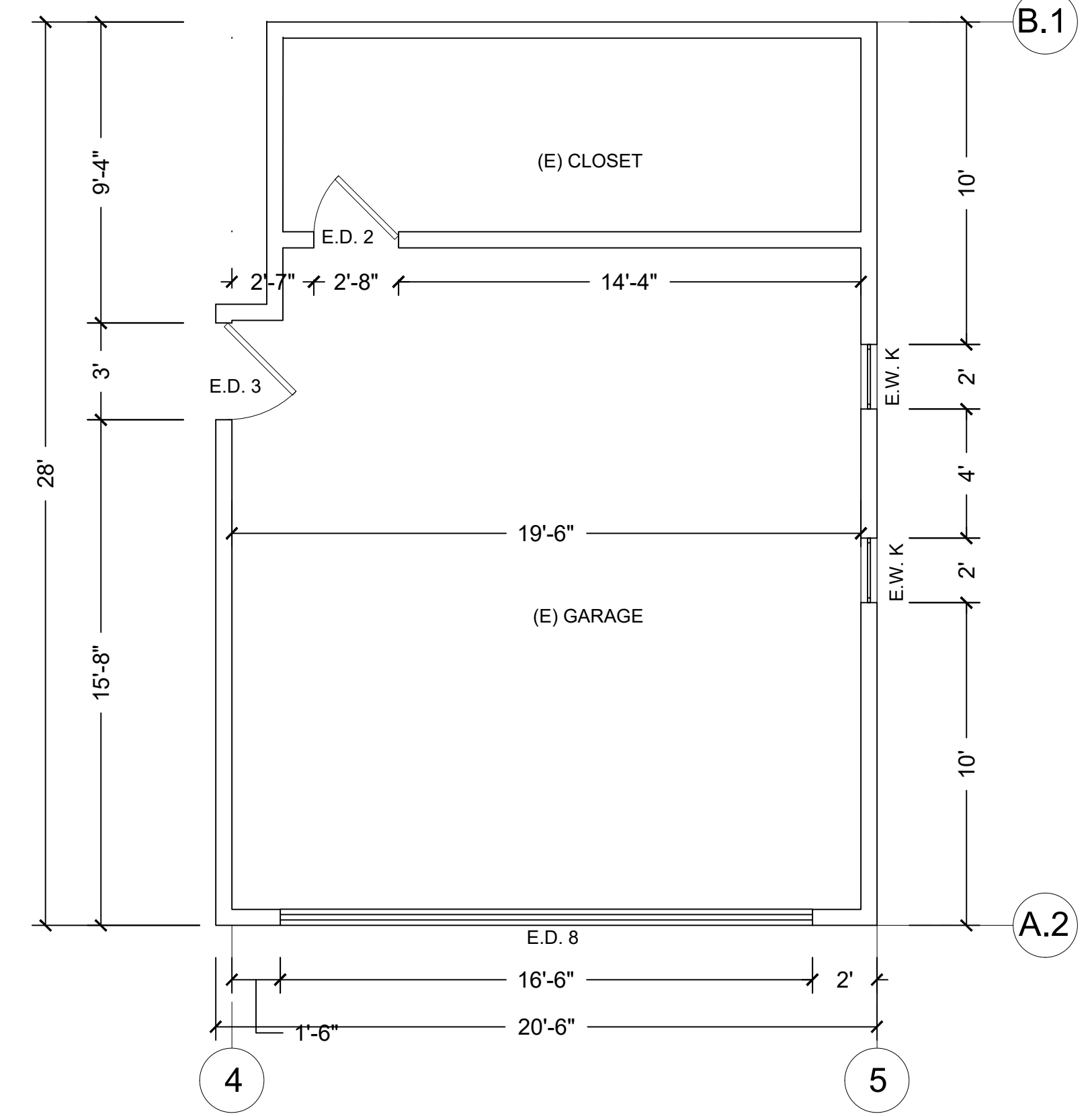
A-7



1 FIRST FLOOR DEMO PLAN
Scale: 1/4" = 1'-0"



2 SECOND FLOOR DEMO PLAN
Scale: 1/4" = 1'-0"



3 EXISTING GARAGE (BASEMENT) FLOOR PLAN
Scale: 1/4" = 1'-0"

GENERAL LEGEND:
(E) = EXISTING ELEMENT
(N) = NEW ELEMENT

WALL LEGEND:
[Pattern] (N) STUD WALLS
[Pattern] (E) WALLS TO REMAIN
[Pattern] (E) WALLS TO BE DEMO

(S.D.) SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS:
EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION) WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CRC R314.1)

(CMA) AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS, AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)

(50 CFM) 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1

FOR KEYNOTES SEE PAGE A-10

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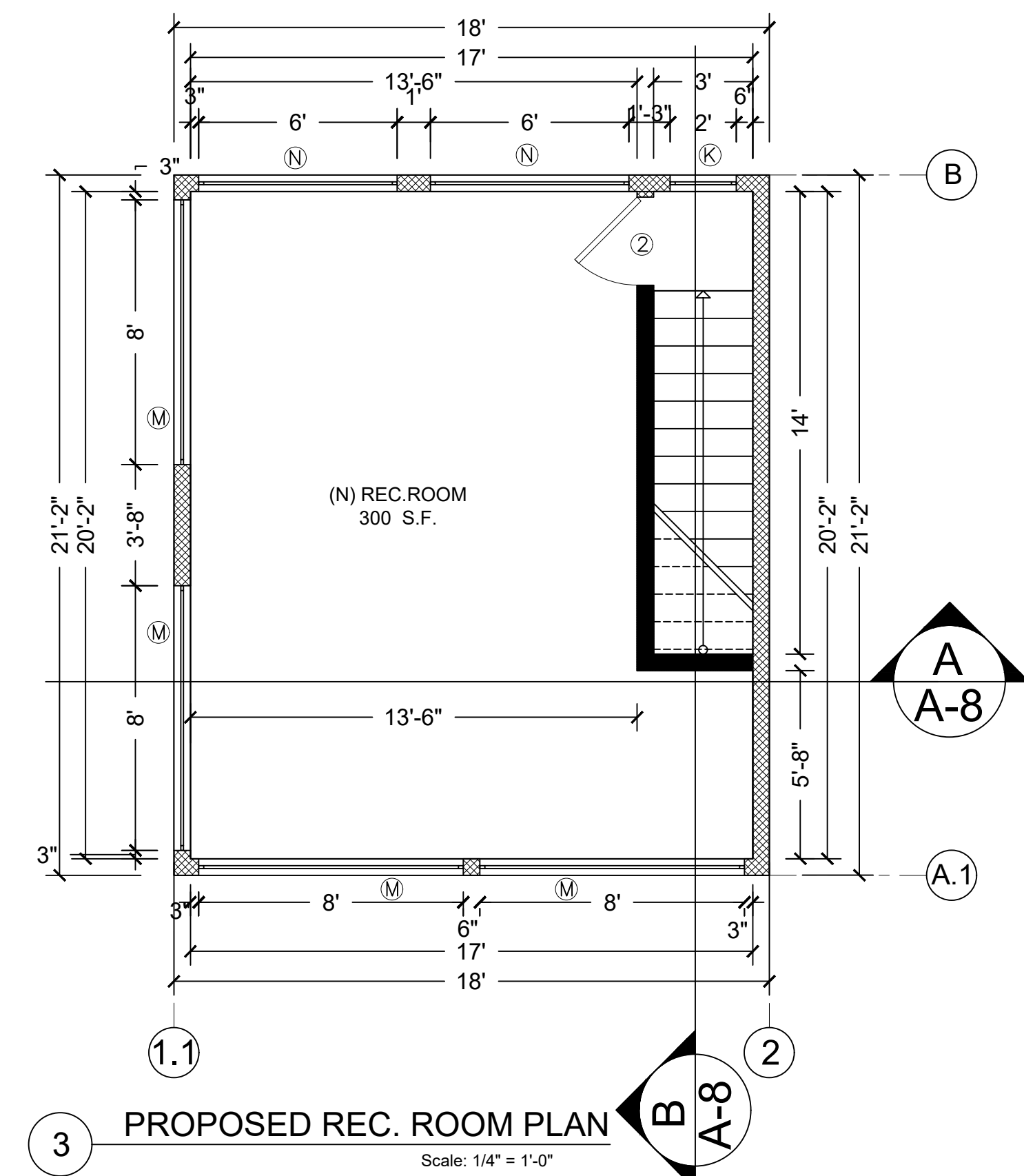
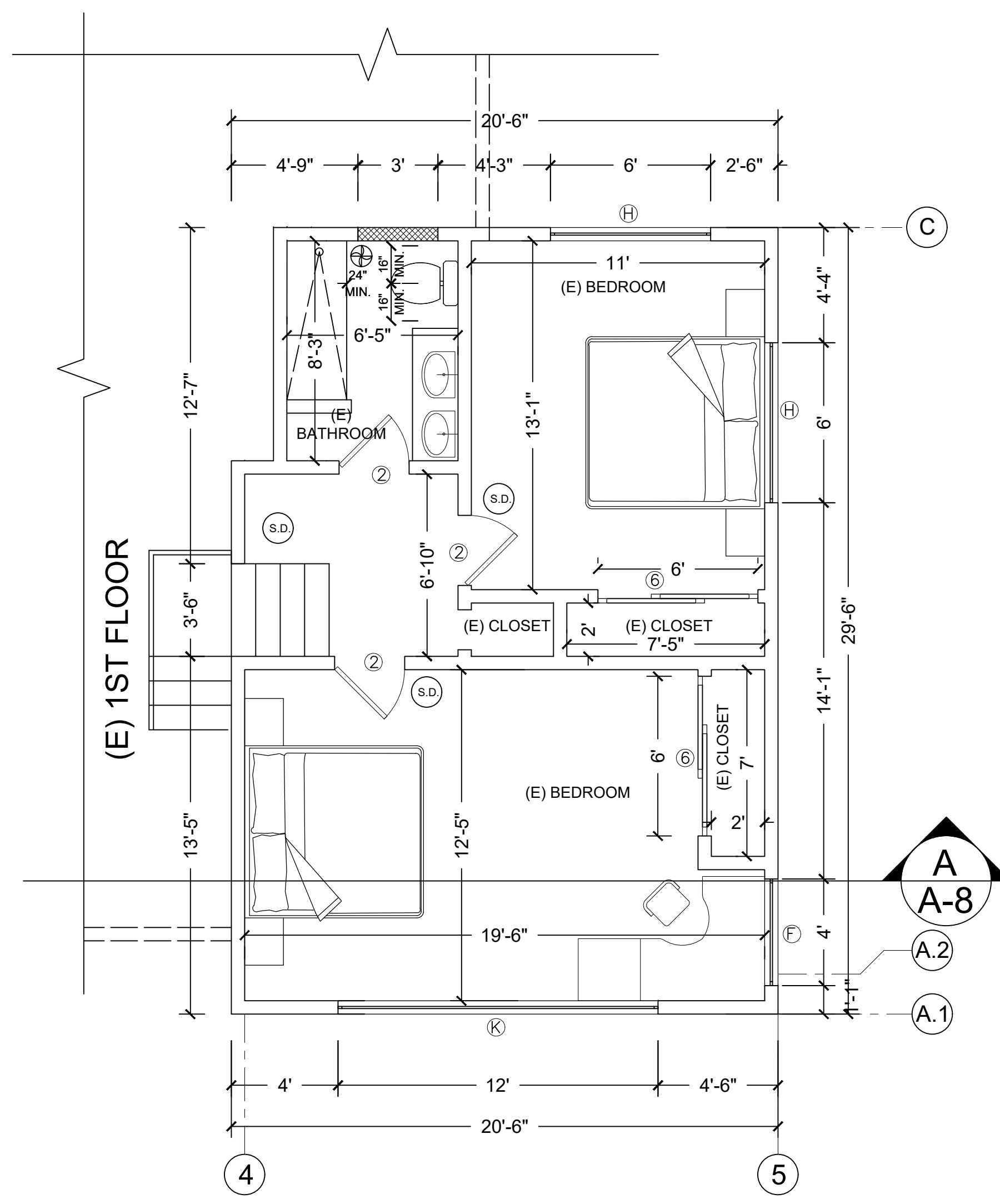
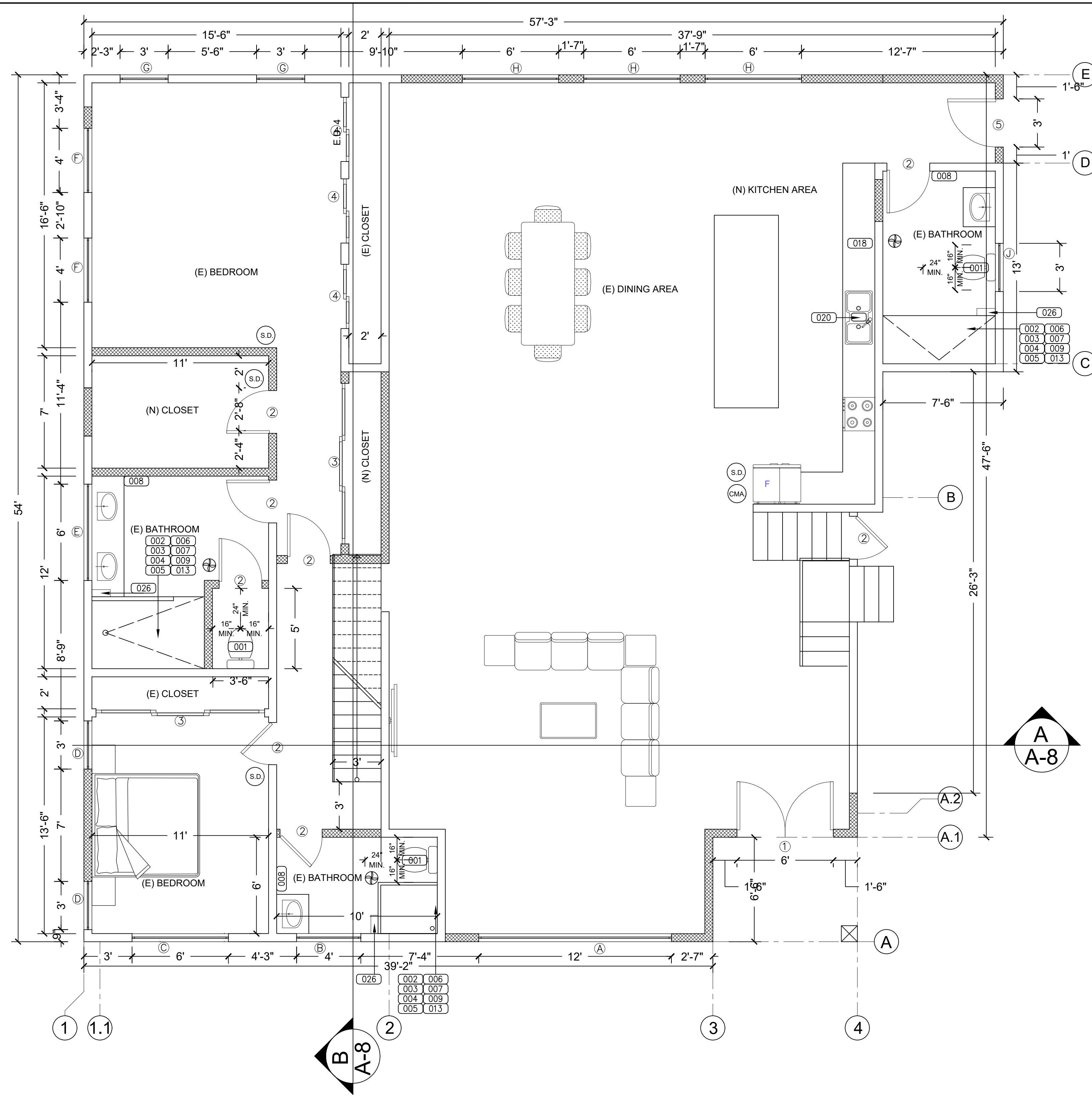
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PAGE NAME: DEMO PLAN

STAMP:

SHEET: A-8



GENERAL LEGEND:
 (E) = EXISTING ELEMENT
 (N) = NEW ELEMENT

WALL LEGEND:
 (N) STUD WALLS
 (E) WALLS TO REMAIN
 (E) WALLS TO BE DEMO

(S.D.) SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS:
 EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CRC R314.1)

(CMA) AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS, AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)

(F) 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1

FOR KEYNOTES SEE PAGE A-10

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ADDRESS: 1018 N SUNSET CANYON DR, BURBANK CA 91504
PAGE NAME: PROPOSED PLANS

STAMP:

SHEET: A-9

NOTE: SMOKE ALARM REQUIREMENTS
 1. AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. (CRC R 314.8.2)
 2. BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING. (CRC R314.6 EXCEPTIONS 1.3, CBC 907.2.11.9)
 3. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC R314.4, CBC 907.10.5)
 4. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CRC R314.6, CBC 907.12.6, CBC 907.2.11.9)
 5. SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS PER NFPA 72 SECTION 29.9.3.4

NOTE:
 AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR EXISTING NEW CONSTRUCTION WHEN THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE, FIREPLACE, AND/OR AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING. (CRC 315.2.1, CBC 915.1.1, CBC 915.1.5)
 CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CRC R315.5, CBC 915.4.1)
 CO ALARMS SHALL BE LISTED FOR COMPLIANCE WITH UL 2034, UL 217, UL 2075, AND MAINTAINED PER NFPA 720. (CRC R315.1.1, R315.7.2, CBC 915.4.2, CBC 915.4.4, CBC 915.5.2)
 CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT. (CRC R315.3, CBC 915.2)
 CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC R315.5, CBC 915.4.5)
 IN EXISTING DWELLING UNIT, A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES. (CRC R315.5 EXCEPTION 4, C 915.4.1 EXCEPTION 3)

NOTE:
 EXTERIOR WALLS: CONSTRUCTED OF ONE-HOUR-RATED FIRE-RESISTIVE CONSTRUCTION ON THE EXTERIOR SIDE OR CONSTRUCTED WITH APPROVED NONCOMBUSTIBLE MATERIALS. SUCH MATERIAL SHALL EXTEND.

NOTE:
 EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI-LAYERED GLASS PANELS, GLASS BLOCK, OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.

HVAC
 R-6 DUCT INSULATION REQUIRED
 SPACE HEATING MINIMUM AFUE: 80%
 CENTRAL AIR CONDITIONING - SINGLE PACKAGE OR SPLIT SYSTEM. MINIMUM SEER: 14 REQUIRED: REFRIGERANT CHARGE MEASUREMENT/ DUCT SEALING

NOTE:
 THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS(INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

HERS VERIFICATION REQUIREMENT
 FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION

NAME: _____ LICENSE NO: _____

NOTE:
 ENERGY CALCULATION SEE ON PAGE T-24.

PROVIDE CONNECTION DETAILS OF GUARDRAIL AND/OR HANDRAIL ON OPEN SIDE OF BALCONIES, DECKS, LANDINGS, AND STAIRS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 LBS. LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. (CRC T-R301.5, CBC T-1607.1)
 WHERE BALCONY OR OTHER ELEVATED WALKING SURFACES ARE EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, THE CONSTRUCTION DOCUMENTS SHALL INCLUDE: (CRC R106.1.6, CBC 107.2.5)
 1. DETAILS FOR ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM.
 2. MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 3. MANUFACTURER AND CC/UL/FM NUMBER.
 4. BALCONY SLOPE OF ALL AREAS ON THE PLAN.
 5. NOTE ON PLAN THAT INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 WHERE BALCONY OR OTHER ELEVATED WALKING SURFACES ARE EXPOSED TO WATER FROM DIRECT OR BLOWING RAIN, SNOW, OR IRRIGATION, AND THE STRUCTURAL FRAMING IS PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER, ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED. (CRC R109.1.5.3, CBC 110.3.6)
 WOOD STRUCTURAL MEMBERS THAT SUPPORT MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING. (CRC R317.1; CBC 2304.12.2.5)
 ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. (CRC R317.1.3; CBC 2304.12.2.6)
 PROVIDE THE FOLLOWING INFORMATION ON PLANS:
 1. VENTILATION CALCULATIONS FOR BALCONY AND/OR ELEVATED WALKING SURFACE.
 2. VENTILATION DETAIL SHOWING HOW NET FREE CROSS VENTILATION IS TO BE ACHIEVED. PROVIDE MANUFACTURER DATA.
 INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

| FLOOR PLAN KEYNOTES: | | | | | | | | | |
|---|---|--------------|-----------------|----------------|------------------------|---------------------|-------------------|----------------------|--|
| (S.D.) | SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: EACH BEDROOM, CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM AND EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION) WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CRC R314.1) | | | | | | | | |
| (CMA) | AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1) | | | | | | | | |
| (+) | 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1 | | | | | | | | |
| (001) | ALL WATER CLOSET SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH. | | | | | | | | |
| (002) | HOT-MOP SHOWER PAN WITH CERAMIC TILE WAINSCOT UP TO CEILING, (SEE FLOOR PLAN FOR SIZE OF SHOWER). PROVIDE SHATTERPROOF GLASS ENCLOSURE. PROVIDE SOAP DISH AT TUB AND SHOWER. | | | | | | | | |
| (003) | ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE. | | | | | | | | |
| (004) | PROVIDE 72" HIGH NON-ABSORBENT WALL FINISH ADJACENT TO SHOWER. | | | | | | | | |
| (005) | MINIMUM DIMENSION OF SHOWER TO BE 1024 SQ. INCH WITH 30" DIAMETER CLEAR. | | | | | | | | |
| (006) | PROVIDE TEMPERED GLASS ON DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-0" OF STANDING SURFACE). | | | | | | | | |
| (007) | 2X6 STUDS AT 16" O.C. PLUMBING WALL. | | | | | | | | |
| (008) | G.F.I. OUTLET | | | | | | | | |
| (009) | PROVIDE SOUND INSULATION AT ALL BATHROOM & LAUNDRY ROOM WALLS. | | | | | | | | |
| (010) | GAS TANKLESS WATER HEATER (TAKAGI T-H3-OS-N) | | | | | | | | |
| (011) | GLAZING IN EXTERIOR DOORS OR 40 INCHES OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS. OR RATED BURGLARY RESISTANT GLAZING. | | | | | | | | |
| (012) | A. MINIMUM OF 22"x30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM. | | | | | | | | |
| (013) | R-4 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES. | | | | | | | | |
| (014) | (E) WATER HEATER | | | | | | | | |
| (015) | (E) HVAC UNIT IN THE ROOF | | | | | | | | |
| (016) | A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED DRYER EXHAUST DUCT IS LIMITED TO 14' WITH TWO 90% ELBOWS. A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6'-0" AND CANNOT BE CONCEALED. | | | | | | | | |
| (017) | NEW WASHER AND DRYER | | | | | | | | |
| (018) | NEW COUNTER W/ CABINETS ABV. | | | | | | | | |
| (019) | NEW REFRIGERATOR BY OWNER | | | | | | | | |
| (020) | NEW SINK BY OWNER | | | | | | | | |
| (021) | NEW STOVE BY OWNER | | | | | | | | |
| (022) | NEW DISHWASHER BY OWNER | | | | | | | | |
| (023) | NEW FULL HEIGHT CABINETS | | | | | | | | |
| (024) | (E) ELECTRIC METER | | | | | | | | |
| (025) | WASHER/DRYER SPACE ROUGH-IN PLUMBING FOR HOT/COLD WATER & WASTE. VENT DRYER TO OUTSIDE AIR, PROVIDE 120V & 220V ELEC. OUTLET AND FUEL GAS OUTLET. | | | | | | | | |
| (026) | 12"x12" MINIMUM PLUMBING ACCESS FOR TUBS. | | | | | | | | |
| (027) | 1" MAX. DROP. THE LANDING OR FINISHED FLOORS SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD EXCEPT THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7/8" BELOW THE TOP OF THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OF FLOOR | | | | | | | | |
| <table border="1"> <thead> <tr> <th>WALL LEGEND:</th> <th>GENERAL LEGEND:</th> </tr> </thead> <tbody> <tr> <td> (N) STUD WALLS</td> <td>(E) = EXISTING ELEMENT</td> </tr> <tr> <td> (E) WALLS TO REMAIN</td> <td>(N) = NEW ELEMENT</td> </tr> <tr> <td> (E) WALLS TO BE DEMO</td> <td></td> </tr> </tbody> </table> | | WALL LEGEND: | GENERAL LEGEND: | (N) STUD WALLS | (E) = EXISTING ELEMENT | (E) WALLS TO REMAIN | (N) = NEW ELEMENT | (E) WALLS TO BE DEMO | |
| WALL LEGEND: | GENERAL LEGEND: | | | | | | | | |
| (N) STUD WALLS | (E) = EXISTING ELEMENT | | | | | | | | |
| (E) WALLS TO REMAIN | (N) = NEW ELEMENT | | | | | | | | |
| (E) WALLS TO BE DEMO | | | | | | | | | |

BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 S.F. WHEN ABOVE THE GRADE-FLOOR AND 5 S.F. ON THE GRADE-FLOOR, A MINIMUM NET HEIGHT OF 24", A MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. (CRC R310, CBC 1030)

| ALL DOORS AND WINDOWS SHALL MEET CITY OF BURBANK SECURITY ORDINANCE | | | | | | | | | |
|---|-----------------------|----------|----------------------|------|----------------|-------------------|--------|---------|---------------------------|
| WINDOW SCHEDULE | | | | | | | | | |
| WINDOW | OPENING SIZE W x H | MATERIAL | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | EGRESS | FRAME | U-FACTOR SHGC |
| A | 12'-0" x 8'-0" | VINYL | LIVING ROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| B | 4'-0" x 8'-0" | VINYL | BATHROOM | A | ● | ● | BATH. | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| C | 6'-0" x 8'-0" | VINYL | BEDROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| D | 3'-0" x 5'-0" | VINYL | BEDROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| E | 6'-0" x 3'-0" | VINYL | BATHROOM | A | ● | ● | BATH. | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| F | 4'-0" x 4'-0" | VINYL | BEDROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| G | 3'-0" x 5'-0" | VINYL | BEDROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| H | 6'-0" x 4'-0" | VINYL | DINING AREA, BEDROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| J | 6'-0" x 4'-0" | VINYL | BATHROOM | A | ● | ● | BATH. | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| K | 6'-0" x 4'-0" | VINYL | BEDROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| L | 2'-0" x 3'-0" | VINYL | GARAGE | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| M | 8'-0" x 5'-0" | VINYL | REC. ROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| N | 6'-0" x 5'-0" | VINYL | REC. ROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |
| K | 2'-0" x 5'-0" | VINYL | REC. ROOM | A | ● | ● | | NAIL-IN | U-FACTOR 0.3 SHGC 0.23 |

| DOOR SCHEDULE | | | | | | | | |
|---------------|----------------------|----------|-----------|-------------|------|----------------|-------------------|----------------|
| DOOR | DOOR SIZE (W x H) | MATERIAL | THICKNESS | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | REMARKS |
| 1 | 6'-0" x 9'-0" | WOOD | 1 3/4" | EXTERIOR | | ● | ● | DOUBLE HUNG |
| 2 | 2'-8" x 6'-8" | WOOD | 1 3/4" | INTERIOR | | | | SINGLE HUNG |
| 3 | 3 3'-6" x 6'-8" | | | INTERIOR | | | | TRIPLE SLIDING |
| 4 | 2 2'-0" x 6'-8" | | | INTERIOR | | | | DOUBLE SLIDING |
| 5 | 3'-0" x 6'-8" | | | EXTERIOR | | | | SINGLE HUNG |
| 6 | 2 3'-6" x 6'-8" | | | INTERIOR | | | | DOUBLE SLIDING |
| 7 | 16'-0" x 7'-0" | | | GARAGE GATE | | | | GARAGE GATE |

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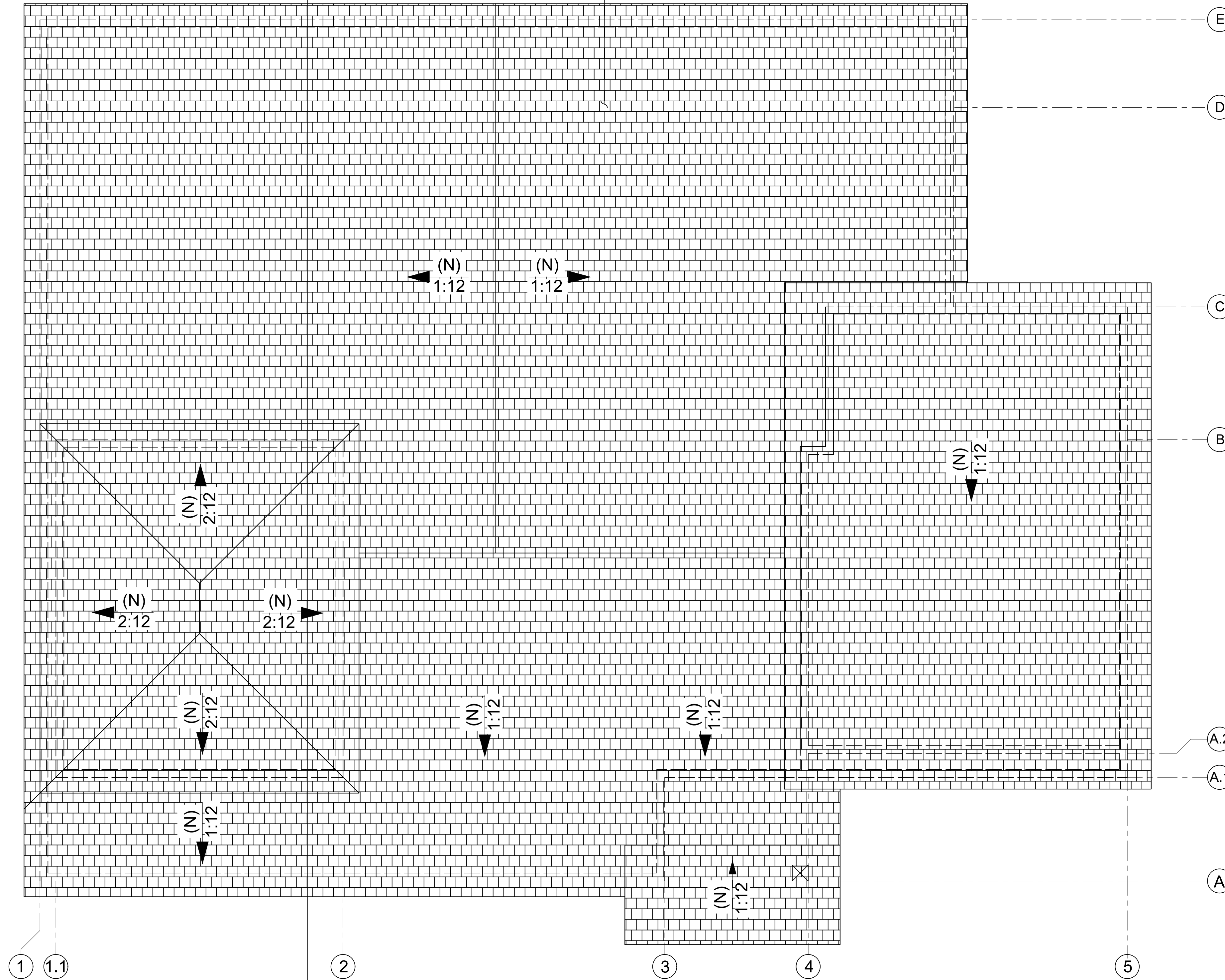
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TOTAL ATTIC AREA: 3,665 SQ.FT.
 3,665 X 144 = 527,760 SQ. IN.
 527,760/150 = 3,518.4 SQ. IN. VENT REQUIRED
 PROVIDE 100 SQ. IN. OF NET FREE AREA PER PIECE
 3,518.4 SQ. IN. VENT REQUIRED/100 = 35.184 REQUIRED
 PROVIDED TOTAL OF (THIRTY FIVE) ATTIC VENTS

INSTALLATION SHALL BE IN ACCORDANCE WITH
 MANUFACTURER'S SPECIFICATIONS.

(N) CLASS A ROOF, CERTAINTEED FLINTASTIC GTA-FR COOLSTAR TM
 OR EQ. (ICC#ESR-3537) OR SIMILAR. TO BE 0.35 OR GREATER AND (SRI)
 OF 29 OR HIGHER WHICH ARE QUALIFIED USBBS LEED UL CERTIFIED
 TO MEET ASTM D3462 AND ASTM D3018. CRRC # 0668-0058



1 PROPOSED ROOF PLAN
 Scale: 1/4" = 1'-0"

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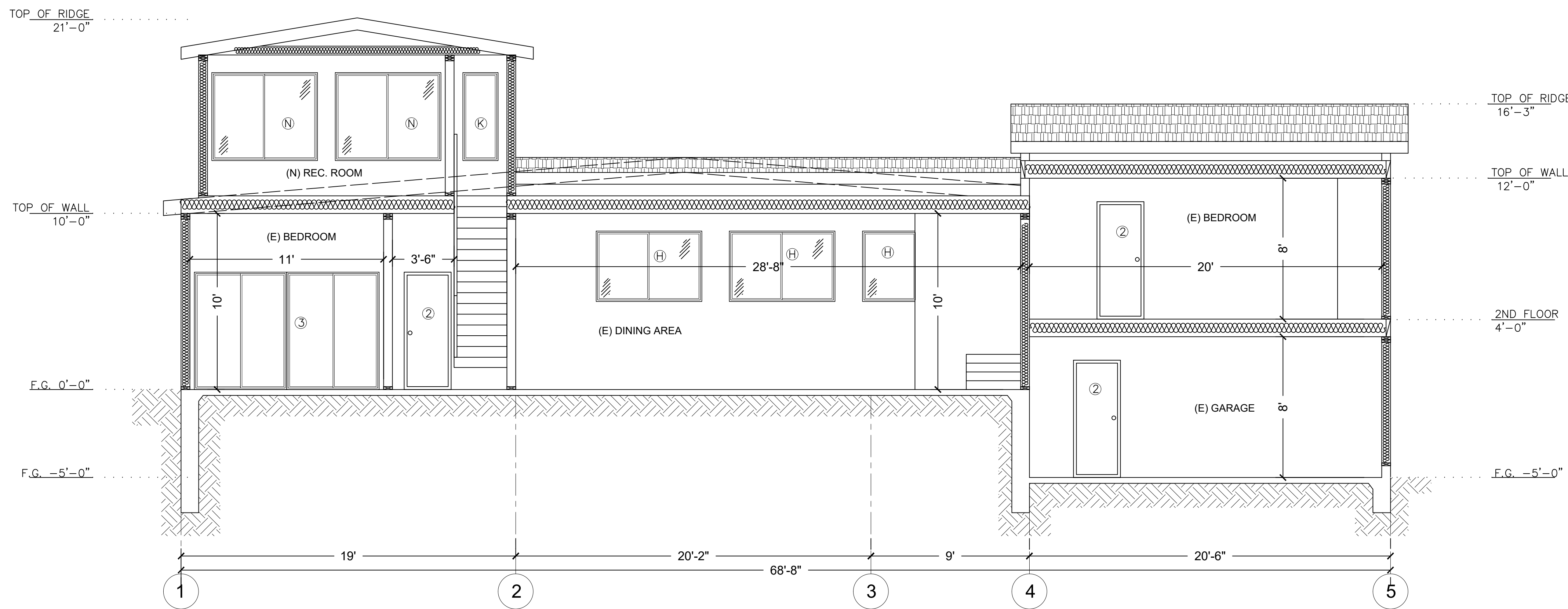
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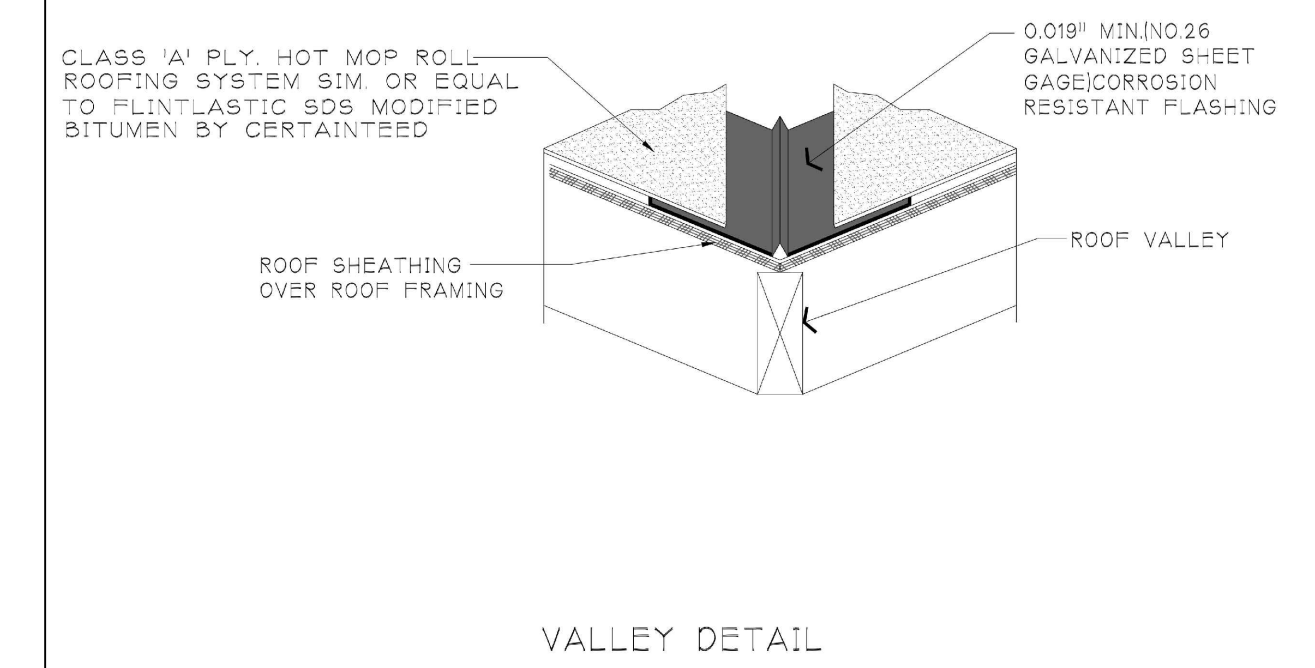
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 PAGE NAME: PROPOSED ROOF PLAN

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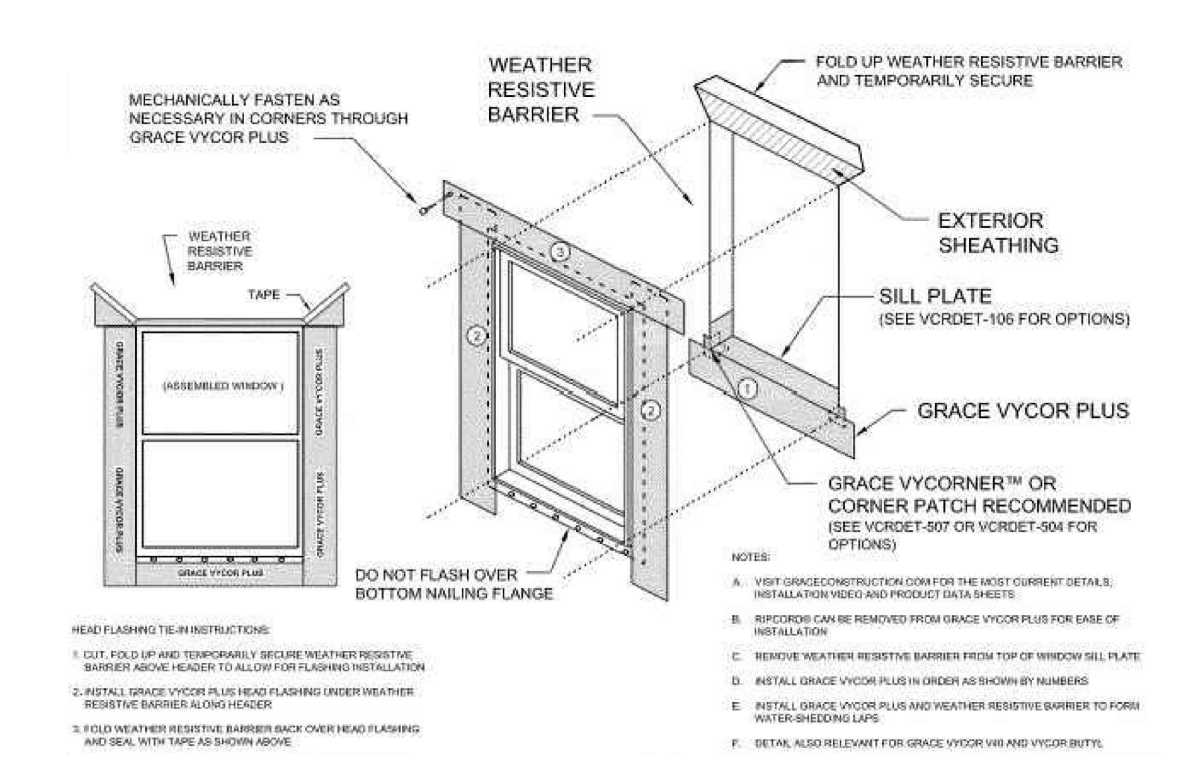
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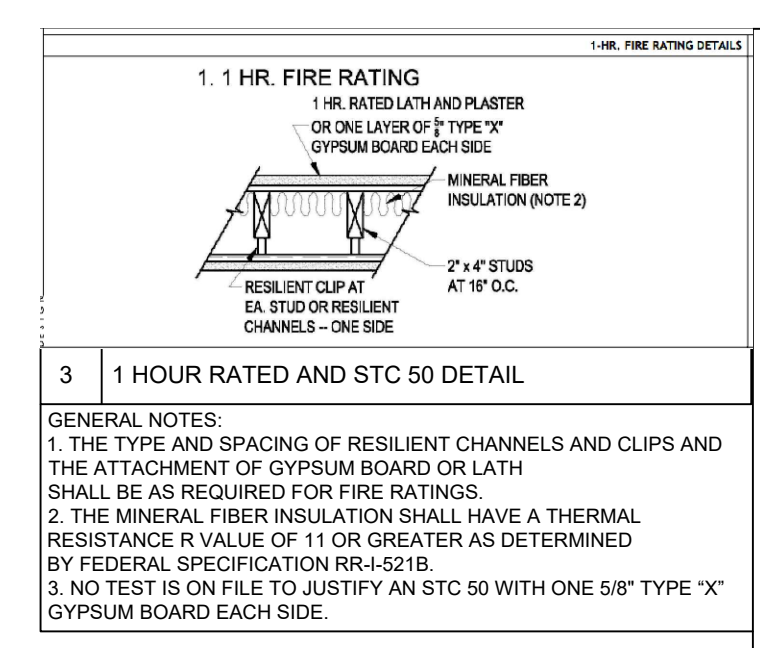
1 PROPOSED A-A SECTION
Scale: 1/4" = 1'-0"



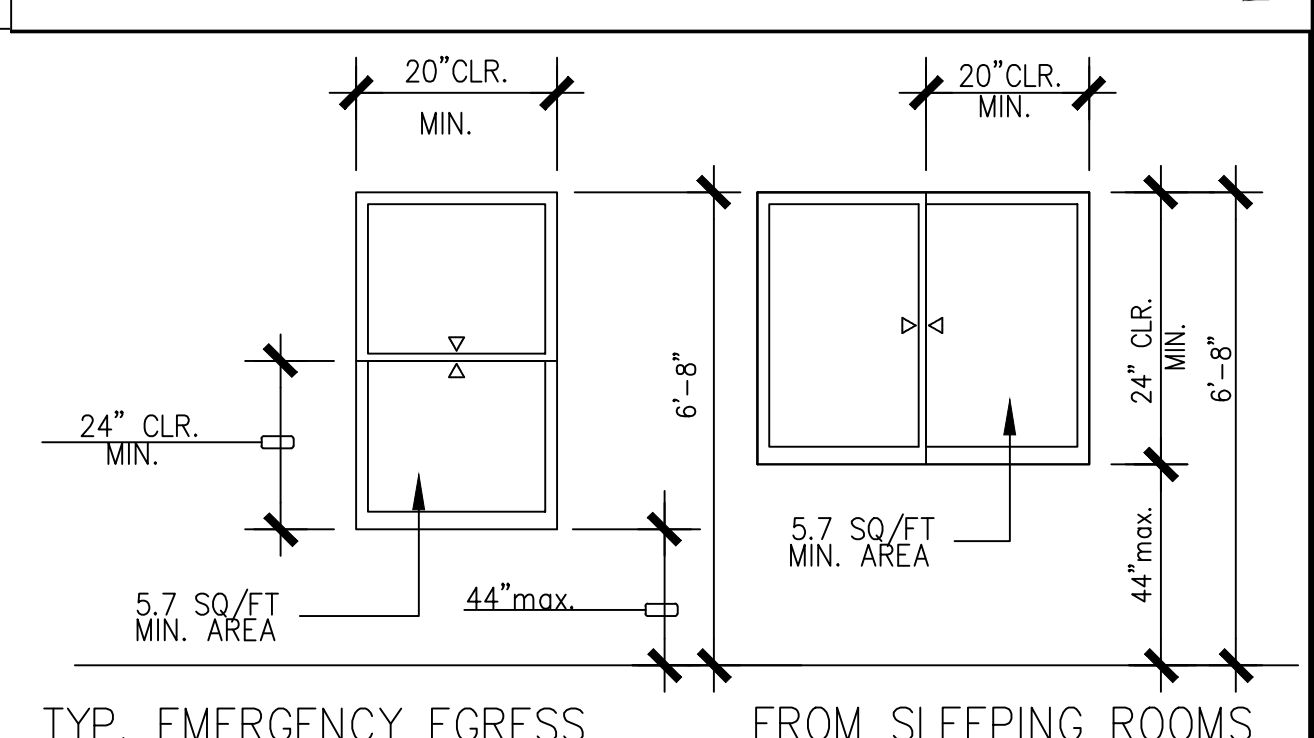
VALLEY DETAIL



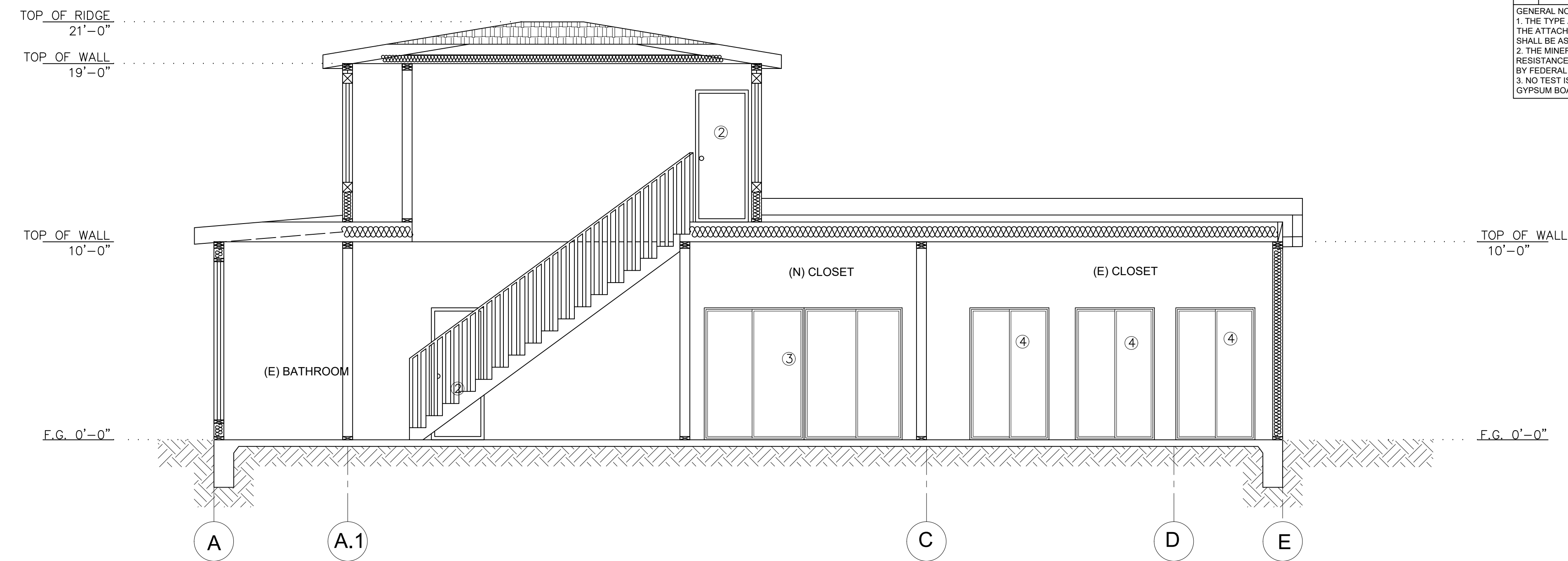
WINDOW FLASHING DETAIL



1 HR. FIRE RATING
1 HR. RATED LATH AND PLASTER OR ONE LAYER OF 5/8" GYPSUM BOARD EACH SIDE
MINERAL FIBER INSULATION (NOTE 2)
2" x 4" STUDS AT 16" O.C.
RESILIENT CLIP AT EA. STUD OR RESILIENT CHANNELS - ONE SIDE



TYP. EMERGENCY EGRESS FROM SLEEPING ROOMS
BEDROOM EGRESS WINDOWS HAVE MINIMUM CLEAR OPENING AREA 5.7 S.F. WHEN ABOVE THE GRADE-FLOOR AND 5 S.F. ON THE GRADE-FLOOR, A MINIMUM NET WIDTH OF 20", A MINIMUM NET HEIGHT OF 24", AND A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. MANUFACTURER'S DATA SHOWING COMPLIANCE WITH EGRESS REQUIREMENTS MUST BE REPRODUCED ON THE DRAWINGS FOR ANY WINDOWS DEVIATING FROM THE APPROVED WINDOW SIZES SHOWN ON THE CITY OF BURBANK CONVENTIONAL CONSTRUCTION SHEET. [CRC R310.0]



1 PROPOSED B-B SECTION
Scale: 1/4" = 1'-0"

1 NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH A 3-1/2" FLANGE AT STUCCO SIDING PLACED MINIMUM OF 4 INCHES ABOVE EARTH PAVED AREAS (CRC R703.7.2.1, CBC 2512.12).

WEEP SCREEDS
Weep screeds shall be a minimum of 0.019" (No. 26 galvanized) and corrosion-resistant or plastic. They shall have a minimum vertical attachment flange of 3-1/2" which shall be provided at or below the foundation plate line on exterior stud walls. The weep screed shall not be placed less than 4" above the earth and not less than 2" above paved areas. The weather-resistive barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed (see Figure CPA 055). [CRC R703.7.2.1, CBC 2512.1.2]

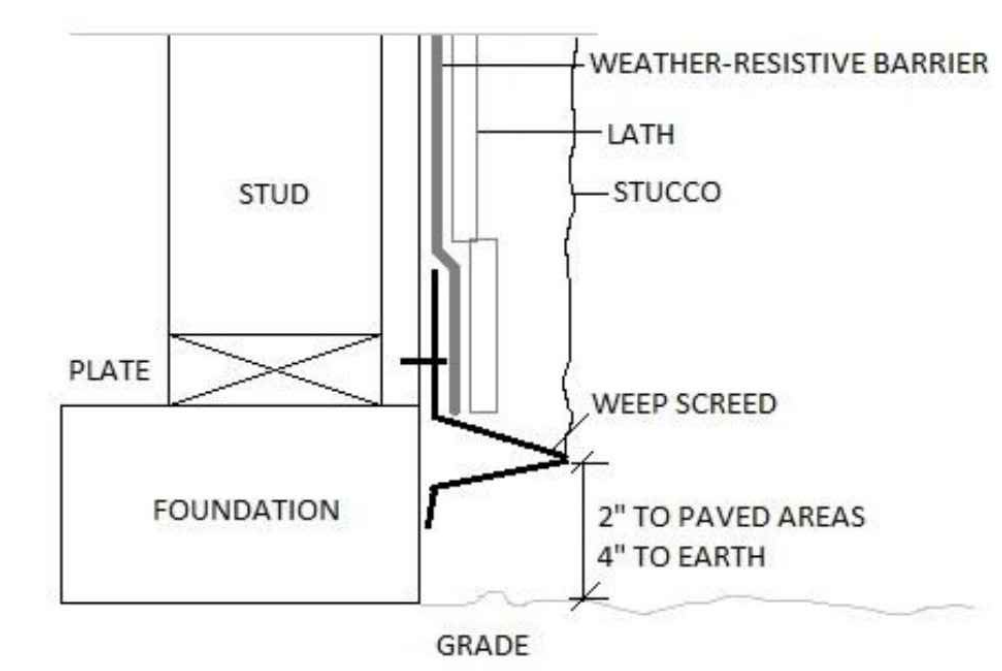


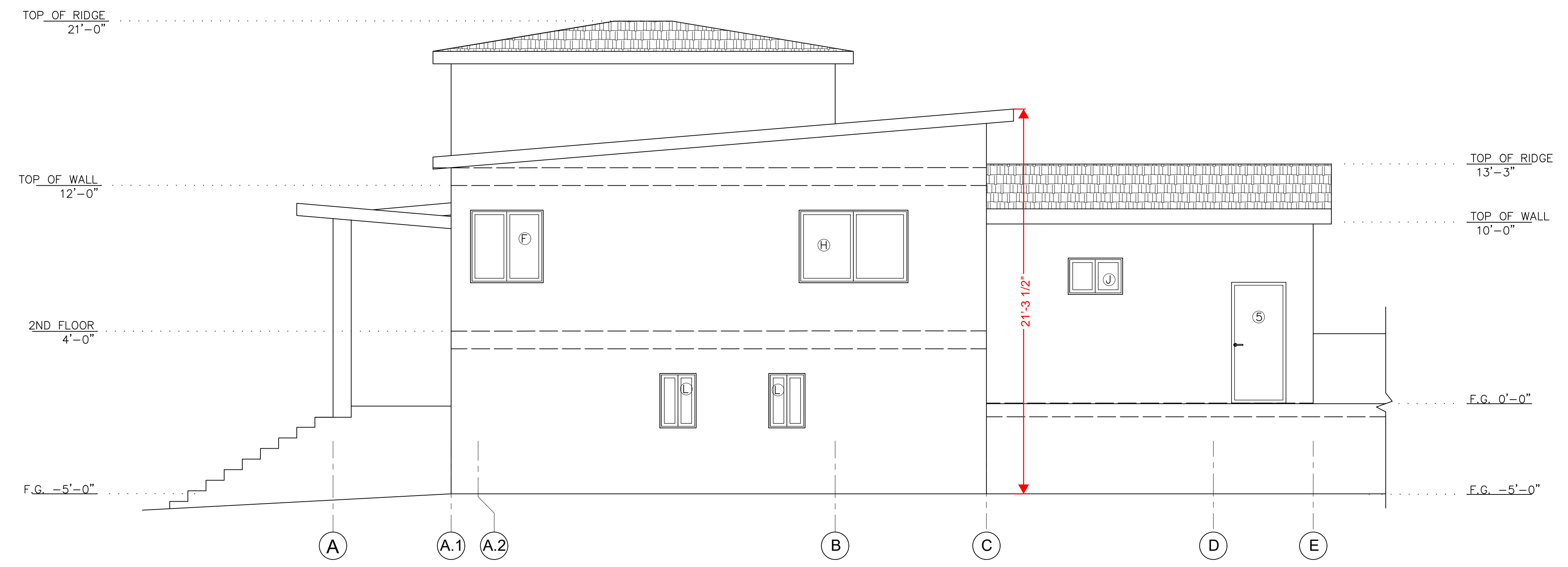
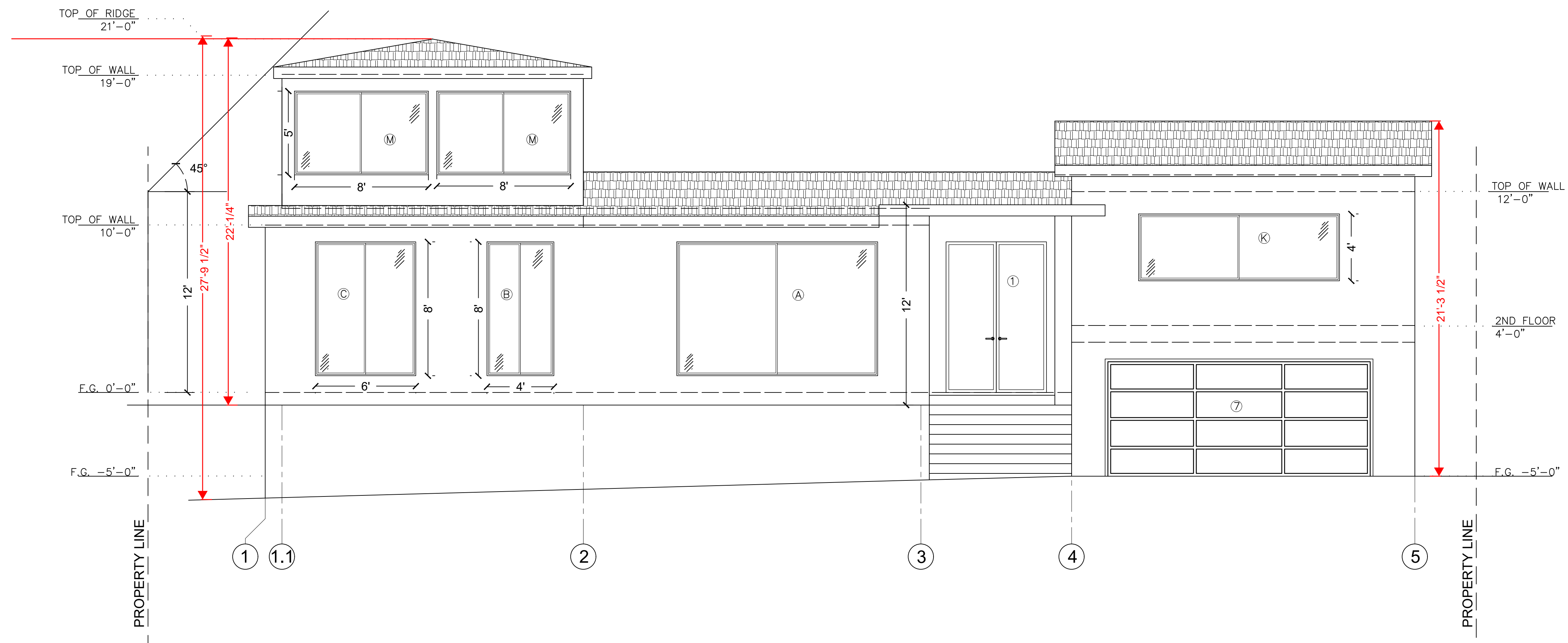
Figure CPA 055 - Weep Screed and Clearances

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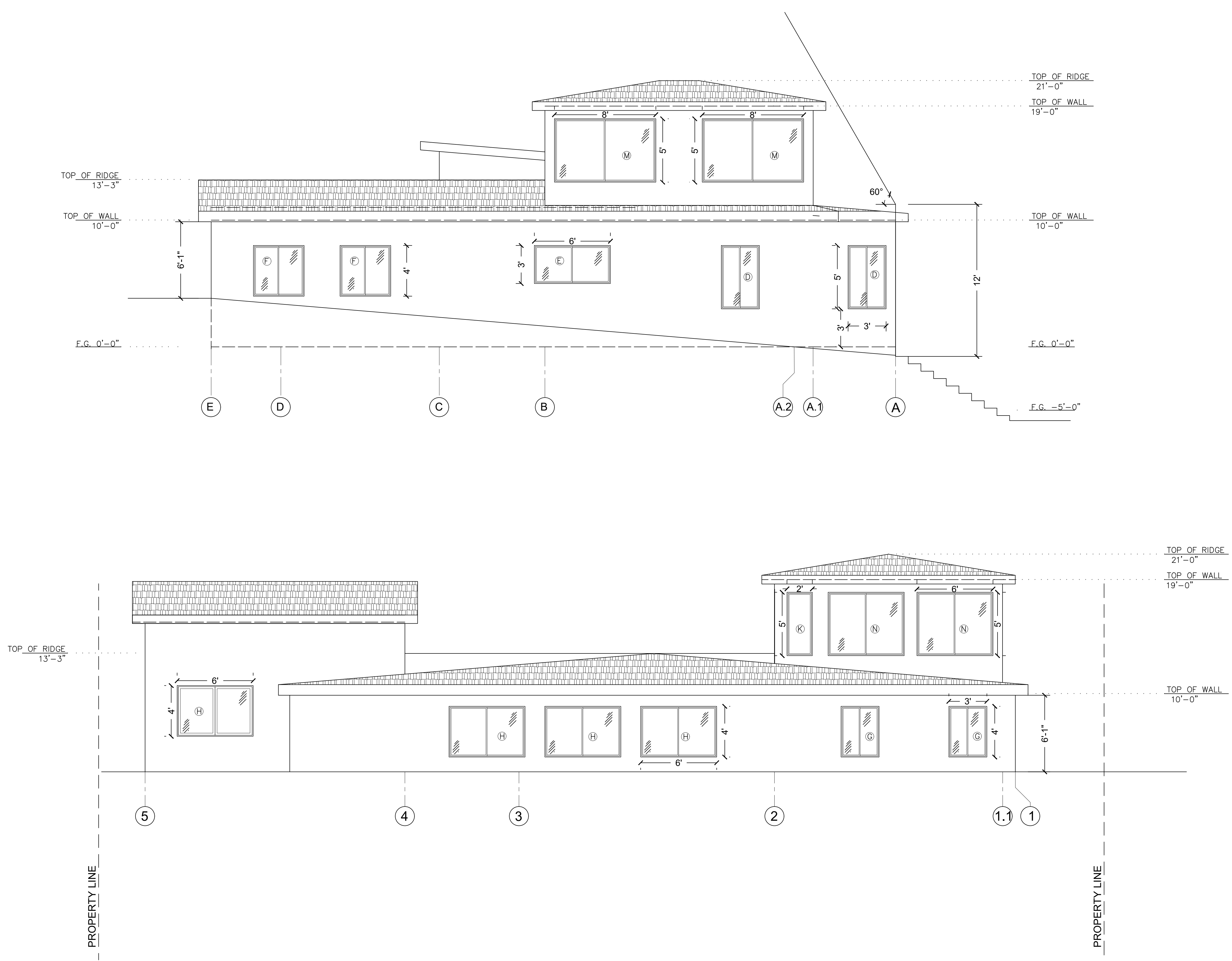
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