

# 1036 SHERLOCK DR BURBANK CA 91501

## MICHEL AZORIAN AND SILVA NAZARIAN

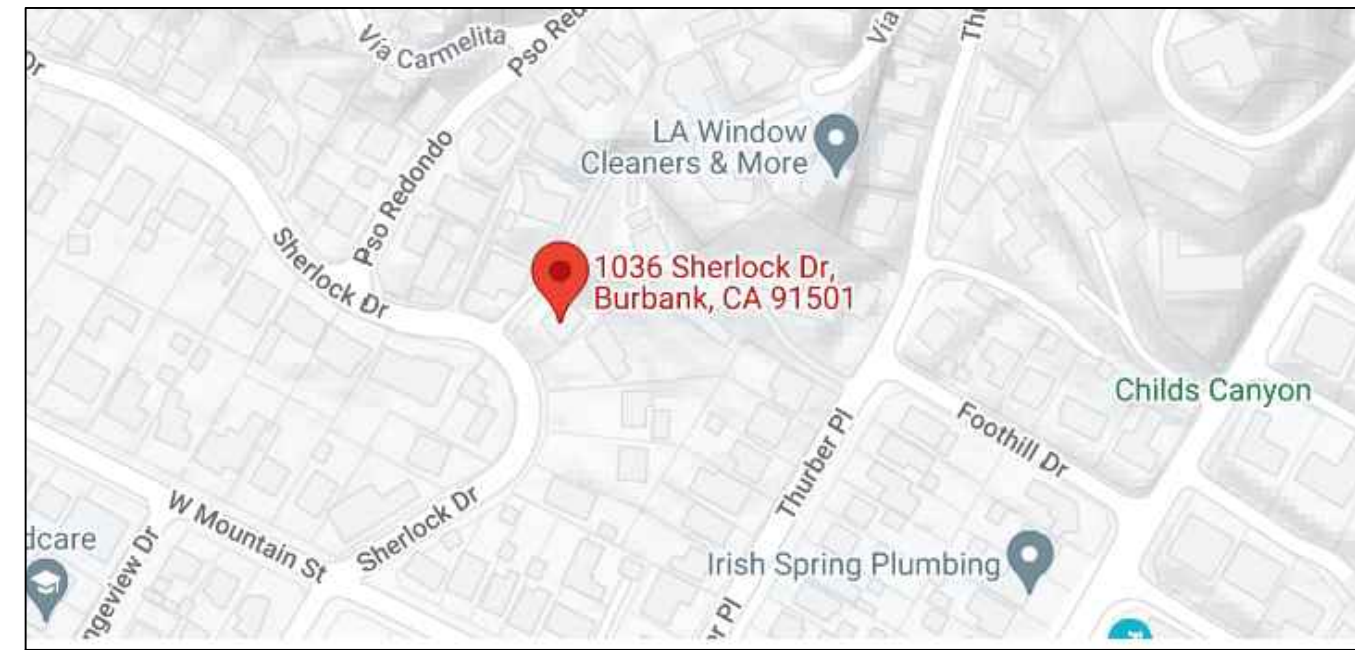
### NEW STAIRS IN THE FRONT YARD/FRONT AND REAR DECK EXTENSIONS

#### SCOPE OF WORK:

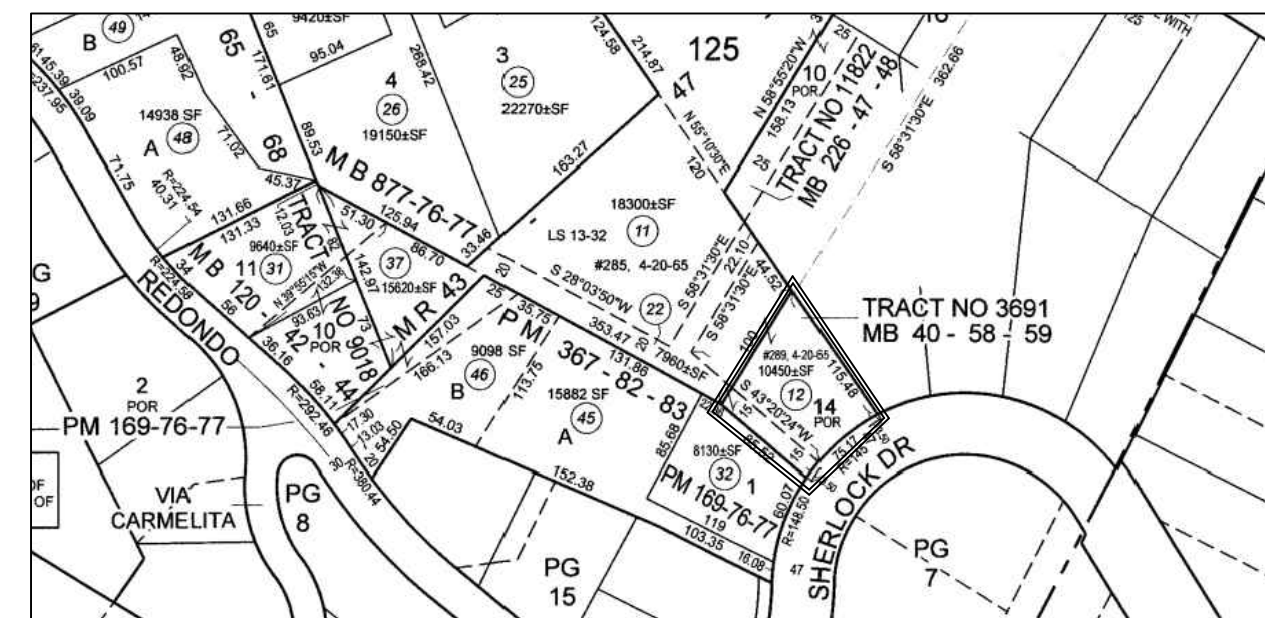
- 1- STAIRS IN THE FRONT YARD
- 2- FRONT DECK EXTENSION(92 SF)
- 3- REAR DECK EXTENSION(212 SF)

EXCEPT FOR THE ITEM ABOVE:  
NO OTHER ADDITION, REMODELING, OR ALTERATION ARE IN THE SCOPE OF WORK OF THIS PROJECT.

PROJECT DATA	
ASSESSOR'S PARCEL NO. (APN):	5618017012
TRACT:	TR 2530
LOT:	12
LAND-USE:	RESIDENTIAL SINGLE FAMILY
ZONING DISTRICT:	R-1
OCCUPANCY GROUP:	R3
CONSTRUCTION TYPE:	V-B
AUTOMATIC SPRINKLER:	NO
YEAR OF CONSTRUCTION:	1979
NO. OF STORIES:	2 W/O BASEMENT
NO. OF BASEMENTS:	NO
Special Resources/Hazards/Constraints Areas:	
Fire Zone:	HIGH
FEMA Flood Zone:	N/A
Drains to:	N/A
Mean annual precipitation:	N/A
Wildland Urban Interface Fire Area:	NO
High County Landslide Hazard Zone:	N/A
State Seismic Hazard Zone (earthquake induced landslides):	N/A



VICINITY MAP



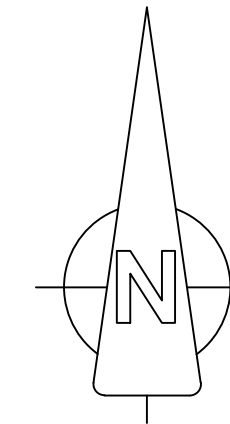
PARCEL MAP

- GENERAL NOTES:
- All construction shall comply with the 2022 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted
  - and amended by the State of California in Title 24 CCR and the City of Burbank local amendments.
  - Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition
  - All property lines, easements, and existing buildings have been indicated on this site plan.
  - A security fence shall be provided around the construction area that shall be installed prior to excavation
  - and/or foundation trenching. (BMC 9-1-2-3302.4)
  - Water shall be provided on the site and used to control dust.
  - Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1)
  - The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved
  - alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 804.4, CRC R401.3)
  - The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CBC 1808.7.4, CRC R403.1.7.3)

SETBACK CERTIFICATION REQUIREMENT: A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection. (BMC 9-1-1-107).

HERS VERIFICATION REQUIREMENT  
Firm or individual responsible for the verification: .....  
Name: ..... License No.: .....

Backwater valve to be installed on private building sewer per BMC 8-1-313 and requirements of the City CDD-Building Department. It is noted and acknowledged that City staff will not sign off on the Final Building Permit Approval and/or Certificate of Occupancy until the owner/developer provides proof that the backwater valve(s) have been installed.  
Per BMC 9-3-407, Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a certificate of occupancy.



OWNER'S CONTACT INFORMATION:  
MICHEL AZORIAN  
1036 SHERLOCK DR BURBANK  
PHONE #: (818)422-4289

#### DISCLAIMER:

The PROJECT has been designed based on standard HSE and QA/QC procedures (OSHA, 29 CFR 1926, ASTM, and other related codes as described in this document). Construction works are under contractors' responsibility. The Engineer is not responsible for any given data by other parties. This engineer is not responsible for any damages that are the consequence of any future construction works or interpretation out of this design documents. Any changes during construction by contractor, any shop drawings, or any material delivered by vendors are required EOR or city inspectors' written verification/authorization.

#### CODE AND STANDARDS

- CRC 2022 California Residential Code
- CPC 2022 California Plumbing Code
- CEC 2022 California Electrical Code, Title 24
- CMC 2022 California Mechanical Code
- Building Energy Efficiency Standards 2022
- CALGreen 2022 Code California Green Building Standards Code
- ASCE 7-22, American Society of Civil Engineers, Minimum Design Loads for Buildings and Other structures
- AWC: NDS 2018, American Wood Council-National Design Specification
- ASCE 41-17, Seismic Evaluation and Retrofit of Existing Structures
- ACI 318-19(22), American Concrete Institute, Building Code requirement for the Structural Concrete.
- ANSI/AISC 303-16: Code of Standard Practice for Steel Buildings and Bridges; Steel Construction Manual, 15th Ed., 2017
- ANSI/AISC 341-16, AISC Seismic Provisions for Structural Steel Buildings; Seismic Design Manual, 3rd Edition, 2018
- ANSI/AISC 358-16, AISC Prequalified Connections for Special and Intermediate Steel Moment Frames for Seismic Applications; Seismic Design Manual, 3rd Edition, 2018
- ASTM, American Society for Testing and Materials, latest edition.
- AWS D1.1, American Welding Society, Structural Welding Code, Steel, 2010.
- AWS D1.3, American Welding Society, Structural Welding Code, Sheet Steel, 2008.
- AWS D1.4, American Welding Society, Structural Welding Code, Reinforcing Steel, 2011.
- AWS D1.6, American Welding Society, Structural Welding Code, Stainless Steel, 2007.
- AWS D1.8, American Welding Society, Structural Welding Code, Seismic Supplements, 2009.
- Health Regulations for Construction
- OSHA, 29 CFR 1926, United States Department of Labor, Occupational Safety and Health Administration, Safety and Health Regulations for Construction
- UNISTRUT General Engineering Catalogue No 17
- TOLCO, Seismic Engineering Guidelines, IBC2009/CBC2010, SEG-12

#### DRAWING INDEX (AR, EL, ME, ENERGY, ST, & CI)

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#### AREA CALCULATION

	FLOOR AREA	EXISTING	(E)GARAGE	TOTAL SF
1	FIRST FLOOR	1254	516	1770
2	SECOND FLOOR	1436		1436
3	TOTAL FLOOR AREA	2690		3206
4	LOT AREA	10844		10844
5	FAR (FLOOR AREA RATIO) (#3/#4)	24.8%	ALLOWABLE FAR (FLOOR AREA RATIO) < 0.3 %	
6	FOOTPRINT OF ALL BUILDINGS	1770		1770
7	(BCR) BUILDING COVERAGE RATIO ( #6 / #4 )	16.32%		16.32%

#### HEIGHT INFORMATION TABLE THAT INCLUDES THE FOLLOWING.

HEIGHT	EXISTING	(N)PROPOSED
LOWEST ELEVATION POINT AT THE BUILDINGS EDGE FROM NATURAL GRADE	8' 10"	8' 10"
HIGHEST ELEVATION POINT AT THE BUILDINGS EDGE FROM NATURAL GRADE	26' 2"	26' 2"
AVERAGE ELEVATION POINT (BASED ON HIGHEST AND LOWEST POINTS ABOVE)	17' 6"	17' 6"
TOP MOST ELEVATION POINT - MEASURED FROM AVERAGE POINT (ABOVE) TO THE TOP MOST POINT OF THE ROOF. INCLUDE SEPARATE CALCULATION FOR CHIMNEY, ETC.	26' 8"	26' 8"

#### BEDROOMS AND BATHROOMS

	EXISTING	PROPOSED
BEDROOMS	3	3
BATHROOMS	4	4

#### SETBACK TABLE OF REQUIRED AND PROPOSED SETBACKS.

SETBACKS	REQUIRED BY CODE	EXISTING
FRONT	25'	39'-1"
LEFT SIDE FIRST FLOOR	5'	21'-2"
LEFT SIDE SECOND FLOOR	-	-
RIGHT SIDE FIRST FLOOR	10'	5'-0"
RIGHT SIDE SECOND FLOOR	-	-
REAR FIRST FLOOR	5'	46'-4"
REAR SECOND FLOOR	-	-



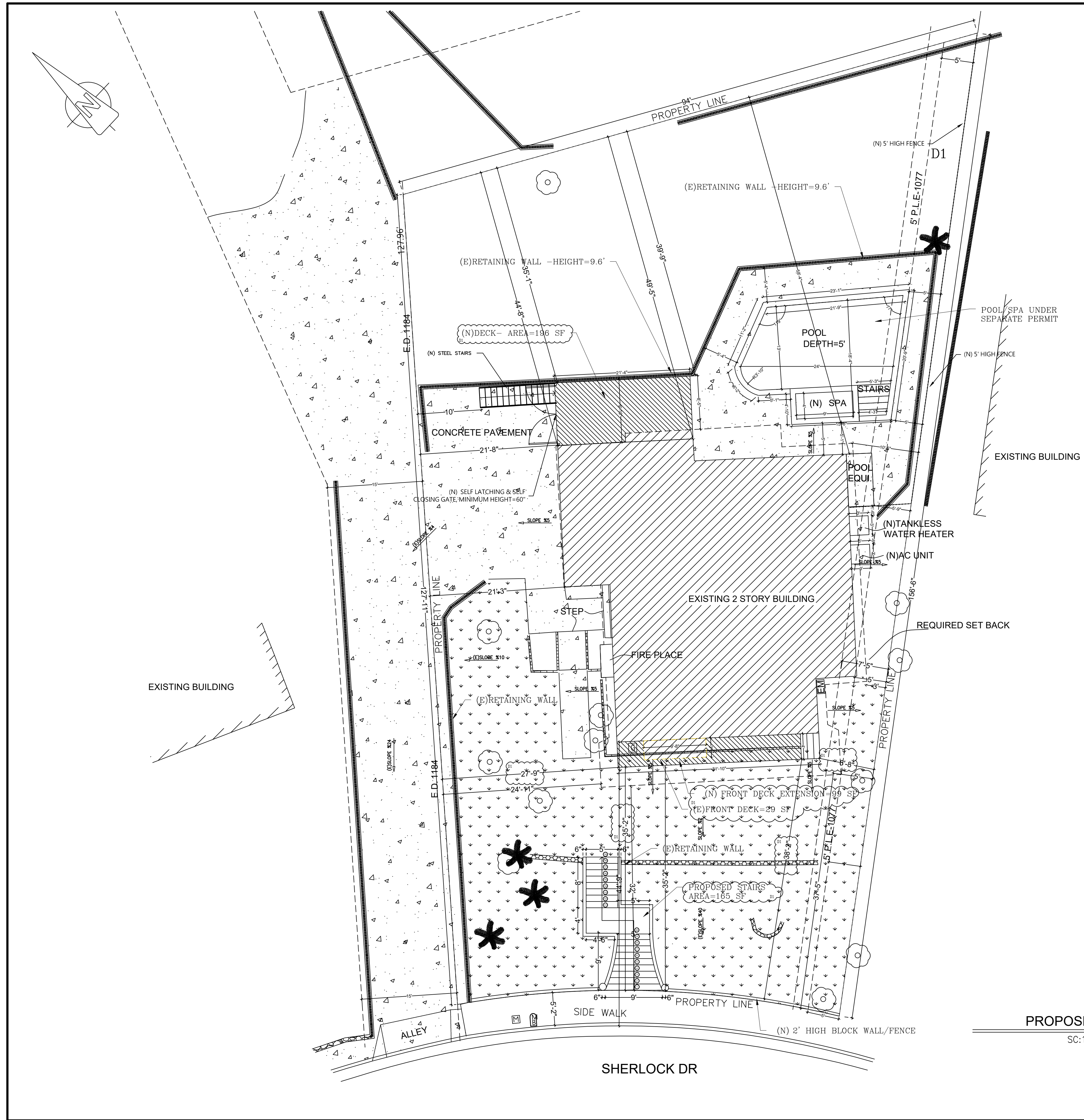
CIVIL/STRUCTURAL ENG. SERVICES  
Varoijan Nazarian, PE  
1132 Elm Ave Apt 106  
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tel 818-466-4911  
email Varhoij@Yahoo.com

PROJECT TITLE:  
MICHEL AZORIAN & SILVA NAZARIAN  
1036 SHERLOCK DR BURBANK  
CA 91501  
FRONT YARD STAIRS, FRONT  
AND REAR DECK'S EXTENSION

REVISION	DESCRIPTION	DATE
DO	APPLICATION FOR PERMIT	08/14/24

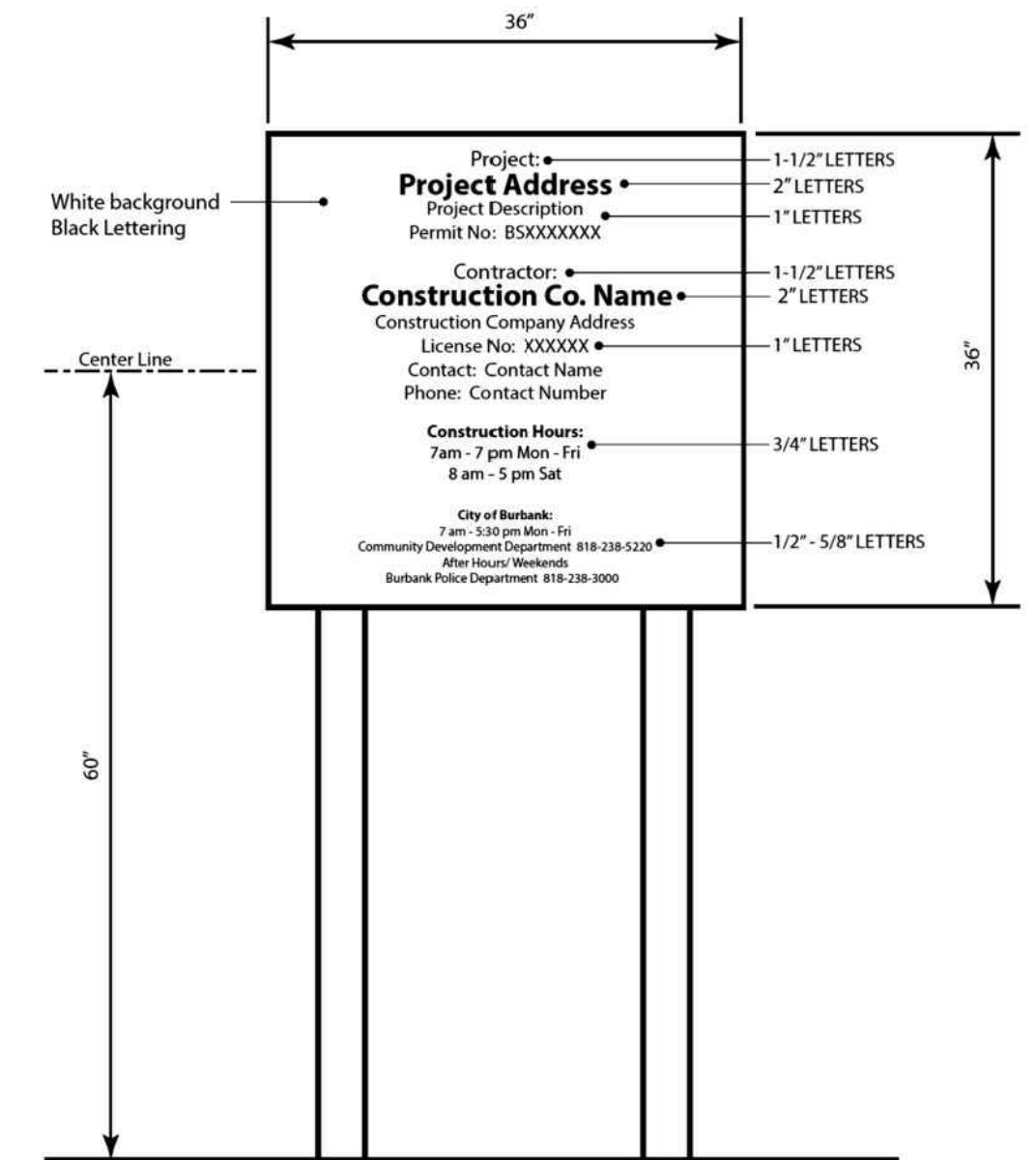
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SUB-PROJ #	2
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DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	02/14/24
DWG. NO.	112-DR-2-AR-1.1





PROPOSED SITE PLAN

SC: 1/8" = 1'



**PROJECT SIGN**

1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).
2. Sign may be mounted independently or on the construction fence.

BUILDING DIVISION  
Community Development Department  
City of Burbank

**WATER-CONSERVING PLUMBING FIXTURES  
CERTIFICATE OF COMPLIANCE**  
(For buildings built on or before Jan. 1, 1994)

Project Address: 1036 Sherlock Drive Permit No: BS 2307618

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.

Owner's Name: Michel Azorian Date: 11-18-23  
Owner's Signature: [Signature]

SINGLE-FAMILY RESIDENTIAL	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet	1.2 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60 psi
MULTI-FAMILY RESIDENTIAL	
Fixture	CALGreen/ CPC
Water Closet	1.28 gals/flush
Showerhead	1.8 gals/min at 80 psi
Multiple Showerheads	1.8 gals/min combined at 80 psi
Lavatory Faucet (within units)	1.2 gals/min at 60 psi
Lavatory Faucet (common areas)	0.5 gals/min at 60 psi
Kitchen Faucet	1.8 gals/min at 60psi

**LEGEND**

- CONCRETE PAVEMENT
- LAWN
- ELECTRIC METER
- WATER METER
- GAS METER



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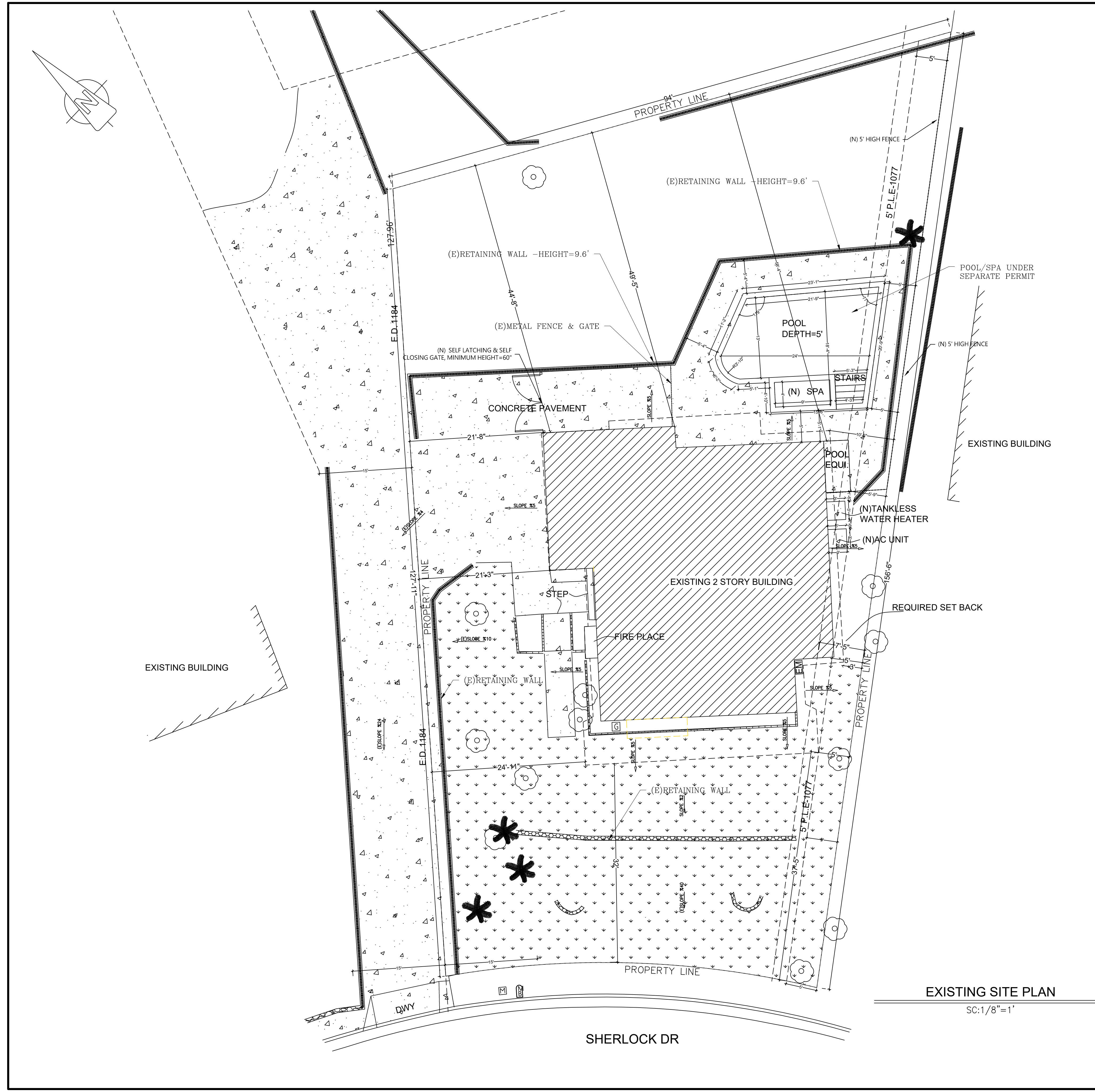
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MICHEL AZORIAN & SILVA NAZARIAN  
1036 SHERLOCK DR BURBANK  
CA 91501  
FRONT YARD STAIRS, FRONT  
AND REAR DECKS' EXTENSION

REVISION	DESCRIPTION	DATE
D0	APPLICATION FOR PERMIT	02/14/24
D1	APPLICATION FOR PERMIT COMMENTS	02/08/24

DRAWING TITLE:  
**PROPOSED SITE PLAN**

PROJECT NO	2312-1402
SUB-PROJ #	1
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	02/14/24
DWG. NO.	112-DR-2-AR-2.2.1





**EXISTING SITE PLAN**  
 SC: 1/8" = 1'

**LEGEND**

- CONCRETE PAVEMENT
- LAWN
- ELECTRIC METER
- WATER METER
- GAS METER



**CIVIL/STRUCTURAL ENG. SERVICES**  
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 1132 Elm Ave # 106  
 Glendale CA 91201  
 tel 818-466-4911  
 email Vaghoof3@yahoo.com

**PROJECT TITLE:**  
 MICHEL AZORIAN & SILVA NAZARIAN  
 1036 SHERLOCK DR BURBANK  
 CA 91501  
 REMODELING AND ADDITION

REVISION	DESCRIPTION	DATE
00	APPLICATION FOR PERMIT	01/25/24

<b>DRAWING TITLE:</b>	
(E) SITE PLAN	
<b>PROJECT NO</b>	2312-1402
<b>SUB-PROJ #</b>	1
<b>LEAD ENGINEER</b>	
<b>DESIGN BY:</b>	VAROIJAN NAZARIAN
<b>DRAWN BY:</b>	
<b>CHECKED BY:</b>	
<b>AUTHORIZED BY:</b>	
<b>FIELD:</b>	ARCH
<b>DATE:</b>	01/25/24
<b>DWG. NO.</b>	112-DR-2-AR-2.2



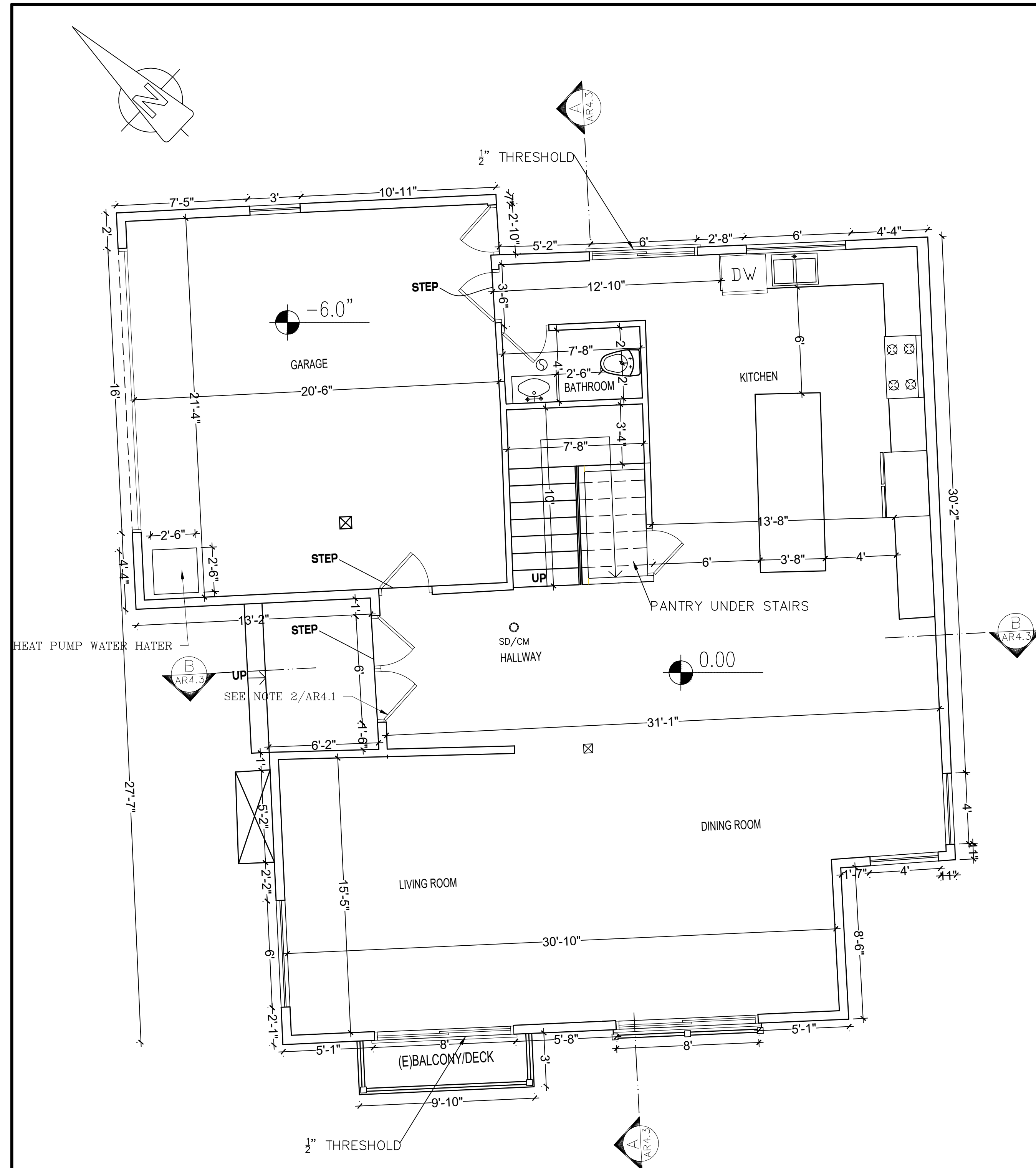


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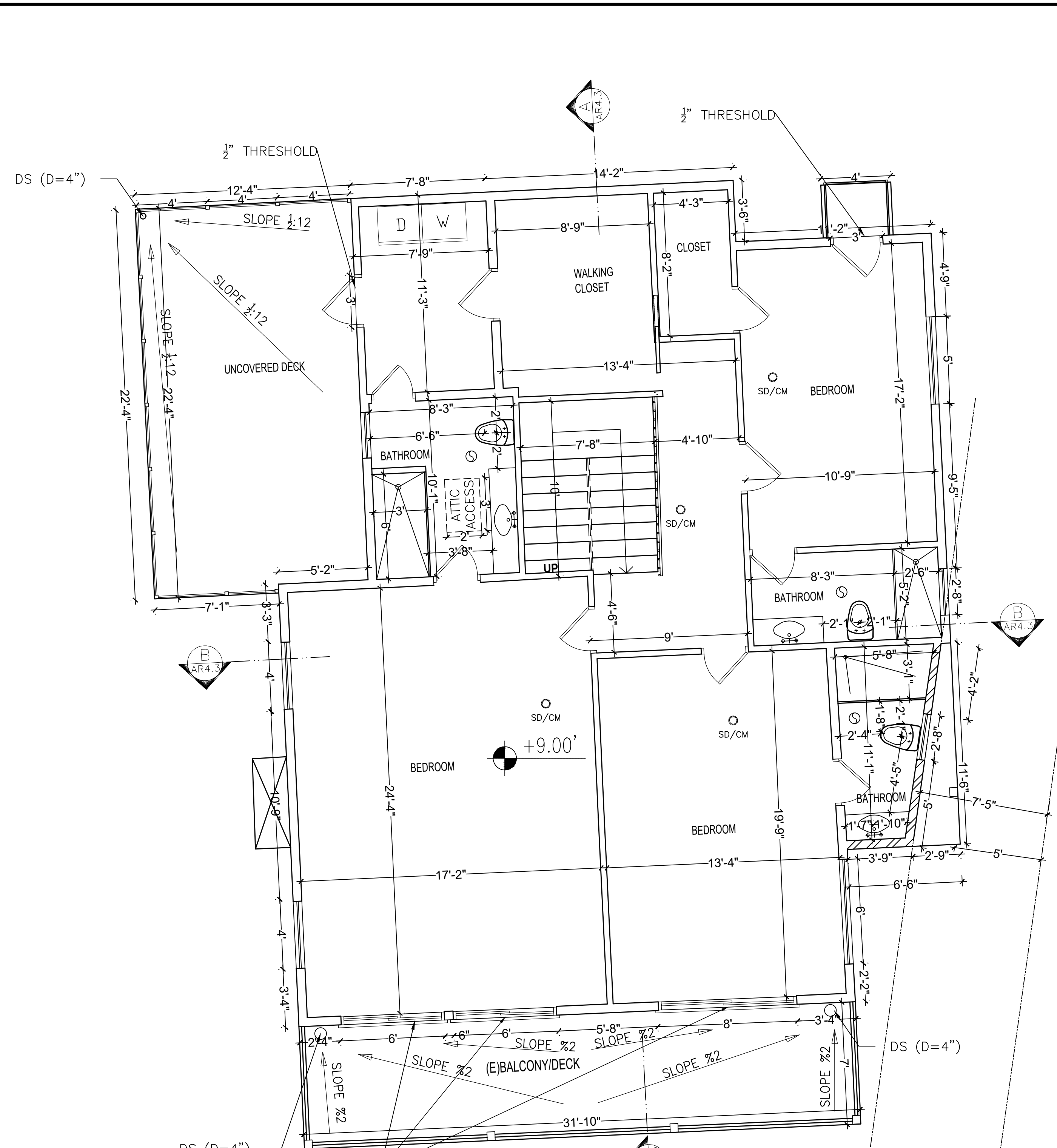
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 1036 SHERLOCK DR BURBANK  
 CA 91501  
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REVISION	DESCRIPTION	DATE
00	APPLICATION FOR PERMIT	02/14/24

DRAWING TITLE: (E) FIRST AND SECOND FLOOR PLANS	
PROJECT NO	2312-1402
SUB-PROJ #	2
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	02/14/24
DWG. NO.	112-DR-2-AR-3.1



(E) FIRST FLOOR PLAN  
 SC: 1/4"=1'



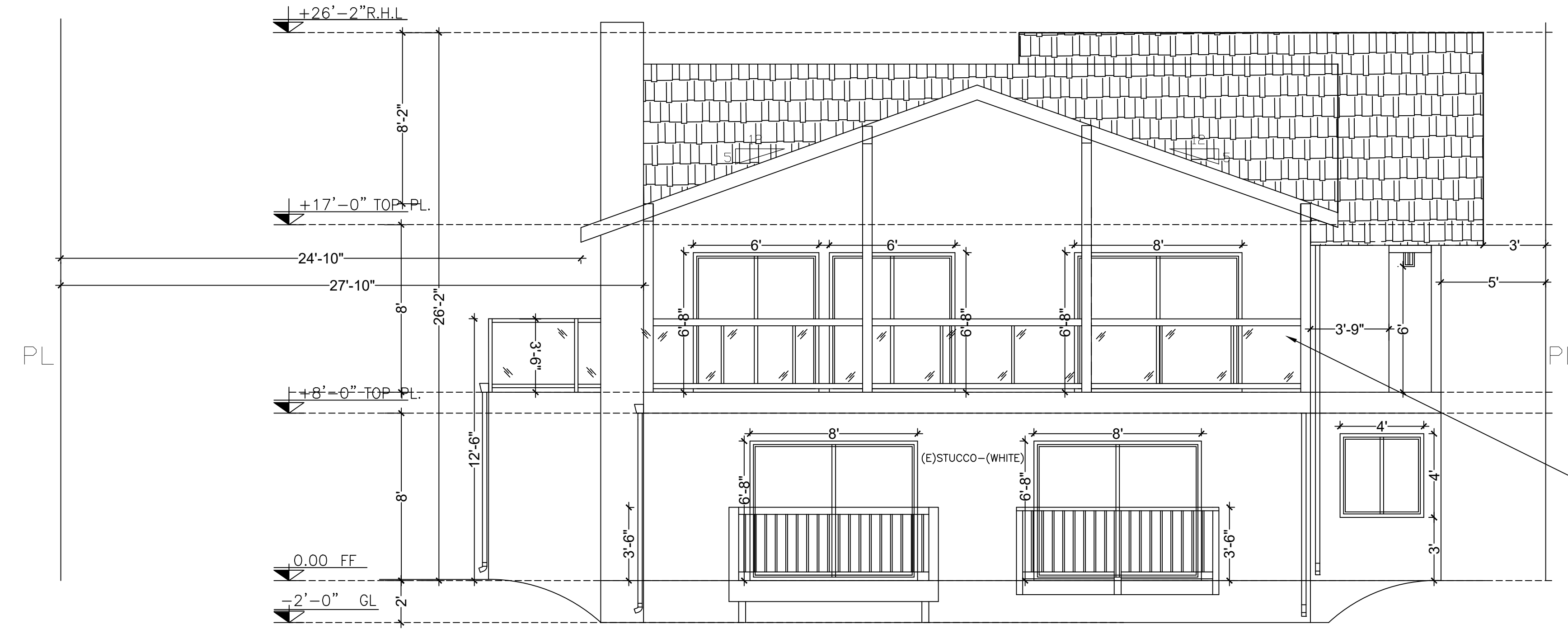
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 SC: 1/4"=1'

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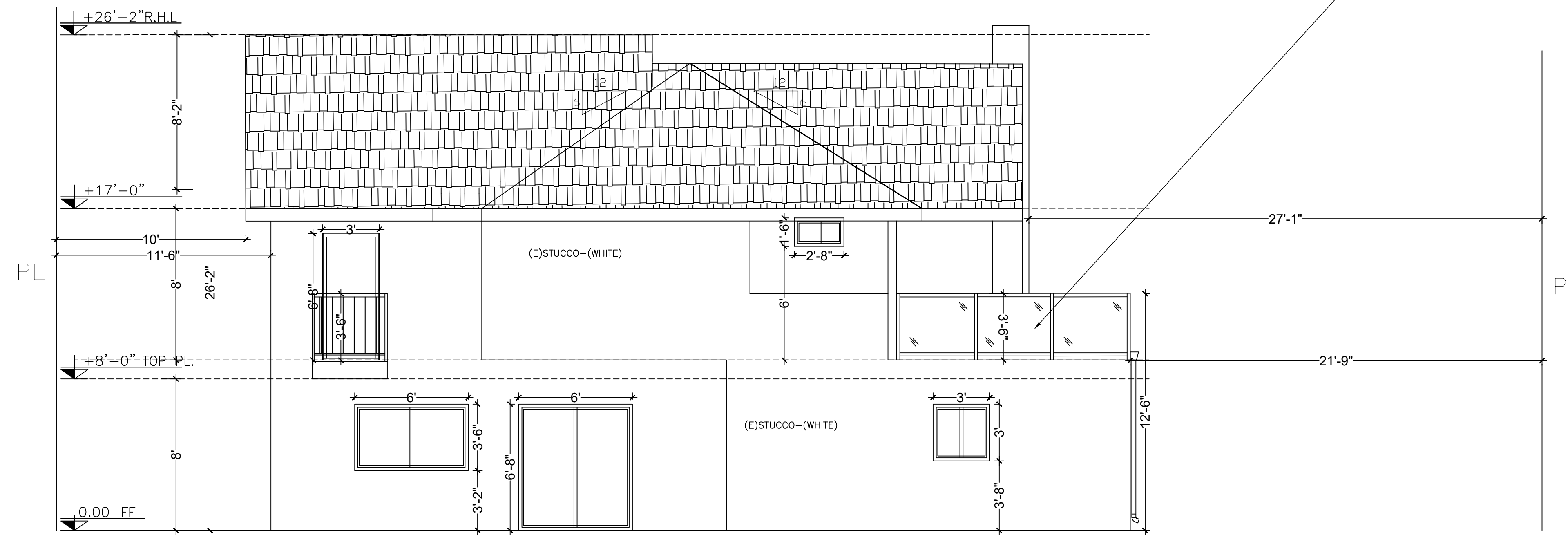
CIVIL/STRUCTURAL ENG. SERVICES  
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 CA 91501  
 REMODELING AND ADDITION



**FRONT ELEVATION**  
 SC:1/4"=1'

GLASS RAILING  
 MANUFACTURER:  
 Q-RAILING USA CO.  
 ICC-ES EVALUATION  
 REPORT: ESR-4688



**REAR ELEVATION**  
 SC:1/4"=1'

**LEGEND**  
 R.H.L ROOF HIGHEST LEVEL  
 PL PLATE  
 FF FIRST FLOOR  
 GL GRADE LEVEL

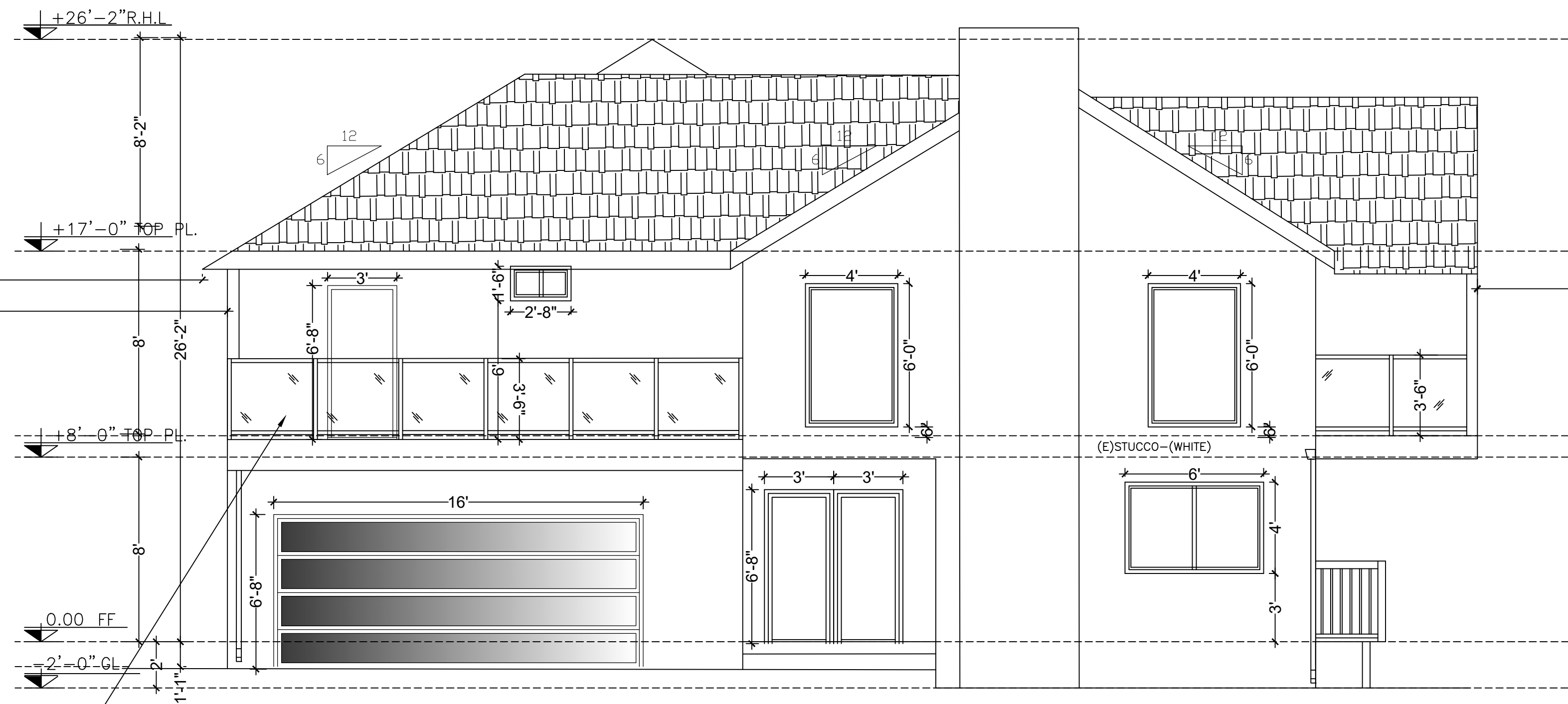
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00	APPLICATION FOR PERMIT	02/14/24

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PROJECT NO	2312-1402
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LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
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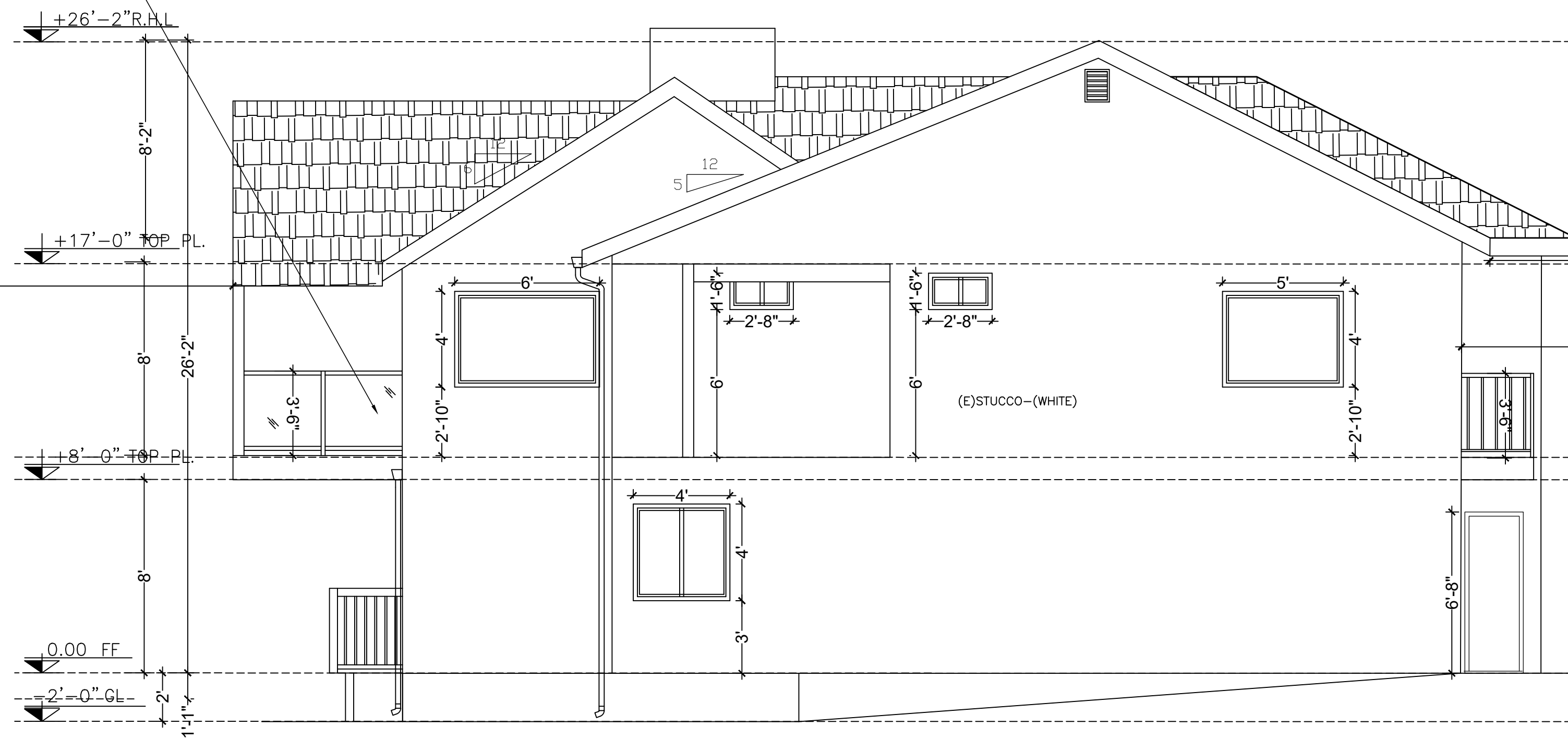
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PROJECT TITLE:  
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 1036 SHERLOCK DR BURBANK  
 CA 91501  
 REMODELING AND ADDITION



**LEFT ELEVATION**  
 SC: 1/4"=1"

GLASS RAILING  
 MANUFACTURER:  
 Q-RAILING USA CO.  
 ICC-ES EVALUATION  
 REPORT: ESR-4688



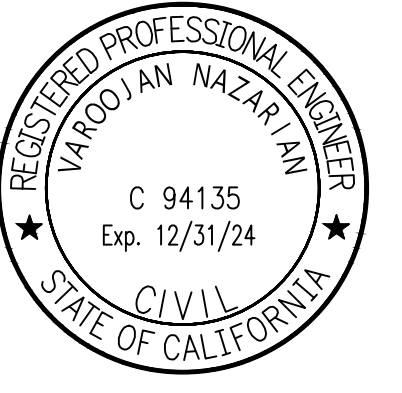
**RIGHT ELEVATION**  
 SC: 1/4"=1"

**LEGEND**  
 R.H.L ROOF HIGHEST LEVEL  
 PL PLATE  
 FF FIRST FLOOR  
 GL GRADE LEVEL

REVISION	DESCRIPTION	DATE
00	APPLICATION FOR PERMIT	02/14/24

DRAWING TITLE: <b>(E)LEFT AND RIGHT ELEVATIONS</b>	
PROJECT NO	2312-1402
SUB-PROJ #	2
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
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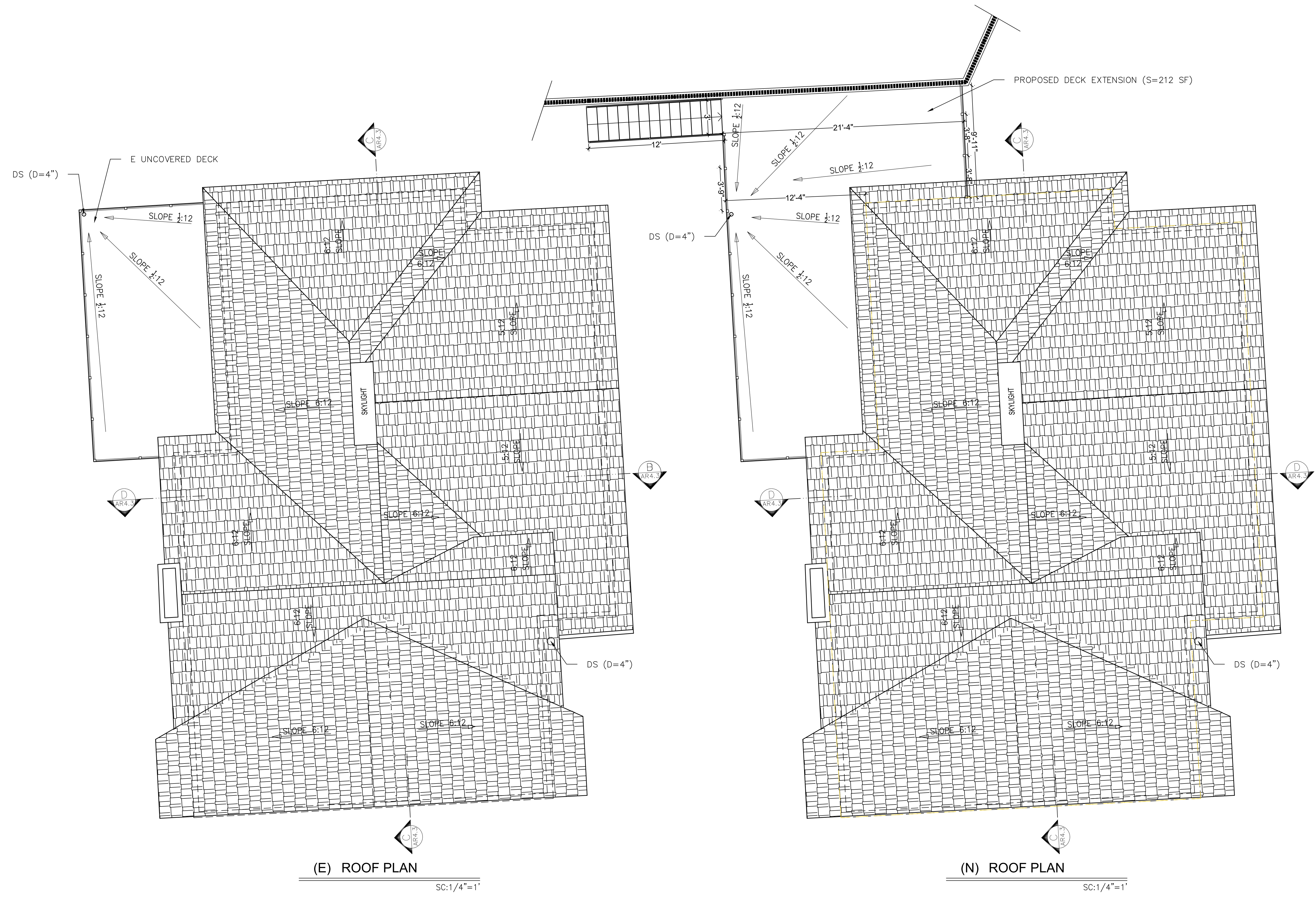
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DRAWING TITLE:	
ROOF PLAN	
PROJECT NO	2312-1402
SUB-PROJ #	2
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
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DWG. NO.	

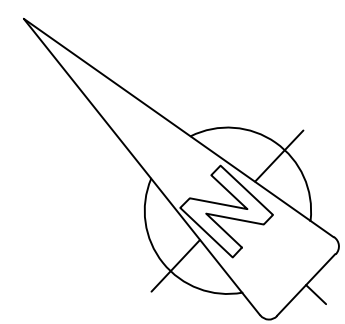
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(E) ROOF PLAN  
 SC: 1/4"=1'

(N) ROOF PLAN  
 SC: 1/4"=1'



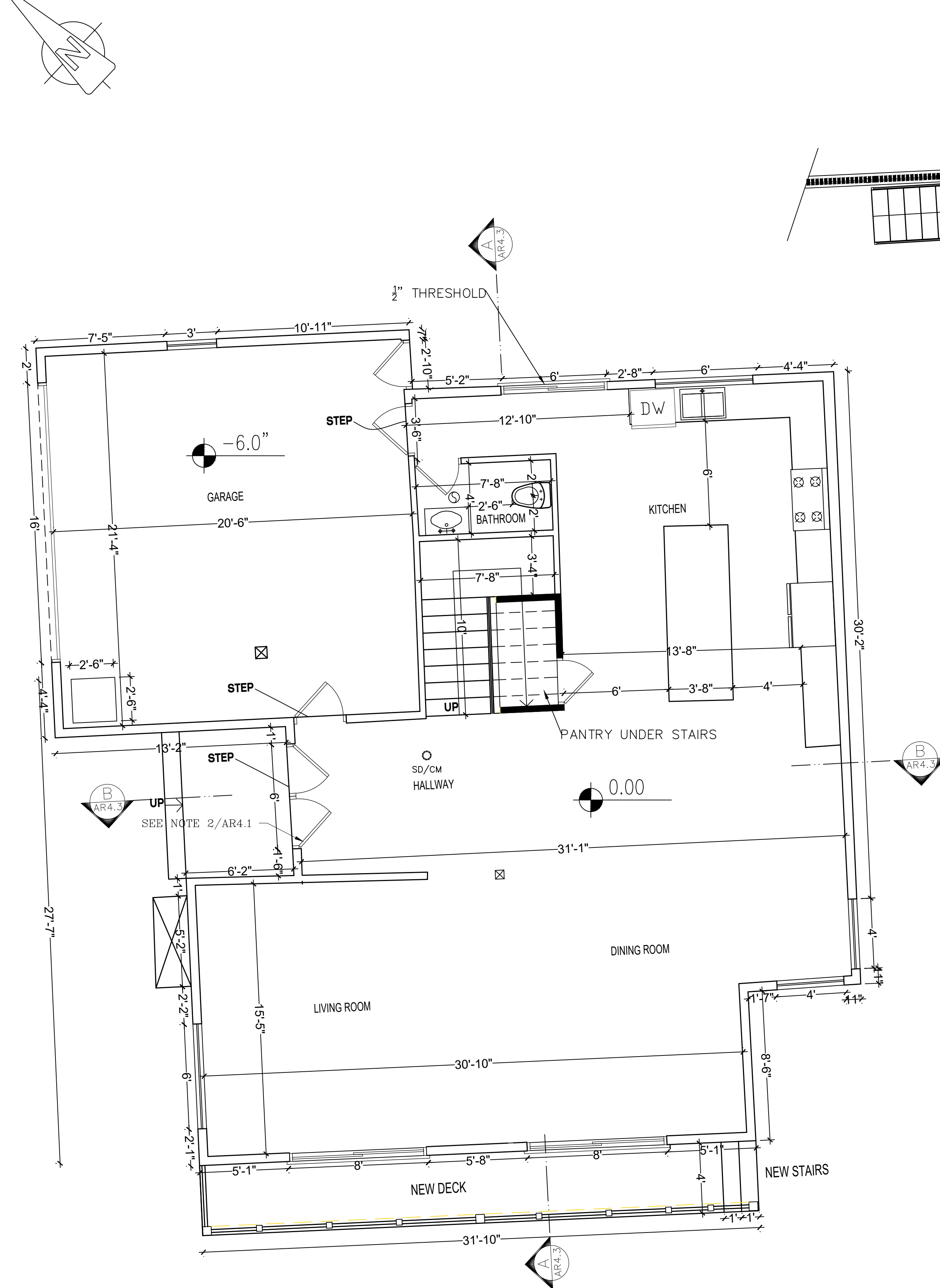


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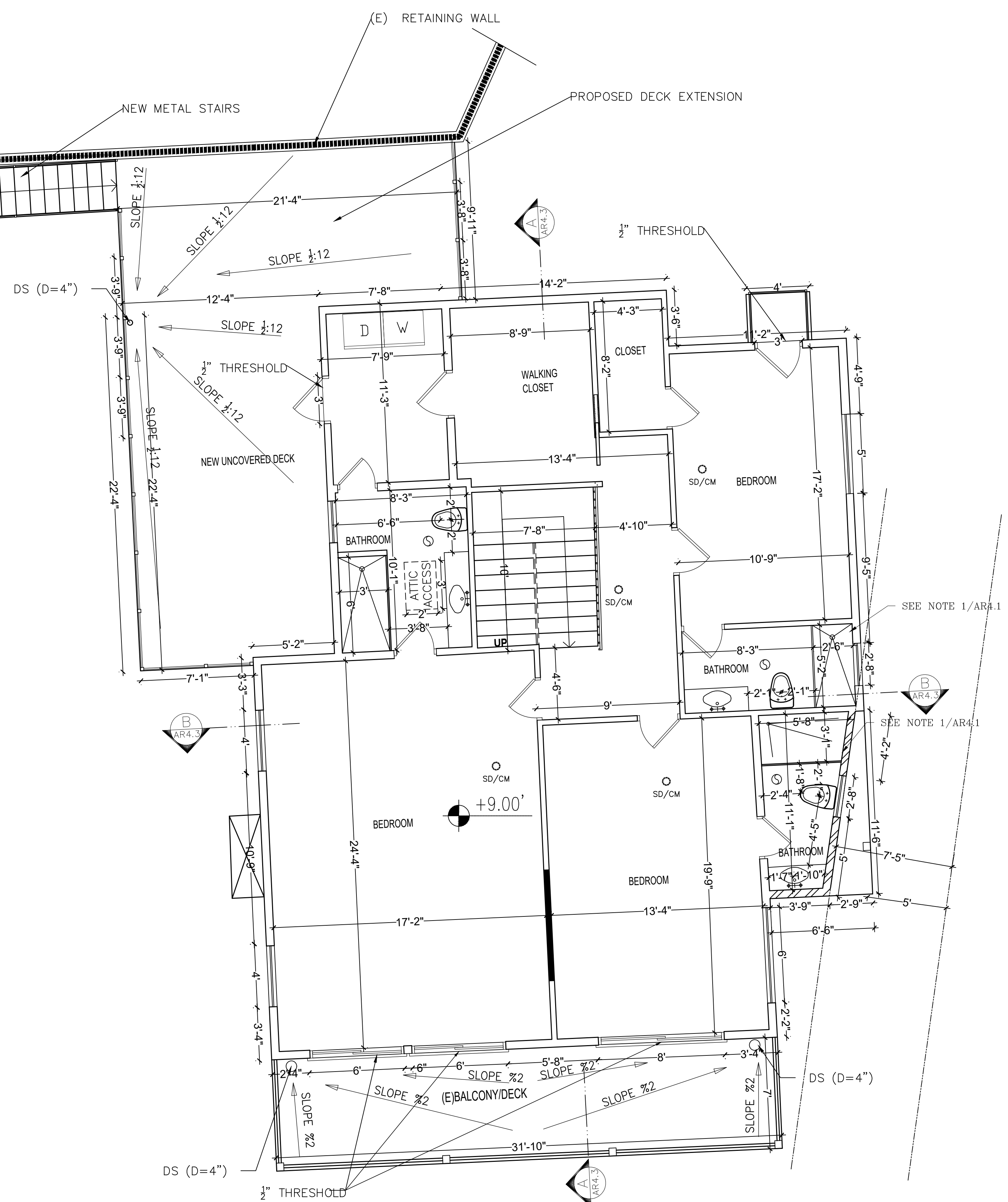
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 CA 91501  
 REMODELING AND ADDITION

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01	APPLICATION FOR PERMIT	08/14/24

DRAWING TITLE: <b>(N) FIRST AND SECOND FLOOR PLANS</b>	
PROJECT NO	2312-1402
SUB-PROJ #	2
LEAD ENGINEER	VAROIJAN NAZARIAN
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
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AUTHORIZED BY:	
FIELD:	ARCH
DATE:	02/14/24
DWG. NO.	112-DR-2-AR-4.1



**(N) FIRST FLOOR PLAN**  
 SC: 1/4"=1'



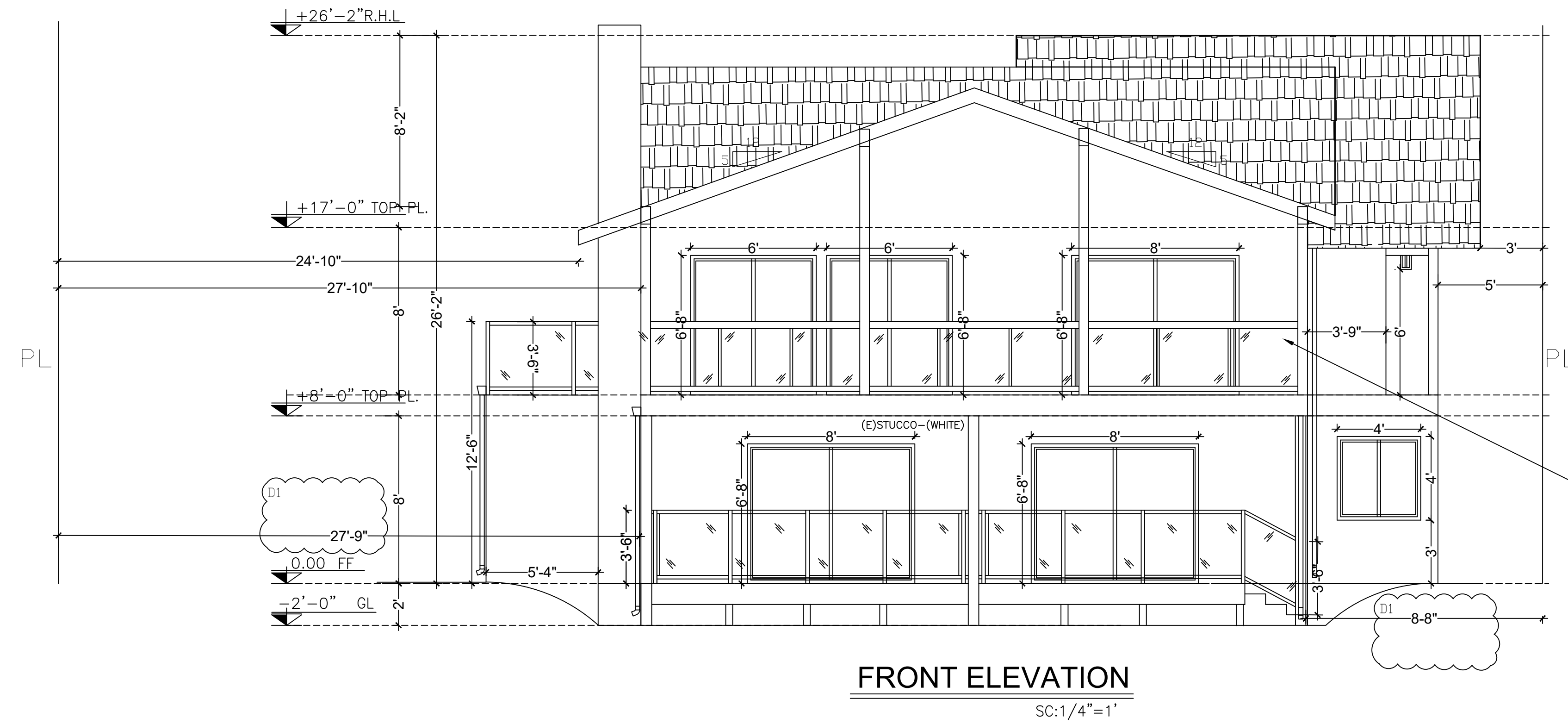
**(N) SECOND FLOOR PLAN**  
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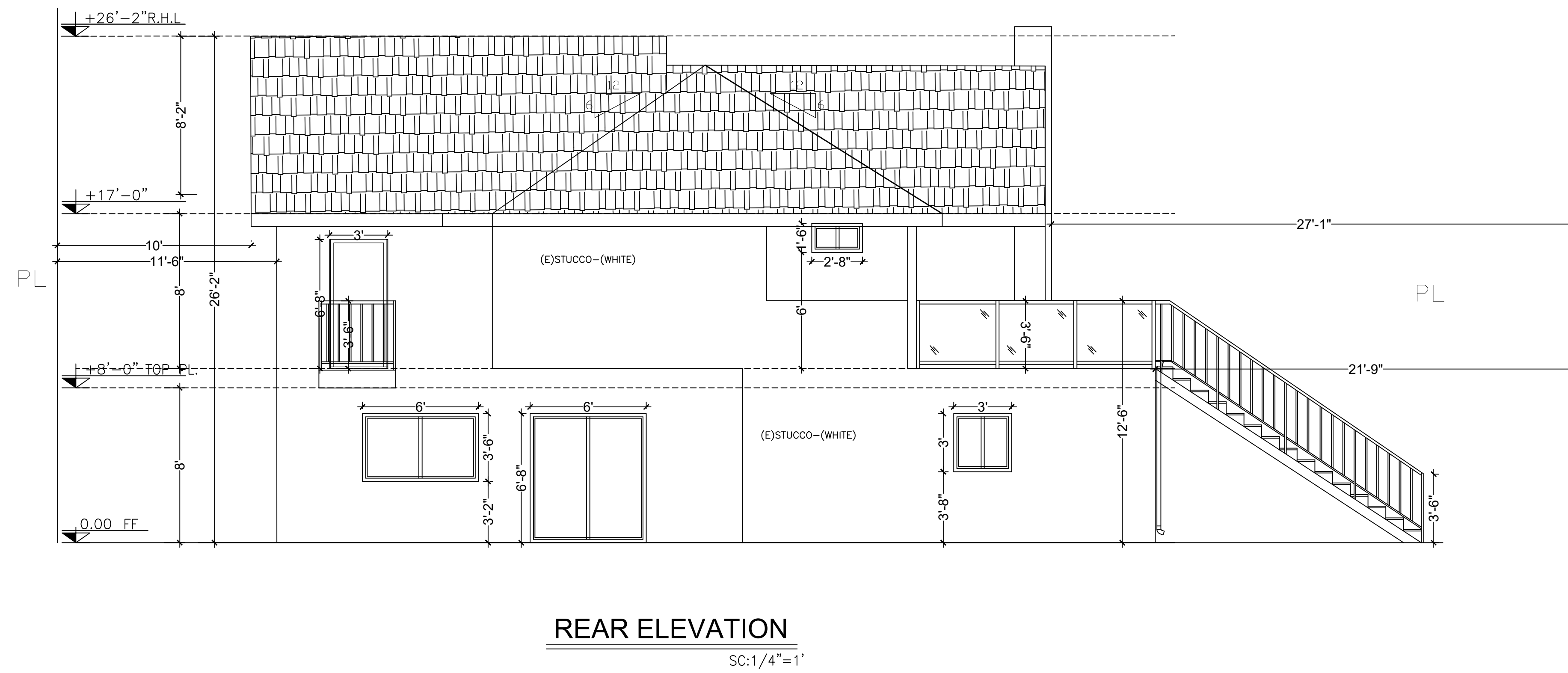


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GLASS RAILING  
 MANUFACTURER:  
 Q-RAILING USA CO.  
 ICC-ES EVALUATION  
 REPORT: ESR-4688

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 FRONT YARD STAIRS, FRONT  
 AND REAR DECKS' EXTENSION

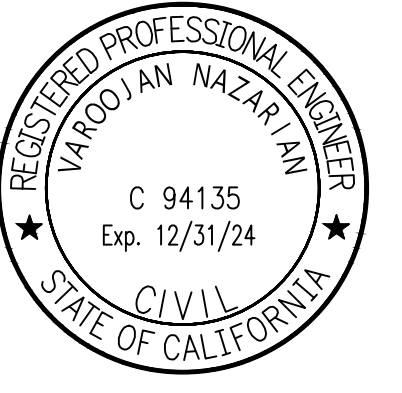


**LEGEND**  
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 PL PLATE  
 FF FIRST FLOOR  
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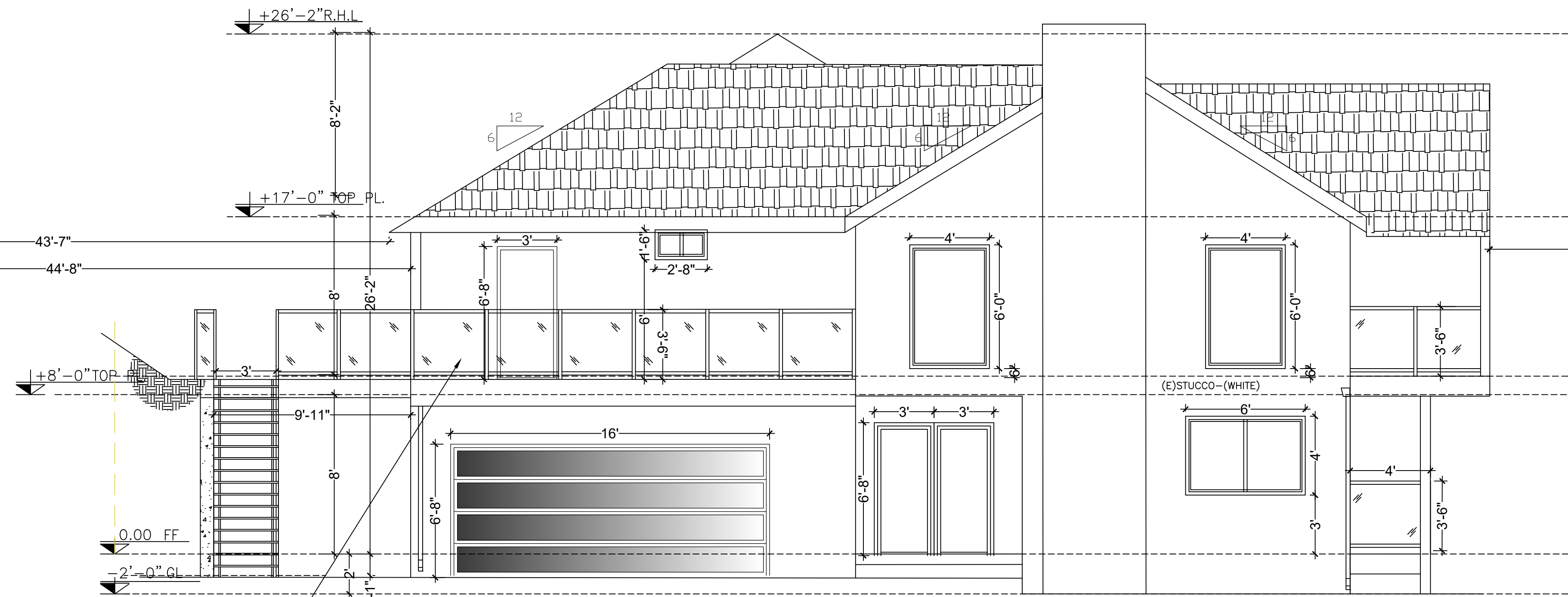
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FRONT AND REAR ELEVATIONS	
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SUB-PROJ #	2
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
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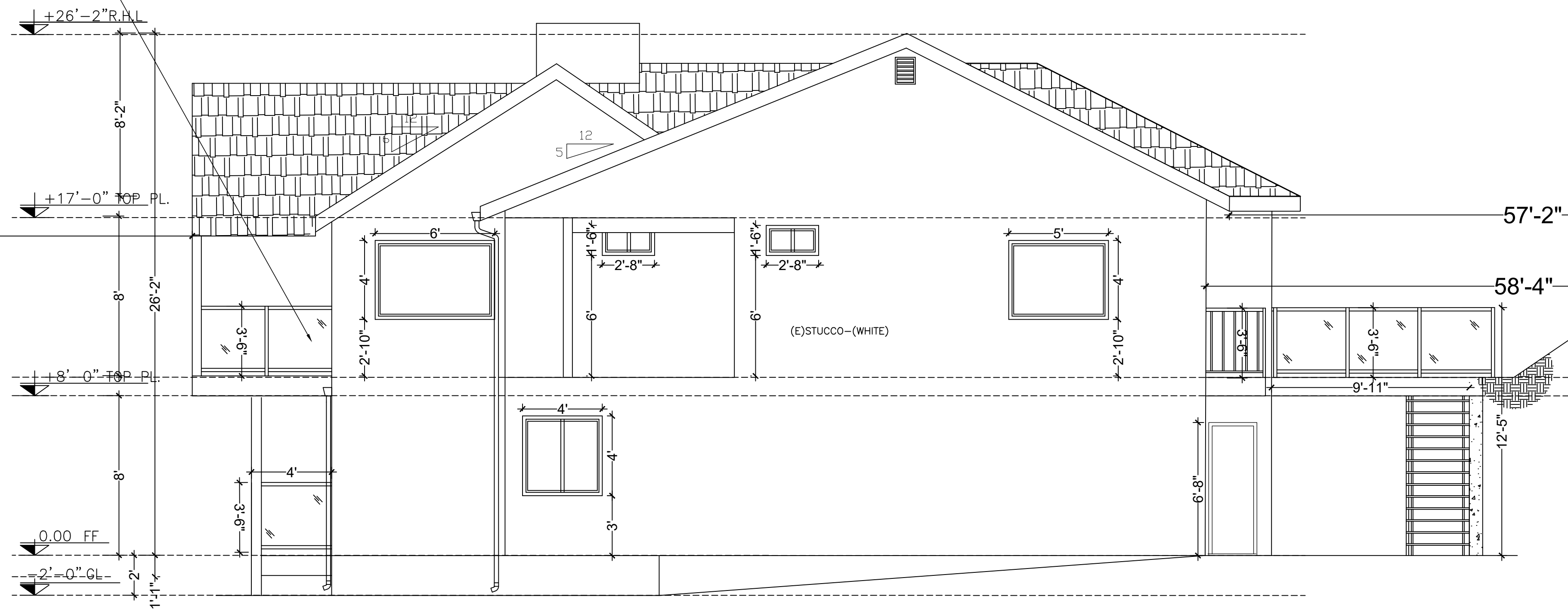
PROJECT TITLE:  
 MICHEL AZORIAN & SILVA NAZARIAN  
 1036 SHERLOCK DR BURBANK  
 CA 91501  
 FRONT YARD STAIRS, FRONT  
 AND REAR DECKS' EXTENSION



**LEFT ELEVATION**

SC:1/4"=1'

GLASS RAILING  
 MANUFACTURER:  
 Q-RAILING USA CO.  
 ICC-ES EVALUATION  
 REPORT: ESR-4688



**RIGHT ELEVATION**

SC:1/4"=1'

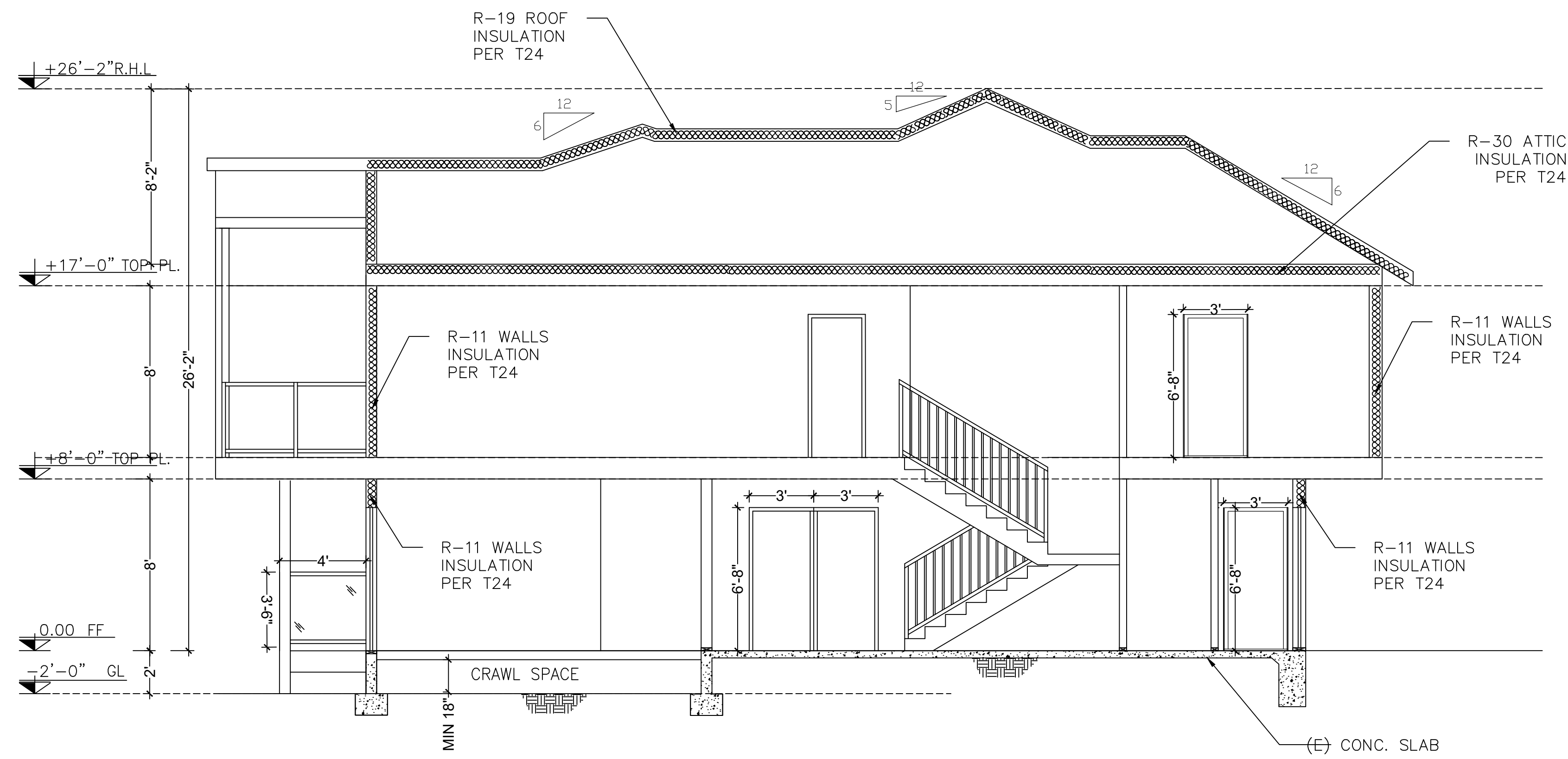
**LEGEND**

- R.H.L ROOF HIGHEST LEVEL
- PL PLATE
- FF FIRST FLOOR
- GL GRADE LEVEL

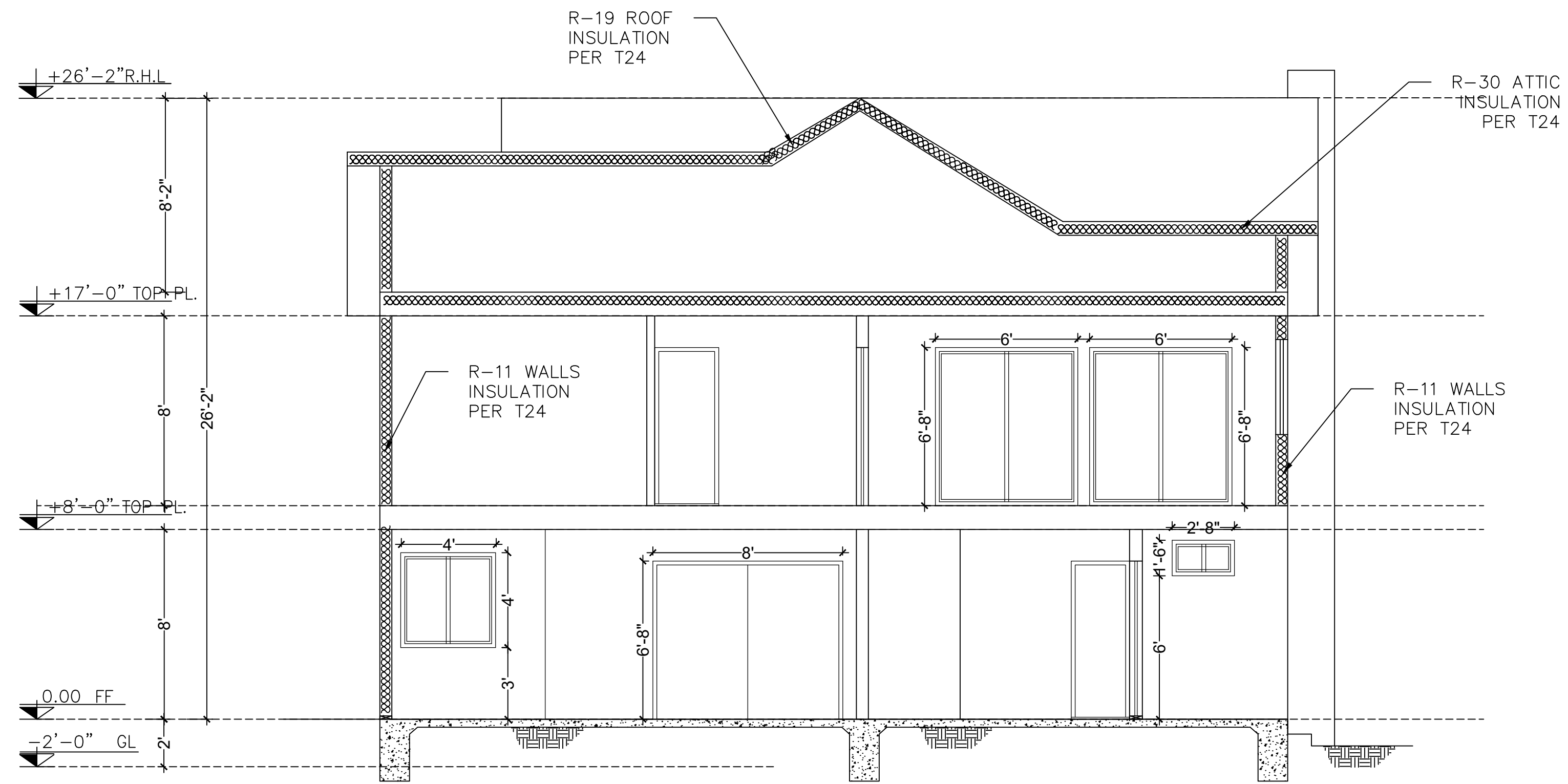
REVISION	DESCRIPTION	DATE
00	APPLICATION FOR PERMIT	08/14/24

DRAWING TITLE:	
LEFT AND RIGHT ELEVATIONS	
PROJECT NO	2312-1402
SUB-PROJ #	2
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	02/14/24
DWG. NO.	112-DR-2-AR-4.2.1





**SECTION A-A**  
SC: 1/4"=1'



**SECTION B-B**  
SC: 1/4"=1'



CIVIL/STRUCTURAL ENG. SERVICES  
Varoijan Nazarian, PE  
1132 Elm Ave Apt 106  
Glendale CA 91201  
tel 818-466-4911  
email Vaghooji3@yahoo.com

PROJECT TITLE:  
MICHEL AZORIAN & SILVA NAZARIAN  
1036 SHERLOCK DR BURBANK  
CA 91501  
REMODELING AND ADDITION

REVISION	DESCRIPTION	DATE
00	APPLICATION FOR PERMIT	02/18/24

DRAWING TITLE:	
SECTIONS	
PROJECT NO	2312-1402
SUB-PROJ #	1
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	02/14/24

DWG. NO.  
112-DR-2-  
AR-4.3



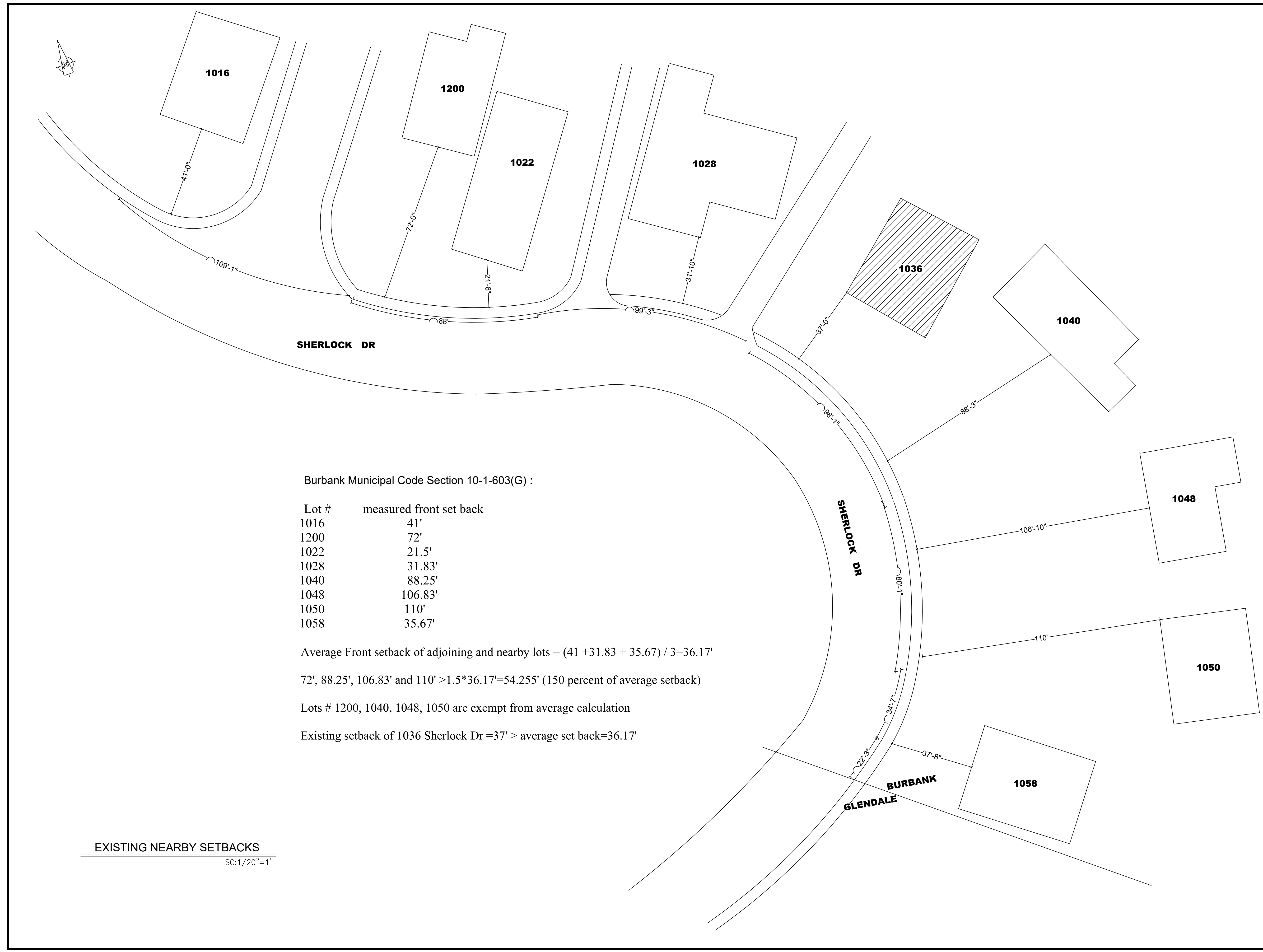


CIVIL/STRUCTURAL ENG. SERVICES  
 Varoijan Nazarian, PE  
 1132 Elm Ave # 106  
 Glendale CA 91201  
 tel 818-466-4911  
 email Vaghoji3@yahoo.com

PROJECT TITLE:  
 MICHEL AZORIAN & SILVA NAZARIA  
 1036 SHERLOCK DR BURBAN  
 CA 91501  
 FRONT YARD STAIRS, FRONT  
 AND REAR DECKS' EXTENSION

REVISION	DESCRIPTION	DATE
00	APPLICATION FOR PERMIT	05/02/24

DRAWING TITLE: Average Set Back	
PROJECT NO	2312-1402
SUB-PROJ #	1
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	05/02/24
DWG. NO.	112-DR-2-AR-5.1



Burbank Municipal Code Section 10-1-603(G) :

Lot #	measured front set back
1016	41'
1200	72'
1022	21.5'
1028	31.83'
1040	88.25'
1048	106.83'
1050	110'
1058	35.67'

Average Front setback of adjoining and nearby lots =  $(41 + 31.83 + 35.67) / 3 = 36.17'$

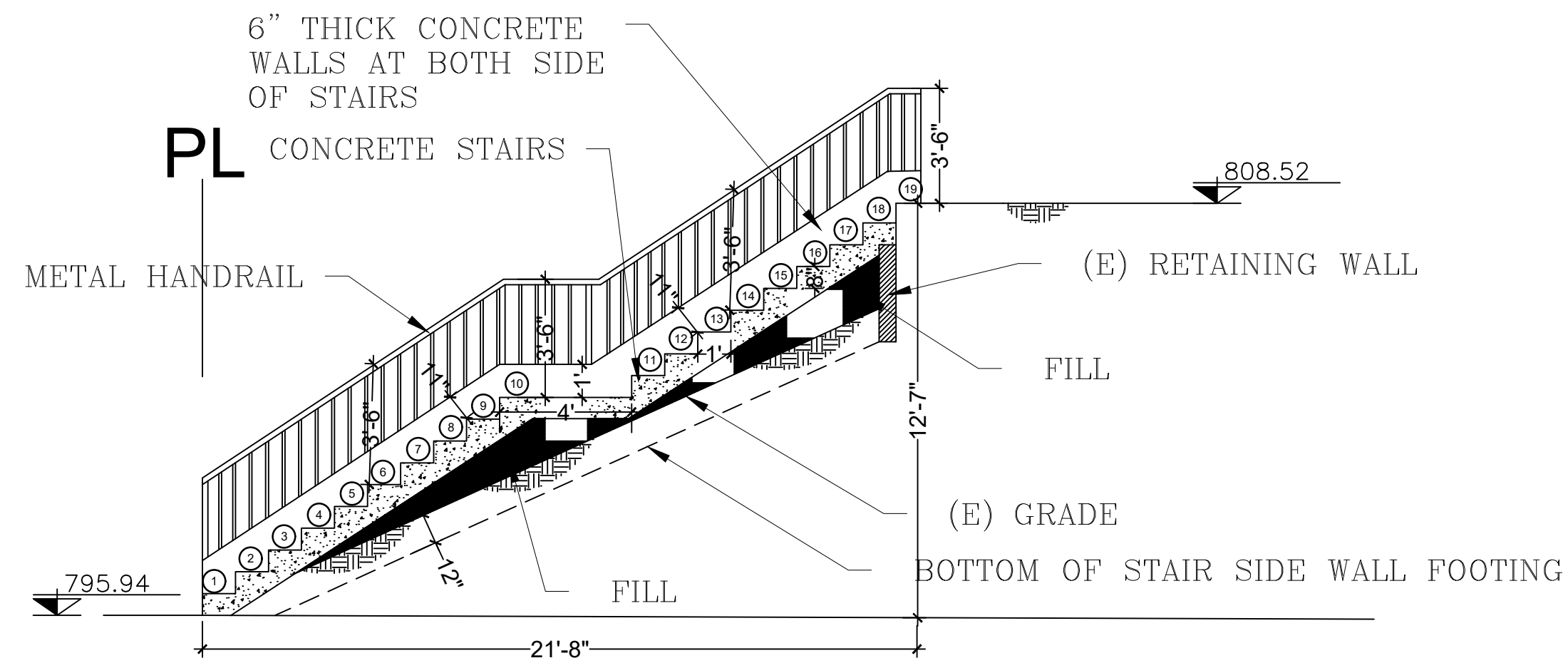
$72', 88.25', 106.83'$  and  $110' > 1.5 * 36.17' = 54.255'$  (150 percent of average setback)

Lots # 1200, 1040, 1048, 1050 are exempt from average calculation

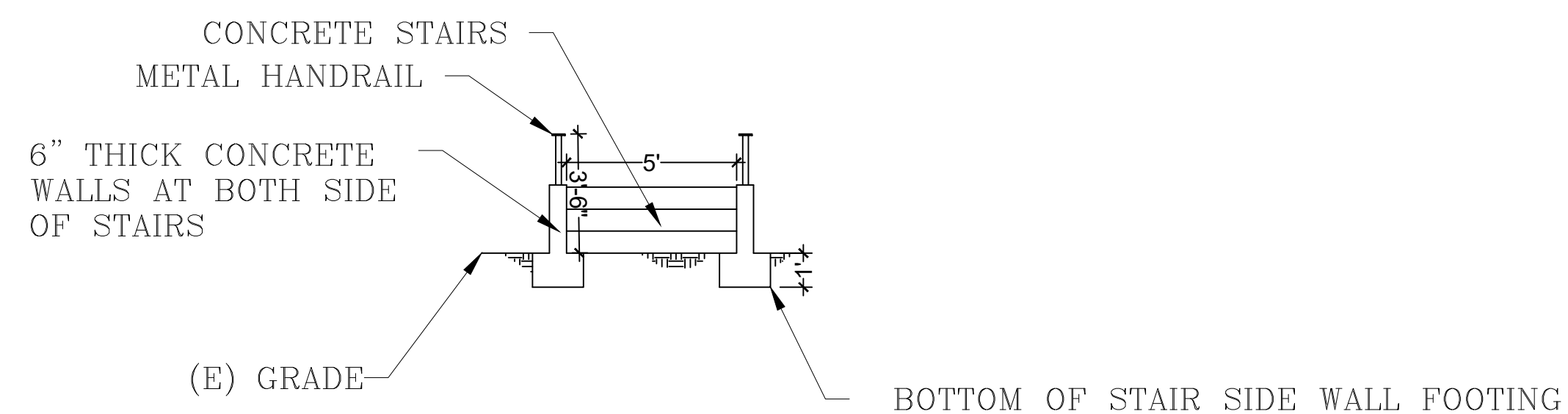
Existing setback of 1036 Sherlock Dr =  $37' >$  average set back =  $36.17'$

EXISTING NEARBY SETBACKS  
 SC:1/20"=1'



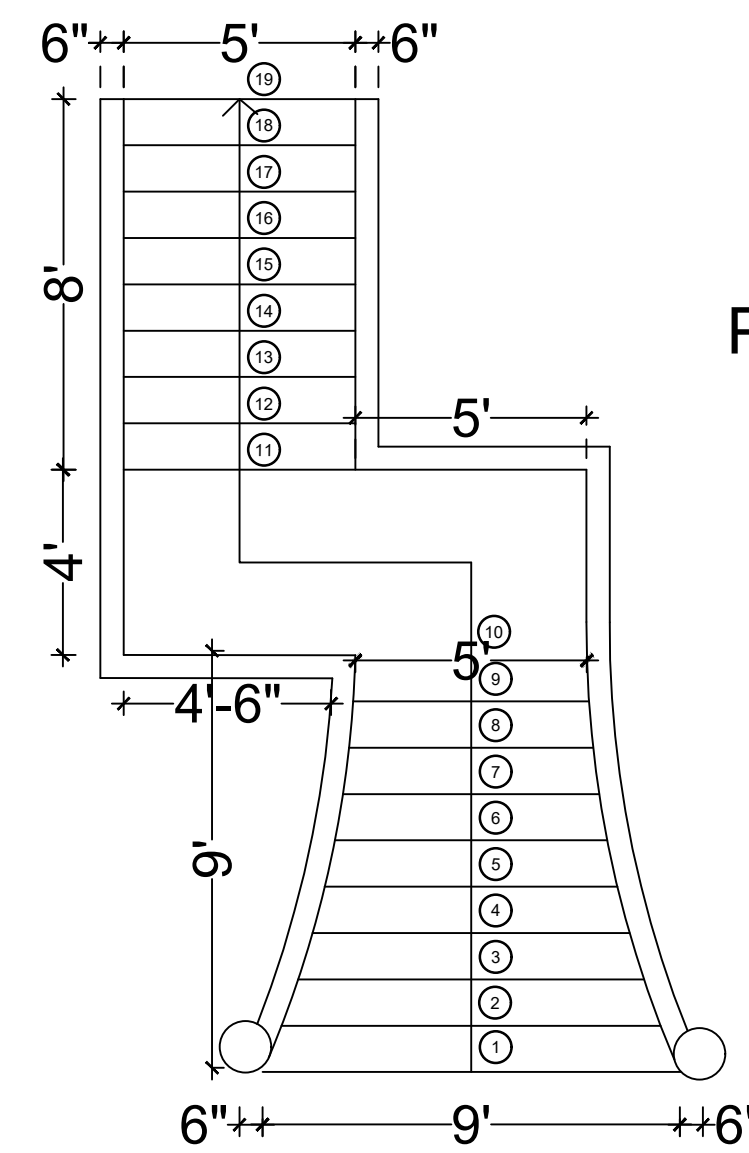


**PROPOSED FRONT YARD STAIRS LONGITUDINAL SECTION**  
 SC: 1/4" = 1'

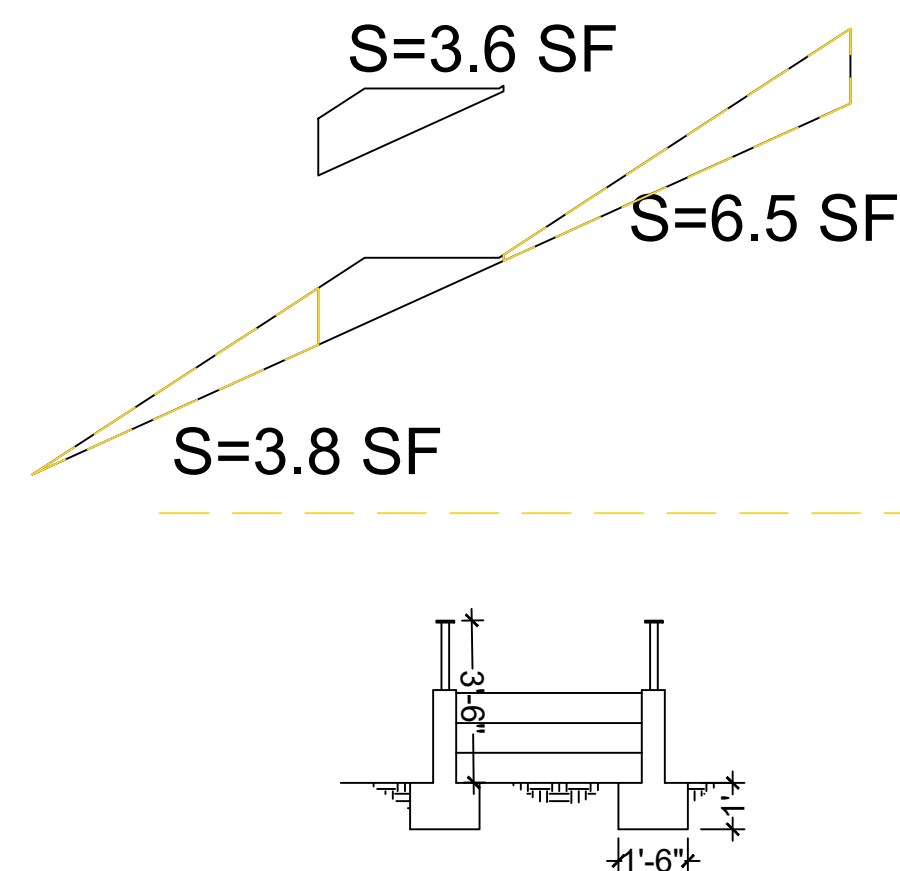


**PROPOSED FRONT YARD STAIRS TRANSVERSE SECTION**  
 SC: 1/4" = 1'

**CUT AND FILL CALCULATION**



**PROPOSED STAIRS**



TOTAL FILL =  $6.5 \times 5 + 3.8 \times 7 + 3.6 \times 4 = 73.5$  CF  
 TOTAL FILL =  $73.5 / 27 = 2.72$  CY

TOTAL CUT =  $2 \times (1 \times 1.5 \times 25) = 75$  CF  
 TOTAL FILL =  $75 / 27 = 2.78$  CY



CIVIL/STRUCTURAL ENG. SERVICES  
 Varoijan Nazarian, PE  
 1132 Elm Ave Apt 106  
 Glendale CA 91201  
 tel 818-466-4911  
 email Vaghooji3@yahoo.com

PROJECT TITLE:  
 MICHEL AZORIAN & SILVA NAZARIAN  
 1036 SHERLOCK DR BURBANK  
 CA 91501  
 FRONT YARD STAIRS, FRONT  
 AND REAR DECKS' EXTENSION

REVISION	DESCRIPTION	DATE
00	APPLICATION FOR PERMIT	02/14/24

DRAWING TITLE: FRONT YARD STAIRS SECTION/DETAIL	
PROJECT NO	2312-1402
SUB-PROJ #	1
LEAD ENGINEER	
DESIGN BY:	VAROIJAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	02/14/24
DWG. NO.	112-DR-2-AR-5.0





PLANNING DIVISION COMMENTS

DATE: 5/15/24  
TO: Varojoan Nazarian  
FROM: Eduardo Rendon, Planning Technician  
RE: Type of project: 24-000845  
Located at: 1036 Sherlock Drive

Planning Review – Hillside Development Review

Please address the following comments:

- 1) Provide the square footage of the proposed additions on the Proposed Site Plan including the rear deck, front deck and front yard staircase.
- 2) On the Proposed Site Plan and the Front and Rear Elevations add the distance from the side property line to the new front deck.

EDUARDO RENDON  
Planning Technician  
(818)928-5259 (Office) | erendon@burbankca.gov  
www.burbankca.gov

MEMORANDUM



DATE: May 21, 2024  
TO: Eduardo Rendon, Planning Tech.  
FROM: Public Works Engineering Division  
SUBJECT: Project No. 24-000845 – Hillside Development Permit  
(no Staff Meeting)  
Located at 1036 Sherlock Drive

**Project Description:** A request for a Hillside Development Permit application was submitted for review. The proposed project description includes the following scope of work: (1) Grade and construct a new 165 square feet of stairway area in the front yard; (2) Construct a new 92 square foot front deck; and (3) a new 212 square foot rear deck on an existing two-story single-family dwelling. The Project site is 10,844 square feet in lot area and located within the City's hillside area. The subject property is zoned R-1 (Single Family Residential). The Project site is developed with an existing 3,206 square foot two-story single-family dwelling with an attached two-car garage.

LAND DEVELOPMENT & PERMITS

General Requirements:

- No permanent structure is permitted in any public right-of-way or any public utility easements/pole line easements [BMC 7-3-701.1, BMC 9-1-2-3203].
- No building appurtenances for utility or fire service connections shall encroach or project into public right-of-way (i.e., streets and alleys). Locations of these appurtenances shall be shown on the building site plan and the off-site improvement plans [BMC 7-3-701.1].
- On-site drainage shall not flow across the public parkway (sidewalk) or onto adjacent private property. It should be conveyed by underwalk drains to the gutter



memorandum

DATE: May 13, 2024  
TO: Eduardo Rendon, Planning Technician (ext. 5280)  
FROM: Building Division  
SUBJECT: Project No. 24-000845 (Hillside Development Permit)  
Located at 1036 Sherlock Dr.

Based on the drawings submitted for this review, the following requirements apply to the project. Additional requirements will be included when complete drawings are submitted for Plan Check. The applicant and/or project designer is responsible for ensuring that all mandatory information required for permit issuance has been addressed on the plans.

**DEVELOPMENT REVIEW IS NOT A PLAN CHECK REVIEW.** Plan check review requires submittal of complete construction documents and calculations. Questions concerning existing, fire-resistance, and occupancy should be presented to the Building Division in writing accompanied by appropriate plans.

Please review the following comments.

1. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the 2022 edition of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards, including all intervening Code Cycles.
2. Plans and reports submitted for Plan Check Review are to be submitted electronically. For more information about the online submittal process, please contact the Building Division at 818-238-5220 or via email at [plancheck@burbankca.gov](mailto:plancheck@burbankca.gov).
3. All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.
4. All Departments that have provide Conditions of Approval are to review drawings and provide final approval via online electronic review, prior to issuance of Building Permit.

through the curb face or connected to a storm drain facility [BMC 7-1-117, BMC 7-3-102].

- Applicant shall protect in place all survey monuments (City, County, State, Federal, and private). Pursuant to California Business and Professions Code Section 8771, when monuments exist that may be affected by the work, the monuments shall be located and referenced by or under the direction of a licensed land surveyor or licensed civil engineer legally authorized to practice land surveying, prior to construction, and a corner record or record of survey of the references shall be filed with the county surveyor. A permanent monument shall be reset, or a witness monument or monuments set, to perpetuate the location if any monument that could be affected, and a corner record or record of survey shall be filed with the county surveyor prior to the recording of a certificate of completion for the project.

- Any work within the public right-of-way must be permitted and approved by the Public Works Department before construction can commence. All construction work in the public right-of-way must comply with Burbank Standard Plans and must be constructed to the satisfaction of the City Engineer. A Public Works EXCAVATION PERMIT is required. The excavation permit requires a deposit acceptable to the Public Works Director to guarantee timely construction of all off-site improvements. Burbank Standard Plans can be accessed at: <http://file.burbankca.gov/publicworks/OnlineCounter/main/index.htm>

The following must be completed prior to the issuance of a Building Permit:

- No construction material shall be placed within the public right-of-way without a "Street User" Permit issued by the Public Works Department.
- Plans should include easements, elevations, right-of-way/property lines, dedication, location of existing/proposed utilities and any encroachments.

For additional information or questions, please contact Anna Hartounian, Civil Engineering Associates, at (818) 238-3038.

Checked by: Anthony Roman Date: May 20, 2024

WATER RECLAMATION AND SEWER

Wastewater requirements:

- No comments.

Stormwater Requirements:

5. Separate Permits will be required for the following:
  - a. Demolition
  - b. Grading & Shoring
  - c. Architectural & Structural
6. Project lies within the City of Burbank Mountain Fire Zone.
  - a. All construction is required to meet Burbank Municipal Code 9-1-1-701A.1.1
7. A Civil plan is required showing the proposed changes to the site grading to accommodate the garage and driveway. Topographical contour lines are to be indicated, showing existing and proposed contours.
8. Grading and drainage plans may be required, and a separate Grading & Shoring Permit may be required. Geotechnical report to be submitted along with Grading & Shoring Permit Application.
9. Justify Floor Area Ratio per current Burbank Municipal Code 10-1-601 (ARTICLE 6. RESIDENTIAL USES AND STANDARDS)
10. Provide corrected Demolition Calculations (demolition calculations are based upon the length of walls, not the square footage of walls).
  - a. Total length of all walls to be demolished divided by all existing walls = Demolition Percentage.
  - b. Length of walls are to include interior and exterior walls, including openings, and any walls attached to existing structure.
11. The foundation shall comply with California Building Code Section 1808.7, for foundations on or adjacent to slopes. A soils report will be required.
12. A stamped setback certification by a Licensed Surveyor will be required to certify the location of the new construction in relation to the setbacks prior to the first foundation inspection.
13. New or Addition/Alteration construction projects within the City of Burbank are subject to MWELO review.
  - Full structure demolition and new construction are required to provide a full MWELO plan check set for review.
  - New or replacement landscape areas for residential and non-residential projects between 500 (new) and 2,500 (replacement) square feet requiring a building or landscape permit, plan check, or design review will be required to complete, either a Performance or Prescriptive Compliance Method. Full house demolition will require MWELO review, either prescriptive or performance, no exceptions.
14. A CFR energy report will be required, and design team is required to review and coordinate all values with those shown on Plans, Elevations, Sections, and Window Schedules.
15. The California Division of Mines and Geology Active Fault Near-Source Zones Map for Burbank indicates the city is within 2 km - 5 km of the Verdugo and Hollywood Faults.

- Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition, or commencement of construction until receipt of a certificate of occupancy [BMC 9-3-407].

- Certain construction and re-construction activities on private property will need to comply with post-construction Best Management Practices (BMPs), which include Sections 8-1-1007 and 9-3-414.D of the BMC authorizing the City to require projects to comply with the Standard Urban Stormwater Mitigation Plan provisions and the City's Low Impact Development (LID) ordinance. For questions on these requirements, please contact the City's Building Division at (818) 238-5220.

For additional information or questions, please contact Kenneth Kozovich at (818) 238-3932.  
Checked by: Stephen Walker Date: May 14, 2024

TRAFFIC ENGINEERING

General Requirements:

- No visual obstructions shall be erected or maintained in the 5' by 5' visibility cut-off above 3' high or below 10' high at the intersection of street/alley and driveway. Such requirement applies to all driveways [BMC 10-1-1303 (C)].

For additional information or questions, please contact Vikki Davlian, Principal Engineer – Traffic, at (818) 238-3922.

Checked by: Vikki Davlian Date: May 14, 2024

FIELD SERVICES

- No comments.

For additional information or questions, please contact Public Works Field Services at (818) 238-3800.

Checked by: John Molinar Date:

Structural design of construction projects must address the impact of the Near-Fault Zones.

16. Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit.

17. The City's mandatory Construction & Demolition Debris Diversion Ordinance requires the recycling and diversion of at least 65% of construction and demolition debris. A refundable deposit and non-refundable administrative fee will be collected prior to permit issuance. The Ordinance applies to all demolitions and to new construction, additions, remodels, renovation, tenant improvement and alteration projects over 500 square feet in scope of work.

18. Plans submitted for plan check must be stamped by State-licensed architect or engineer unless the project is one of the following listed below and complies with conventional light wood frame construction requirements in the CBC:

- Wood-framed, single-family dwellings not more than two stories in height;
- Wood-framed, multi-family dwellings not more than two stories in height, and limited to four dwelling units per parcel;
- Wood-framed, garages or accessory structures for single-family dwellings not more than two stories in height;
- Non-structural or non-seismic store fronts, interior alterations or additions.

19. A Building Permit may be issued to the Property Owner provided that the work is limited to:

- A single-family dwelling of wood frame construction not more than two stories and a basement in height.
- Garages or other structures appurtenant to single-family dwellings of wood frame construction not more than two stories and basement in height.
- Nonstructural or non-seismic alterations or additions.

20. Approved hours of construction are:  
Monday – Friday 7:00 am to 7:00 pm  
Saturday 8:00 am to 5:00 pm  
No construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.

2024  
PARKS AND RECREATION DEPARTMENT  
DEVELOPMENT REVIEW COMMITTEE

LOCATION: 1036 Sherlock Dr. PROJECT: 2104586  
DESCRIPTION: Hillside Deck Extension DATE: 2024

1	Park Development Fee shall be paid prior to issuance of building permits: \$150/bedroom. N/A
2	X \$150.00 – 50
3	Street trees required and Street Tree Required if Removed - N/A
4	Street trees to remain: N/A
5	Revise plans to include the following street trees: Contact Forestry for list of approved street trees. Street Trees are required. All street trees shall be a minimum of 24" box size. Trees in grass shall be installed with Arbor Guards.
6	Add note on planting plan: Owner to install the street trees, they must contact the Forestry Supervisor, at (818) 238-5343, at least forty-eight (48) hours prior to installation. Failure to contact the City for inspection and installation may cause the removal and replacement at the owner's expense.
7	Tree wells required. N/A
8	Provide irrigation bubbler to street trees. - N/A
9	Provide automatically controlled irrigation system to the parkway. YES
10	Remove existing street trees: NO FEE: _____
11	Contact Forestry Services at (818) 238-5343 for removal fee. Must comply with Art in Public Places Ordinance if building costs are over \$500,000 Additional Comment – NO park comments
12	

For additional information contact the Parks and Recreation Department at (818) 238-5300.

Approved: Michael del Campo  
Assistant Director  
Parks and Recreation Department



BURBANK FIRE DEPARTMENT

Memorandum

TO: Eduardo Rendon  
FROM: Dave Burke, Fire Marshal  
By: David King  
DATE: 5/21/2024  
RE: 1036 Sherlock Drive Project No. 24-000845

ALL NOTED INFORMATION PERTAINING TO THE PROPOSED PROJECT SHALL BE SHOWN ON PLANS SUBMITTED AS PART OF THE FIRE DEPARTMENT REVIEW FOR APPROVAL.

While there are no significant fire code requirements for this project, the owner and the owner's architect and/or contractor are responsible for ensuring compliance with all applicable provisions of the life-safety codes. Failure to cite a specific code requirement in this preliminary document does not relieve the applicant of such responsibility.

All items review are based on information provided at time of review. The comments provided do not limit or relieve the owner and the owner's architect and/or contractor from the responsibility of ensuring compliance with all applicable provisions of fire life safety codes. Such compliance may include but are not limited to fire department access for fire fighting, including fire department vehicle access, fire water supplies and appurtenances. Further reviews may require additional requirements or businesses as the project develops and is not limited to the requirements provided in these comments.

NOTE: All references are in accordance with the 2022 Edition of the California Fire Code (CFC) and the California Building Code (CBC) as amended by the Burbank Municipal Code (BMC).

ALL NOTED INFORMATION PERTAINING TO THE PROPOSED PROJECT SHALL BE SHOWN ON PLANS SUBMITTED AS PART OF THE FIRE DEPARTMENT REVIEW FOR APPROVAL.

For additional information or questions contact the Assistant Fire Marshal or Fire Marshal at (818) 238-3473.



CIVIL/STRUCTURAL ENG. SERVICES  
Varojoan Nazarian, PE  
1132 Elm Ave # 106  
Glendale CA 91201  
Tel: 818-466-4911  
email: [Varojoan@VNAoo.com](mailto:Varojoan@VNAoo.com)

PROJECT TITLE:  
MICHEL AZORIAN & SILVA NAZARIAN  
1036 SHERLOCK DR BURBANK  
CA 91501  
FRONT YARD STAIRS, FRONT  
AND REAR DECKS' EXTENSION

REVISION	DESCRIPTION	DATE
DO	APPLICATION FOR PERMIT	05/25/24

DRAWING TITLE:	
COMMENTS	
PROJECT NO	2312-1402
SUB-PROJ #	1
LEAD ENGINEER	
DESIGN BY:	VAROJOAN NAZARIAN
DRAWN BY:	
CHECKED BY:	
AUTHORIZED BY:	
FIELD:	ARCH
DATE:	05/25/24
DWG. NO.	112-DR-2-AR-6.0



**LEGAL DESCRIPTION:**

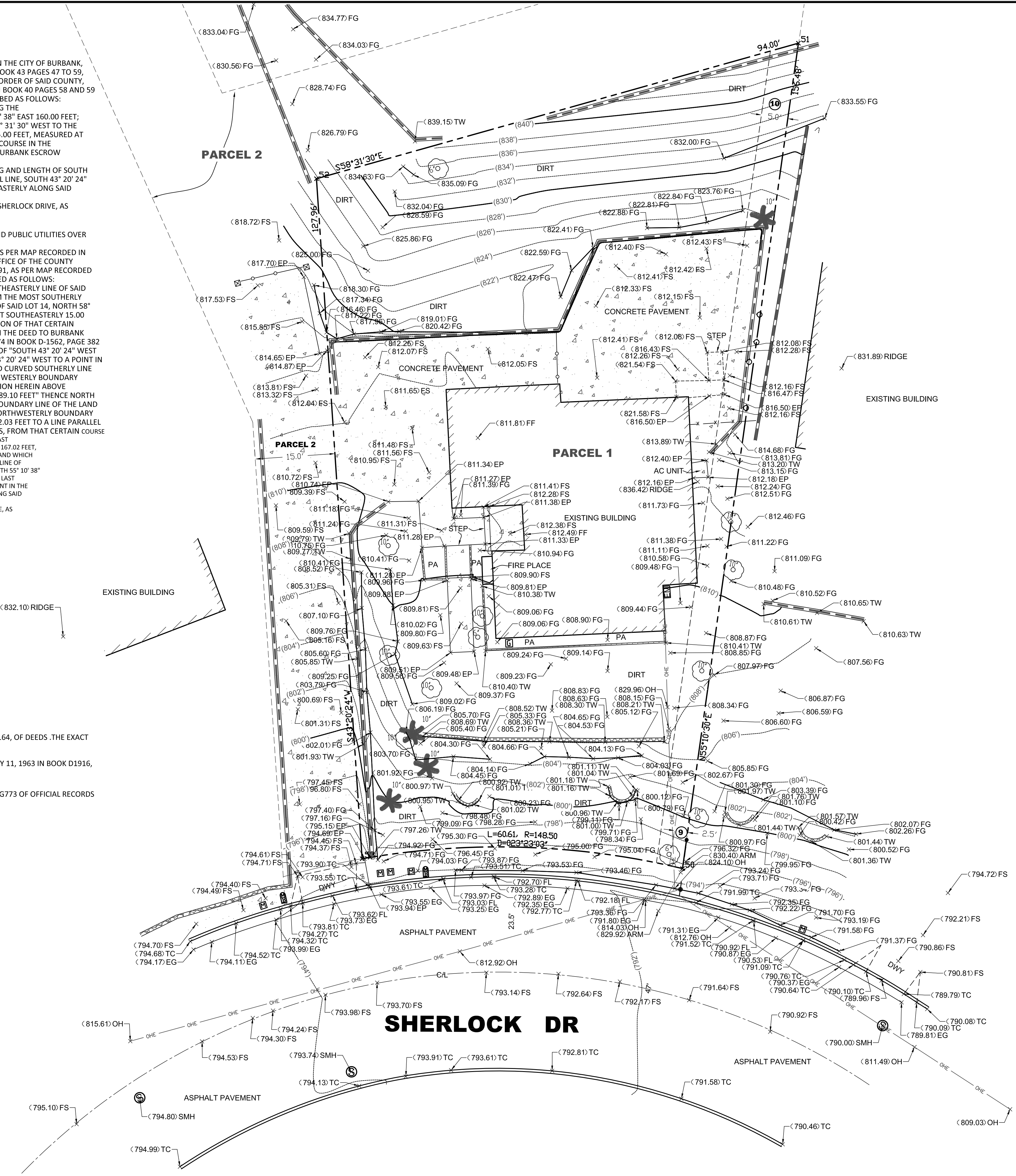
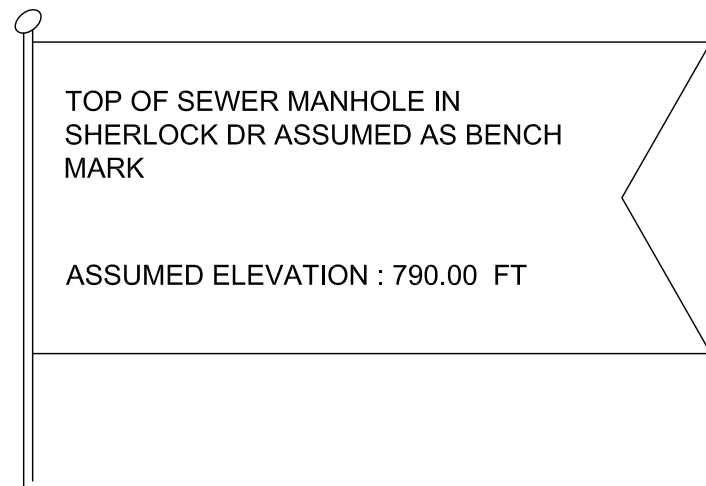
PARCEL 1:  
 THAT PORTION OF BLOCK 125 OF RANCHO PROVIDENCIA AND SCOTT TRACT, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGES 47 TO 59, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THAT PORTION OF LOT 14 OF TRACT NO. 3691, AS PER MAP RECORDED IN BOOK 40 PAGES 58 AND 59 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 14; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID LOT 14 AND ITS PROLONGATION, NORTH 55° 10' 38" EAST 160.00 FEET; THENCE PARALLEL WITH THE NORTHEASTERLY LINE OF SAID LOT 14, NORTH 58° 31' 30" WEST TO THE INTERSECTION WITH A LINE PARALLEL WITH AND DISTANT, SOUTHEASTERLY 15.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE NORTHEASTERLY PROLONGATION OF THE CERTAIN COURSE IN THE NORTHWESTERLY BOUNDARY LINE OF THE LAND DESCRIBED IN THE DEED TO BURBANK ESCROW CORPORATION, RECORDED APRIL 9, 1962 AS INSTRUMENT NO. 574 IN BOOK D-1562, PAGE 382 OF OFFICIAL RECORDS OF SAID COUNTY, AS HAVING A BEARING AND LENGTH OF SOUTH 43° 20' 24" WEST 29.10 FEET; THENCE ALONG SAID LAST MENTIONED PARALLEL LINE, SOUTH 43° 20' 24" WEST TO A POINT IN THE CURVED SOUTHERLY LINE OF SAID LOT 14; THENCE EASTERLY ALONG SAID CURVED SOUTHERLY LINE TO THE POINT OF BEGINNING. EXCEPT THE SOUTHWESTERLY 3.5 FEET OF SAID LOT 14, WITHIN THE LINES OF SHERLOCK DRIVE, AS WIDENED.

PARCEL 2:  
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS, SANITARY SEWER AND PUBLIC UTILITIES OVER THE FOLLOWING DESCRIBED LAND:  
 THAT PORTION OF BLOCK 125 OF RANCHO PROVIDENCIA AND SCOTT TRACT, AS PER MAP RECORDED IN BOOK 43, PAGE 47 TO 59, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THAT PORTION OF LOT 14 OF TRACT NO. 3691, AS PER MAP RECORDED IN BOOK 40, PAGES 58 AND 59 OF MAPS, RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 14, THAT IS DISTANT THEREON NORTH 55° 10' 38" EAST 160.00 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 14; THENCE PARALLEL WITH THE NORTHEASTERLY LINE OF SAID LOT 14, NORTH 58° 31' 20" WEST TO THE INTERSECTION WITH A LINE PARALLEL WITH AND DISTANT SOUTHEASTERLY 15.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE NORTHEASTERLY PROLONGATION OF THAT CERTAIN COURSE IN THE NORTHWESTERLY BOUNDARY LINE OF THE LAND DESCRIBED IN THE DEED TO BURBANK ESCROW CORPORATION, RECORDED APRIL 9, 1962 AS INSTRUMENT NO. 574 IN BOOK D-1562, PAGE 382 OF OFFICIAL RECORDS OF SAID COUNTY, AS HAVING A BEARING AND LENGTH OF "SOUTH 43° 20' 24" WEST 89.10 FEET"; THENCE ALONG SAID LAST MENTIONED PARALLEL LINE, SOUTH 43° 20' 24" WEST TO A POINT IN THE CURVED SOUTHERLY LINE OF SAID LOT 14; THENCE WESTERLY ALONG SAID CURVED SOUTHERLY LINE TO THE SOUTHWESTERLY TERMINUS OF THAT CERTAIN COURSE IN THE NORTHWESTERLY BOUNDARY LINE OF THE LAND DESCRIBED IN SAID DEED TO BURBANK ESCROW CORPORATION HEREIN ABOVE DESCRIBED AS HAVING A BEARING AND LENGTH OF "SOUTH 43° 20' 24" WEST 89.10 FEET" THENCE NORTH 43° 20' 24" EAST 89.10 FEET TO AN 2 ANGLE POINT IN THE NORTHWESTERLY BOUNDARY LINE OF THE LAND DESCRIBED IN SAID DEED; THENCE CONTINUING ALONG SAID LOS ANGELES, NORTHWESTERLY BOUNDARY LINE, NORTH 23° 03' 50" EAST 235.00 FEET; THENCE SOUTH 14° 42' 08" 36" EAST 22.03 FEET TO A LINE PARALLEL WITH AND DISTANT SOUTHEASTERLY 20.00 FEET, MEASURED AT RIGHT ANGLES, FROM THAT CERTAIN COURSE LAST HEREIN ABOVE DESCRIBED AS HAVING A BEARING AND LENGTH OF NORTH 23° 03' 50" EAST 235.00 FEET; THENCE ALONG SAID LAST MENTIONED PARALLEL LINE, SOUTH 23° 03' 50" WEST 167.02 FEET, MORE OR LESS, TO A LINE THAT IS PARALLEL WITH THE NORTHEASTERLY LINE OF SAID LOT 14 AND WHICH PASSES THROUGH A POINT IN THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 14, SAID LAST MENTIONED POINT BEING DISTANT ALONG SAID PROLONGATION NORTH 55° 10' 38" EAST 22.10 FEET FROM THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE ALONG SAID LAST MENTIONED PARALLEL LINE, SOUTH 58° 31' 30" EAST 115.67 FEET, MORE OR LESS TO SAID POINT IN THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 14; THENCE ALONG SAID PROLONGATION, SOUTH 58° 10' 38" WEST 22.10 FEET TO THE POINT OF BEGINNING. EXCEPT THE SOUTHWESTERLY 3.5 FEET OF SAID LOT 14, WITHIN THE LINES OF SHERLOCK DRIVE, AS WIDENED. APN NO.5618017-012

**EASEMENT :**

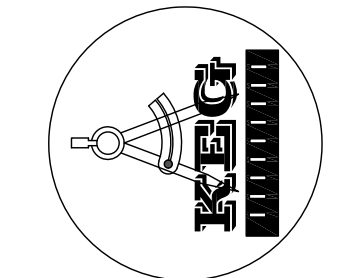
- ⑥ EASEMENT FOR IRRIGATION DITCHES OR PIPE RECORDED IN BOOK, 2541, PG164, OF DEEDS .THE EXACT LOCATION OF SAID EASEMENT CANNOT BE DETERMINED .
- ⑨ EASEMENT FOR GUY WIRES, BRACES AND ANCHORS, RECORDED IN FEBRUARY 11, 1963 IN BOOK D1916, PG760 OF OFFICIAL RECORDS. (POTTED HEREON)
- ⑩ EASEMENT FOR POLE LINE RECORDED IN MARCH 12, 1964 IN BOOK D2392, PG773 OF OFFICIAL RECORDS PLOTTED HEREON

**BENCHMARK**



**LEGEND**

- AC = ASPHALT CONCRETE
  - BLDG= BUILDING
  - BW = BACK OF WALK
  - CB = CATCH BASIN
  - CL = CENTERLINE
  - CF = CURB FACE
  - CLF = CHAIN LINK FENCE
  - CONC= CONCRETE
  - DWY = DRIVEWAY
  - EG = EDGE OF GUTTER
  - ELEC= ELECTRIC
  - EP = EDGE OF PAVEMENT
  - FF = FINISHED FLOOR
  - FG = FINISHED GRADE
  - FW = FRONT OF WALK
  - FL = FLOW LINE
  - FS = FINISHED SURFACE
  - GM = GAS METER
  - GV = GAS VALVE
  - NG = NATURAL GROUND
  - PA = PLANTER AREA
  - TC = TOP OF CURB
  - TW = TOP OF WALL
  - WF = WALL FACE
  - OH = OVER HEAD WIRE
  - GA = GUY ANCHOR
  - FP = FIRE PLACE
  - PD = PARKWAY DRAIN
  - RRT =RAILROAD TIE
  - TPP =TOP OF PARAPET
- FIRE HYDRANT
  - MAIL BOX
  - TREE- SIZE IN INCHES
  - 22" OAK TREE SIZE IN INCHES
  - PALM TREE SIZE IN INCHES
  - SEWER MAINT HOLE
  - SIGN
  - ELECTRIC METER
  - CATCH BASIN
  - GAS VALVE
  - GUY WIRE
  - POWER POLE
  - WATER METER
  - GAS METER
  - SPOT ELEVATION
  - OVER HEAD WIRE
  - WOOD FENCE
  - CHAIN LINK FENCE
  - WROUGHT IRON FENCE
  - RETAINER STONE WALL
  - RETAINER CONCRETE BLOCK WALL
  - BOUNDARY LINE
  - CONCRETE PAVEMENT
  - ASPHALT PAVEMENT
  - BRICK PAVEMENT



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PREPARED FOR  
**VAROOUJAN NAZARIAN**

**TOPOGRAPHY SURVEY**  
 1036 SHERLOCK DR, BURBANK, CA 91501

DATE: 06/26/2023  
 SCALE: 1" = 10'

SHEET NO.  
**TS-1**  
 SHEET 1 OF 1

