

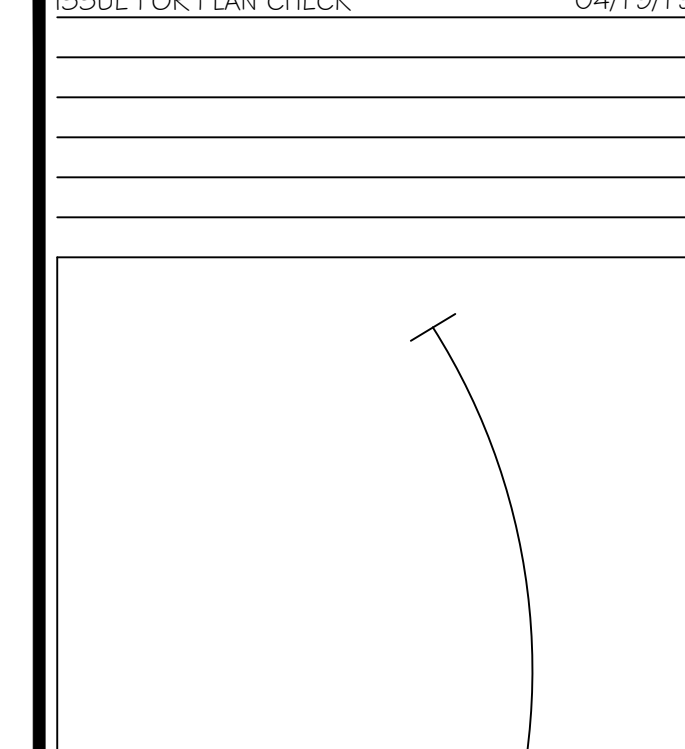
FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT OF ALL DISCREPANCIES IN WRITING.
- IMPORTANT NOTICE: TOTAL FLOOR LAYOUT TO BE INITIALLY CHALK DRAWN TO MATCH DRAWING DIMENSIONS BY THE G.C. TO CHECK FOR FLOOR PLAN DIMENSIONAL DISCREPANCIES BROUGHT ON BY EXISTING BUILDING MEASUREMENTS. THIS IS TO BE DONE PRIOR TO ANY LANE OR PARTITION WORK, PLUMBING LINES AND ELECTRICAL WORK CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- HEIGHT OF TENANT METAL STUD WALLS TO BE TIGHT TO BOTTOM OF STRUCTURAL STEEL MEMBERS OR METAL ROOF/FLOOR DECK U.N.O. REFER TO FRAMING PLANS, WALL DETAILS AND REFLECTED CEILING PLANS.
- PROVIDE SOUND ATTENUATION BATT INSULATION IN ALL STUD WALLS FOR OFFICES, AND TOILET ROOMS.
- PROVIDE TYPICAL CONTROL JOINTS IN ALL GYPSUM BOARD BULKHEADS AT 30'-0" MAX SPACING.
- PROVIDE MOISTURE RESISTANT GYP. BOARD AT ALL TOILET ROOM WALLS, AND LOCATIONS THAT ARE TO RECEIVE WALL TILE OR FRP WALL FINISH, UNLESS NOTED OR SPECIFIED OTHERWISE.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
- METAL FABRICATIONS - HANDRAILS: PROVIDE STEEL HANDRAILS DESIGNER'S & FABRICATED TO BE CAPABLE OF WITHSTANDING CONCENTRATED & UNIFORM LOADS AS SPECIFIED BY THE LOCAL BUILDING CODE. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- GENERAL TRADES CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING IN STUD WALLS TO ANCHOR HANDRAILS, ACCESSORIES, AND HARDWARE.
- REFER TO ROOM FINISH SCHEDULE FOR FINAL WALL FINISH TO BE APPLIED OVER BASE WALL MATERIALS AS INDICATED ON THIS PLAN.
- SEAL ALL WALL PENETRATIONS - SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION; SEE PENETRATION DETAILS ON A2.5.
- VERIFY KNOX BOX LOCATIONS AND TYPES WITH LOCAL FIRE DEPARTMENT (IF REQUIRED).
- PROVIDE DEFLECTION TRACK FOR 1 1/2" MOVEMENT AT TOP OF STUD WALLS THAT EXTEND TO BOTTOM OF DECK. REFER TO DETAILS A8.1.1.
- DOORS ADJACENT TO WALLS BUT NOT DIMENSIONED ARE LOCATED 4" FROM FACE OF ADJACENT WALL.
- PROVIDE HORIZONTAL METAL CLOSURE AT TOP OF FURRING AT ALL LOCATIONS WHERE SHEATHING IS NOT INSTALLED TO ROOF DECK TO GLOSE OFF SPACES AT TOP OF FURRING.
- G.C. SHALL PROVIDE CONSTRUCTION AND INSTALLATIONS THAT COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF MANUFACTURER'S INSTRUCTIONS AND FINAL SHOP DRAWINGS.
- ALL RAMP SLOPES SHALL NOT EXCEED ONE FOOT IN 12 FEET.
- ALL OUTSIDE CORNERS OF GYPSUM BOARD WALLS TO HAVE BRUSHED ALUMINUM CORNER GUARDS INSTALLED AT 4'-0" A.F.F. UNLESS SPECIFICALLY NOTED 'NO CORNER GUARD'. SEE DETAIL 14/A2.2.
- CONTRACTOR SHALL FURNISH AND INSTALL OCCUPANT LOAD SIGNS AS REQUIRED BY THE BUILDING CODE. SIGNS SHALL BE POSTED AT REQUIRED LOCATIONS BEFORE COMPLETING PROJECT.
- PROVIDE TACTILE EXIT SIGNS AT ALL EXTERIOR EXIT DOORS. PROVIDE TACTILE SIGNS AT ALL RESTROOMS. REFER TO A1.1 FOR TYPICAL SIZE AND LOCATIONS.
- RELOCATION OF ANY EXISTING BUILDING SYSTEMS AND REPAIR OF ROOF SYSTEM MUST BE WORK CONTRACTED THROUGH LANDLORD'S CONTRACTOR AT TENANT'S EXPENSE. COORDINATE REQUIRED TENANT WORK WITH LANDLORD'S OPERATIONS MANAGER.
- PATCH AND REPAIR EXISTING COLUMN WRAPS AND EXISTING WALLS AS REQUIRED TO BE 'LIKE NEW'. VERIFY UPON PRE-BID. EXTENT OF ANY FURRING OR PATCHING REQUIRED AT EXISTING WALLS TO BE INCLUDED IN BID.
- PATCH AND REPAIR EXISTING WALLS AS REQUIRED AND PROVIDE A LEVEL 4 FINISH.

FLOOR PLAN LEGEND

- NEW WALL, SEE SHEET A8.1
- WALL WITH INSULATION
- 1 HR. FIRE PARTITION, SEE SHEET A8.1
- DOOR SYMBOL, SEE DOOR SCHEDULE, A8.1
- WINDOW SYMBOL, SEE WINDOW SCHEDULE, A9.1
- SHADED AREA 'NOT IN SCOPE'
- CROSS HATCH INDICATES FLOOR FRAMING CAVITY FILLED WITH BATT INSULATION FOR FIRE BLOCKING. FLOOR FRAMING AND SUBFLOOR IN BOWLING AREA BY BOWLING VENDOR.

PROGRESS SET 01/25/19
ISSUE FOR PLAN CHECK 04/19/19



HOUSTON TYNER
Architecture
Interior Design

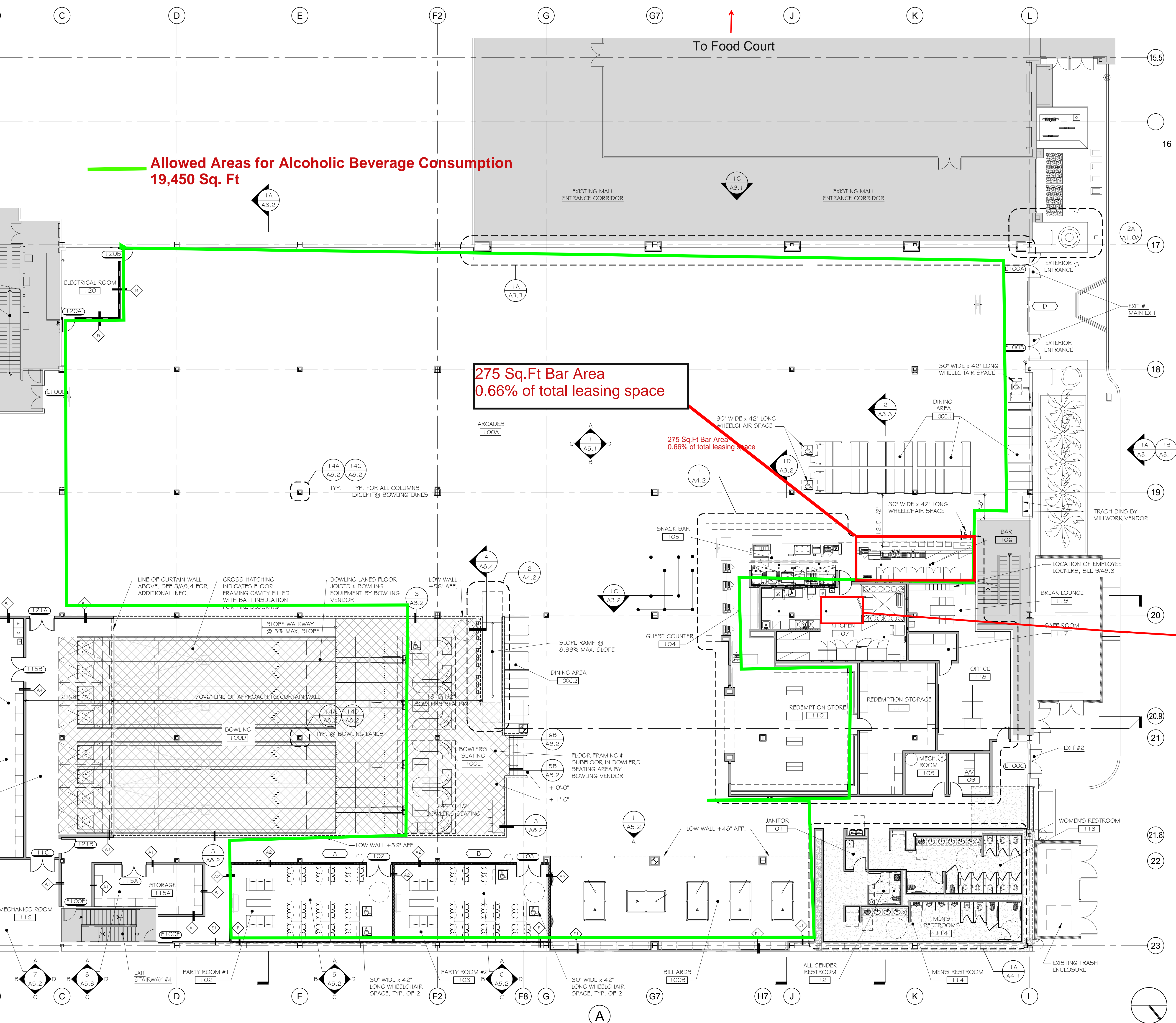
2630 Sepulveda Blvd.
Torrance
California
90505
TEL 310 326-3050
FAX 310 326-8805

Alcohol Cage/
Storage Area

ROUND 1
BOWLING &
AMUSEMENT
201 East Magnolia Blvd.
Burbank, CA 91502

TENANT IMPROVEMENT
FLOOR PLAN

A2.1
Path I:_PROJ\RD1 E17-0\1\DWGS

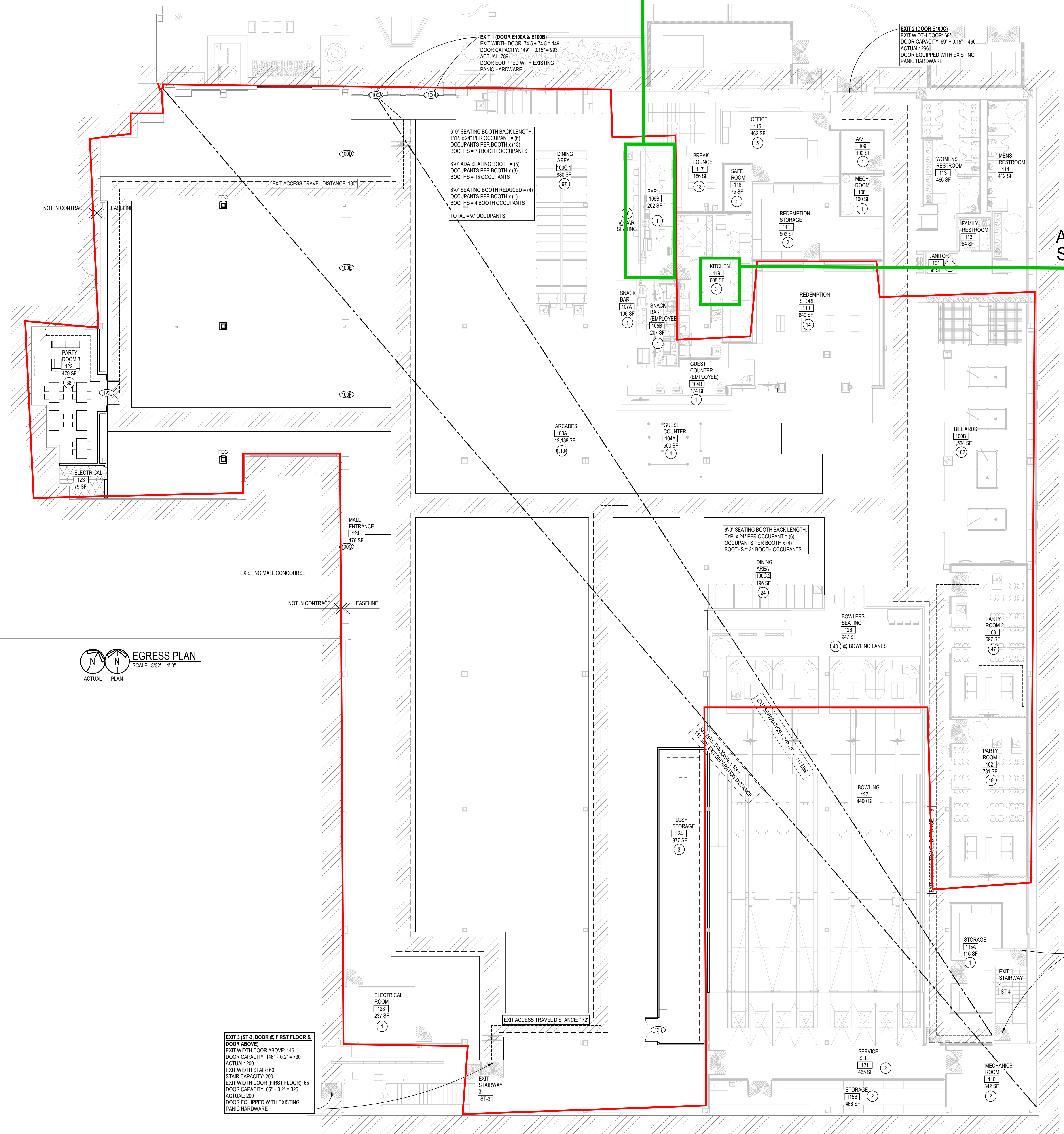


STAIR TO EXIT VESTIBULE AT THIRD FLOOR
SCALE: 3/32"=1'-0"

STAIR TO CORRIDOR & EXIT VESTIBULE AT SECOND FLOOR
SCALE: 3/32"=1'-0"

Allowed Areas for Alcoholic Beverage Consumption
25,266 Sq. Ft

275 Sq. Ft. Bar Area
0.57% of total leasing space



LIFE SAFETY LEGEND

[Symbol]	44" MIN EGRESS AISLE
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FIRE EXTINGUISHER LEGEND AND NOTES

SYMBOL	DESCRIPTION
FE	FIRE EXTINGUISHER, ON WALL MOUNTING BRACKET WITH RETAINING STRAP
FE-K	UL RATED FIRE EXTINGUISHER, ON WALL MOUNTING BRACKET WITH RETAINING STRAP
FE-C	FIRE EXTINGUISHER - IN CABINET

NOTES:

- CONTRACTOR TO VERIFY FINAL TYPES, SIZES, AND LOCATIONS OF FIRE EXTINGUISHERS WITH LOCAL FIRE AUTHORITIES
- TOP OF FIRE EXTINGUISHER MOUNTING BRACKET TO BE 3'-4" A.F.F.
- CONTRACTOR TO PROVIDE ALL FIRE EXTINGUISHERS AND RELATED SIGNAGE
- REFER TO FLOOR PLAN FOR FIRE EXTINGUISHER LOCATIONS

CHAPTER 10 - Means of Egress

Section 1004 - Occupant Load

Table 1004.5 Maximum Floor area allowances per occupant

LOWER LEVEL Location	Area (SF)	load factor	Occupants
Assembly A-2 Areas			
Party Room 1	731	15	49
Party Room 2	697	15	47
Party Room 3	667	15	39
Seating Areas (net)	880+196		97+24
Kitchen (gross)	608	200 gross	3
Assembly A-3 Areas			
Come Room	12,138	11	1104
Bowling Lanes:	(8) Lanes/ 5 people per lane		40
Billiards:	1524	15	102
Mercantile			
Redemption Store:	840	60	14
Business			
Office:	462	100	5
Employee Lounge/breakroom:	186	15	13
Guest Counter:	500	150	4
Bar:	112	15	16
Snack Bar:	106	150	1
Guest Counter, Bar, Snack Bar (Employee Side)	643	300	3
Storage 115A	116	300	1
Storage 115B	466	300	2
Redemption Storage:	506	300	2
Plush Storage	877	300	3
Mechanic's Room	342	300	2
Electrical Room	237	300	1
Mech. Room	100	300	1
AV	100	300	1
Janitor	38	300	1
Electrical 123	79	300	1
Safe Room	75	300	1
Service Isle	465	300	2
TOTAL OCCUPANCY			1578

REQUIRED MAIN EXIT LOAD

Design Load / 2 = 1578 / 2 = 789 Occupants
Main Exit Width Required = 789 x .15 = 118.35
Main Exit Width Provided = 2 @ 74.5" = 149"

REQUIRED ADDITIONAL EXIT LOAD

Design Load / 2 = 1578 / 2 = 789 Occupants
Additional Exit Width Required = 789 x .15 = 118.35
Additional Exit Width Provided = 66" + 66" + 132" = 264"

(*) NOTES:

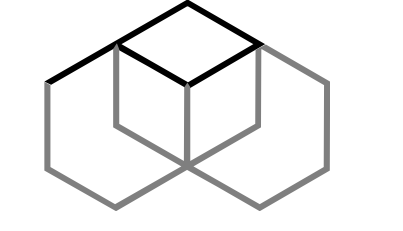
- UNLIKE A LARGE ASSEMBLY ROOM WHERE THE OCCUPANTS MAY UTILIZE THE ENTIRE FLOOR AREA, OUR GAME ROOMS HAVE LARGE FIXED GAMES THAT CANNOT BE OCCUPIED BY A PERSON. WE CALCULATED THE GAME ROOM OCCUPANT LOAD CALCULATIONS BASED ON THIS PRINCIPLE.
GROSS FLOOR AREA (ARCADE): 18,654 (EXIST) S.F. + 5,621 (NEW) S.F. = 24,275 S.F.
UNOCCUPIED (ARCADE) AREA: 24,275 S.F. x 50% FLOOR UNOCCUPIED = 12,137.5 S.F.
NET FLOOR AREA (ARCADE): 12,137.5 S.F.
- ESTIMATED GAME TOTAL BY TENANT. THE OCCUPANT LOAD WOULD ACCOUNT FOR EVERY GAME BEING ABLE TO BE PLAYED/OCCUPIED AT THE SAME TIME.

EXACT LOCATION OF CABINET AND BRACKET MOUNTED FIRE EXTINGUISHERS TO BE APPROVED BY LOCAL FIRE OFFICIAL. PROVIDE TYPE "K" EXTINGUISHERS (U.A.O.)

RECESSED CABINET & EXTINGUISHER
BRACKET MOUNTED EXTINGUISHER
BRACKET MOUNTED TYPE "K" EXTINGUISHER

FIRE PROTECTION EGRESS NOTES:

- G.C. IS RESPONSIBLE FOR PROVIDING A COMPLETE FIRE ALARM SYSTEM PER CODE. EXPAND AND/OR THE NEW SYSTEM REQUIREMENTS TO THE EXISTING SYSTEM IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS FOR COMPLETE PROTECTION OF THE BUILDING OCCUPANTS. SUPERVISION SHALL INCLUDE, BUT NOT BE LIMITED TO DIRECT TRANSMISSION OF ALARMS TO A UL LISTED CENTRAL STATION. REFER TO ELECTRICAL DRAWINGS. PROVIDE SMOKE DETECTORS AS REQUIRED.
- G.C. IS RESPONSIBLE FOR PROVIDING A FIRE SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT STANDARDS FOR COMPLETE PROTECTION OF THE BUILDING OCCUPANTS. NOTE: EXISTING FIRE SPRINKLER SYSTEM IS PRESENT. SUB CONTRACTOR SHALL FIELD VERIFY EXISTING SYSTEM LAYOUT AND REUSE EXISTING MAIN LINES AND DISTRIBUTION LINES WHERE POSSIBLE.
- CONTRACTOR SHALL PAY ALL FEES, SECURE ALL PERMITS, AND HAVE ALL SHOP DRAWINGS APPROVED BY FIRE DEPARTMENT AND ARCHITECT BEFORE STARTING ANY BUILDING CONSTRUCTION. SPRINKLER SYSTEM SHALL MEET N.F.P.A. 13 AND ALL LOCAL CODES AND ORDINANCES.
- G.C. IS RESPONSIBLE FOR PROVIDING COMPLETE SHOP DRAWINGS AND HYDRAULIC CALCULATIONS BY A LICENSED SPRINKLER ENGINEER FOR THE AUTOMATIC SPRINKLER SYSTEM FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT PRIOR TO STARTING THE INSTALLATION FEE FOR THESE SERVICES SHALL BE INCLUDED IN BID.
- G.C. TO PROVIDE PLAN AND SPECIFICATIONS FOR THE FIRE ALARM SYSTEM SUBMITTED BY A LICENSED FIRE ALARM CONTRACTOR FOR REVIEW AND APPROVAL BY FIRE DEPARTMENT PRIOR TO STARTING THE INSTALLATION INCLUDING THE RUNNING OF ANY CONDUIT OR WIRING.



PARADIGM DESIGN
ARCHITECTS | ENGINEERS

Grand Rapids | Phoenix | Traverse City
www.paradigm.com

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
ROUND 1
BURBANK
EXPANSION

TENANT EXPANSION

201 EAST MAGNOLIA BLVD.
BURBANK, CA 91502

CLIENT
ROUND 1
ENTERTAINMENT

3070 SATURN ST. STE 200
BREA, CA 92821

RELEASE DATE

DATE	DESCRIPTION
Date 1	Revision 1

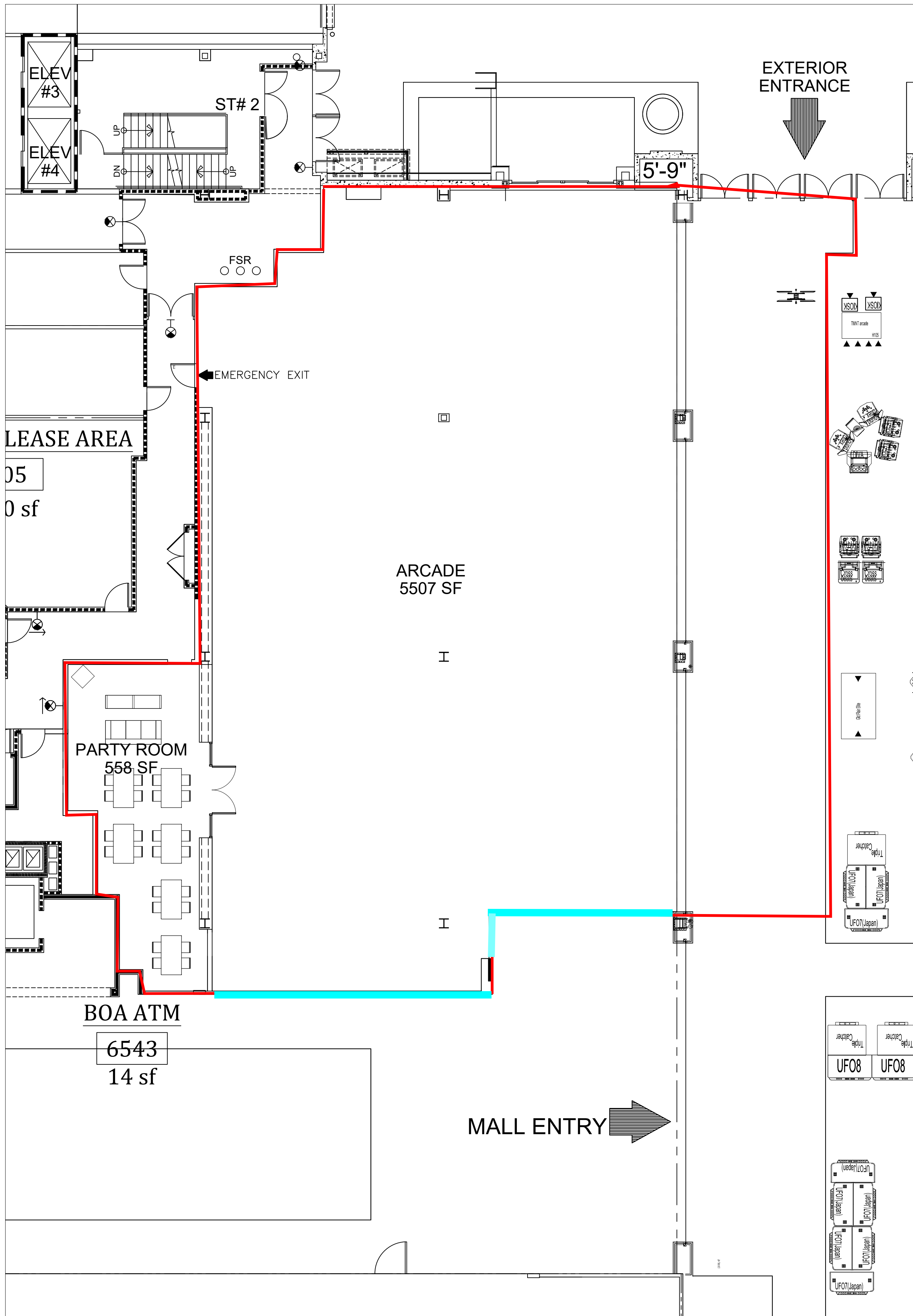
PROJECT

221151GR

SHEET

EGRESS PLAN

G-101



ROUND 1 - BURBANK EXPANSION

6,218 SF

PLAN VERSION	2					
OWNER PLAN APPROVAL						
1ST REVISION ISSUED	CEO	COO	VP of OPERATIONS	DEVELOPMENT	AMUSEMENT	EVENTS & ACTIVITIES
08-16-23						
FINAL APPROVAL DEADLINE						
09-20-23						