

# THORNTON AVE EXPANSION

3311 THORNTON AVE.,  
BURBANK CALIFORNIA 91504



**PLANNING SUBMISSION SET**  
**DATE 1/16/2024**

## SHEET INDEX

### ARCHITECTURAL

- A0.1 TITLE SHEET
- A0.1a PROJECT DATA
- A0.5 OCCUPANCY AND EGRESS PLAN
- A0.5a MEZZANINE OCCUPANCY AND EGRESS PLAN
- A1.1 EXISTING SITE PLAN
- A1.1a SITE PLAN
- A1.1b EXISTING CONDITIONS PHOTOS
- A1.1c RENDERS
- A1.1d ELEVATIONS
- A1.1e MATERIAL PALETTE
- A2.1 FLOOR PLAN
- A2.2 MEZZANINE PLAN
- A3.1 ROOF PLAN
- A4.1 EXTERIOR ELEVATIONS
- A5.0 BUILDING SECTIONS
- A5.1 ENLARGED ELEVATION, PLAN AND WALL SECTIONS
- A5.4 ENLARGED PLAN
- A7.1 SITE DETAILS
- A7.1a SITE DETAILS

ARCHITECTURAL SHEET COUNT: 19

### LANDSCAPE

- L0.1 SHEET INDEX AND NOTES
- L1.1 PRELIMINARY LANDSCAPE PLAN
- L2.1 HYDROZONE PLAN
- L3.1 SHADE PLAN
- L4.1 PLANT IMAGERY

LANDSCAPE SHEET COUNT: 5

### CIVIL

- C1 GRADING AND UTILITY PLAN

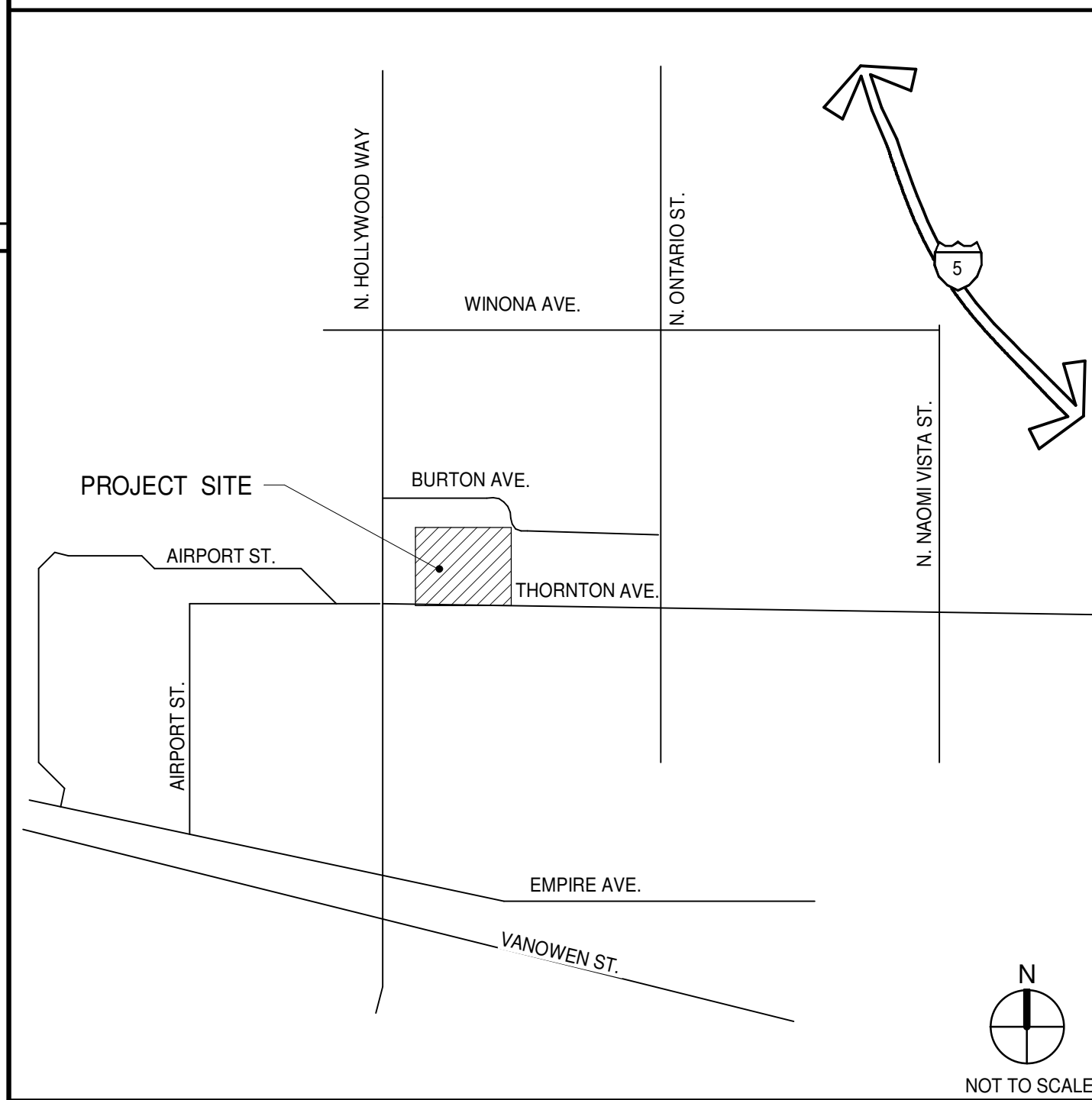
CIVIL SHEET COUNT: 1

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ARCHITECTURE CIVIL ENGINEERING  
PLANNING BRANDS BUILDING MEASUREMENT  
915 Wilshire Blvd., Suite #1450  
Los Angeles, CA 90017  
P 310.903.4000

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**THORNTON AVE  
EXPANSION**  
3311 THORNTON AVE.,  
BURBANK CALIFORNIA 91504

### VICINITY MAP



### OWNER

**WORTHE REAL ESTATE GROUP**  
100 WILSHIRE BLVD, SUITE 1600  
SANTA MONICA, CA 90401  
PRIMARY CONTACT: JADEN ROBBINS  
PH: (310) 393-9553  
EMAIL: jaden@worthe.com

### ARCHITECT

**WARE MALCOMB**  
915 WILSHIRE BLVD, SUITE 2150  
LOS ANGELES, CA 90017  
P 310.903.4000  
PRIMARY CONTACT: MELANI DANNENBERG  
PH: (310)903-4000 x1216  
EMAIL: mdannenber@waremalcomb.com

### OWNER'S CONSULTANTS

**CIVIL ENGINEER**  
PSOMAS  
5 HUTTON CENTRE DR, SUITE 300  
SANTA ANA, CA 92707  
NELSON RIVERA  
PH: (661) 705-4449  
nelson.rivera@psomas.com

**GEO TECHNICAL ENGINEER**  
GEO TECHNOLOGIES, INC.  
439 WESTERN AVE.  
GLENDALE, CA 91201  
VASILY DUNAIEV  
PH: (618) 240-9600

### ARCHITECT'S CONSULTANTS

**LANDSCAPE ARCHITECT**  
RIDGE LANDSCAPE ARCHITECTS  
8841 RESEARCH DR, SUITE 200  
IRVINE, CA 92618  
JIAO YANG  
PH: (949) 387 1323  
jiao@ridgela.com

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 SOUTH FIGUEROA ST., 18TH FL  
LOS ANGELES, CA 90017  
HENRY CHAN  
PH: (323) 793-6673  
henry.chan@englerkirk.com

**MEP ENGINEER**  
RTM ENGINEERING CONSULTANTS  
5137 UTICA RIDGE RD  
DAVENPORT, IA 52807  
COURTNEY LEAF  
PH: (563) 293-1689  
courtney.leaf@rtmec.com

### SCOPE OF WORK

NEW INDUSTRIAL COLD DARK SHELL BUILDING SIZED 72,080 SF TO BE III-B CONSTRUCTION WITH S-1/B OCCUPANCY. RELATED SITE IMPROVEMENTS INCLUDING TRUCK COURTS AND AUTO PARKING.  
ACCESSORY EXTERIOR STRUCTURES ARE PROVIDED FOR TRASH ENCLOSURE AND TRANSFORM PAD.  
PROJECT INCLUDES A PERMITTER FENCE AND GATES TO SECURE THE PROPERTY.  
PROJECT WILL HAVE CONCRETE PANELS ARTICULATED THROUGH PAINT AND RELIEFS. STREET CORNERS ARE EMPHASIZED WITH STOREFRONT AND PAINTED METAL PANEL OVERCLADS.  
ROOF WILL BE A PANELIZED SYSTEM WITH MEMBRANE ROOFING, MECHANICAL EQUIPMENT, SKYLIGHTS AND PV PANELS WILL BE ON THE ROOF.  
BUILDING WILL INCLUDE MARKINGS AND LIGHTNING IN ACCORDANCE TO FAA ADVISORY CIRCULAR 707460-1 M, OBSTRUCTION MARKING AND LIGHTNING, RED LIGHTS - CHAPTERS 4, 5 (RED), & 15.

DATE	REMARKS
1/16/2024	Planning Package Planning Submission

**PAPH:** M.DANNENBERG  
**DRAWN BY:** M.I.E.S.  
**JOB NO.:** LAX21-0108-00

SHEET  
**A0.1**



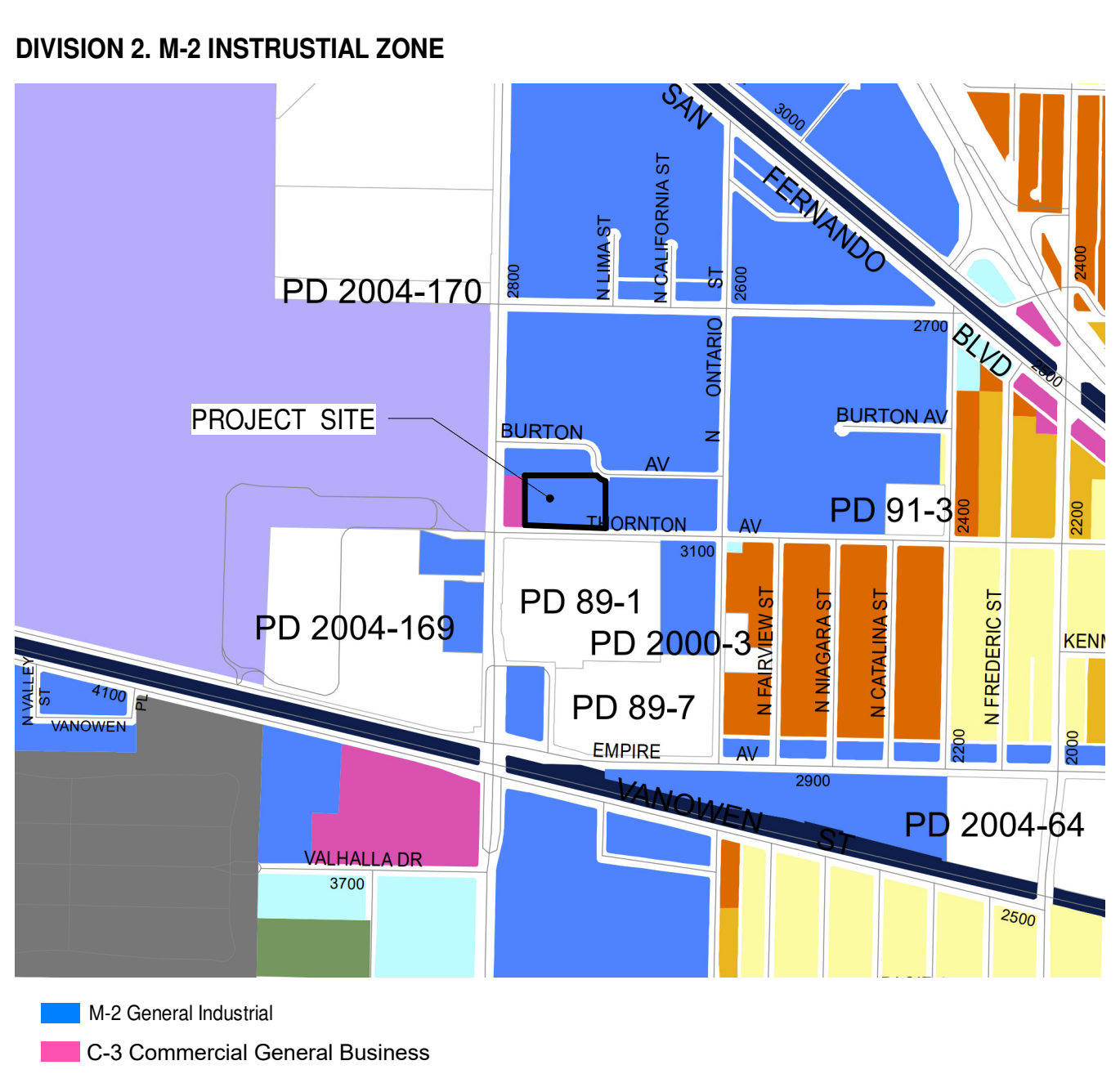
SITE DATA

Table with 2 columns: Category (e.g., SITE AREA, BUILDING AREA, PARKING REQUIRED) and Value (e.g., 147,701 SF, 68,080 SF, 64 STALLS).

DEVELOPMENT STANDARDS

Table with 2 columns: Category (e.g., ZONING, GENERAL PLAN DISTRICT, HEIGHT LIMIT) and Value (e.g., M-2, GOLDEN STATE COMMERCIAL/INDUSTRIAL, 70 FT).

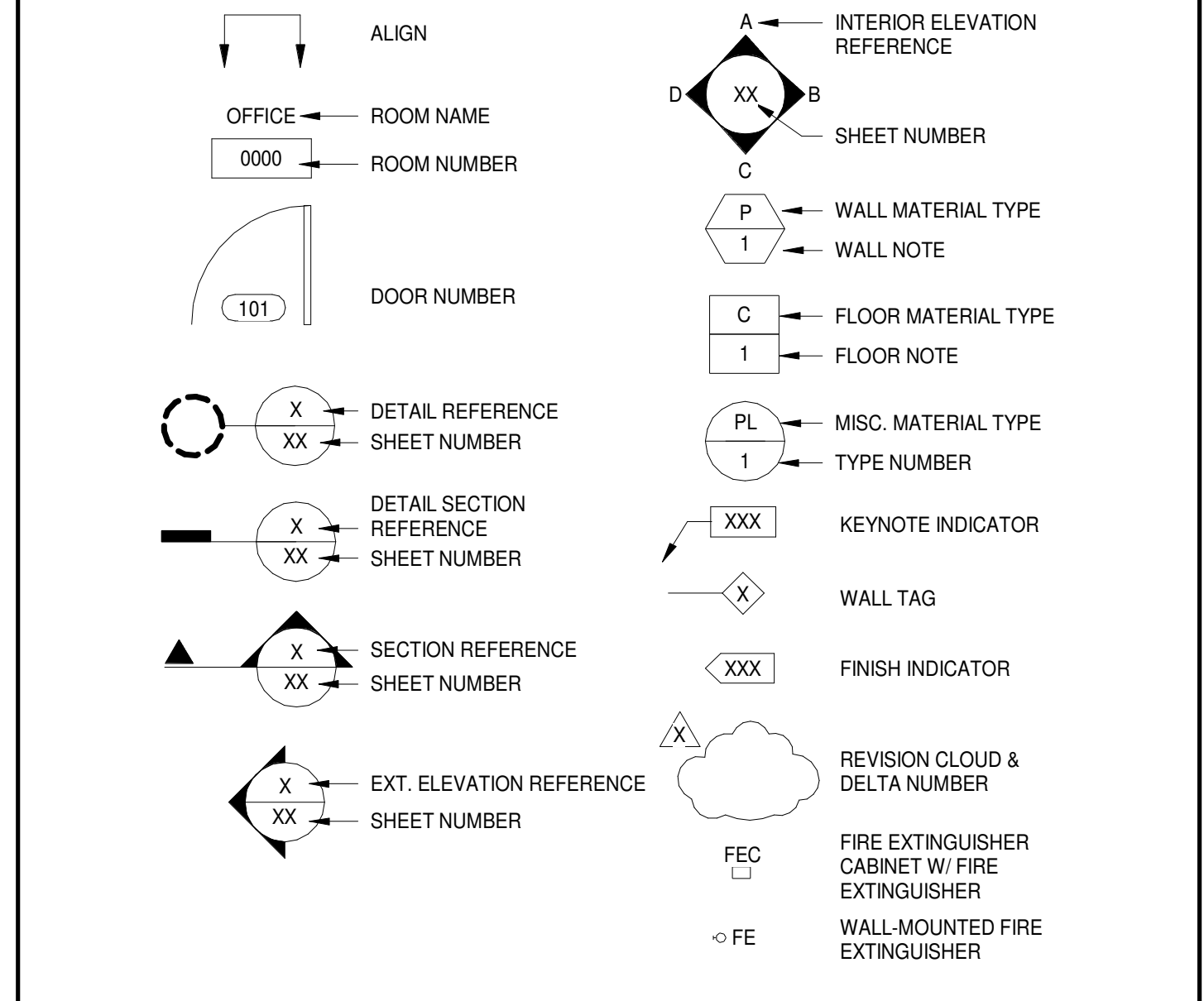
BURBANK CITY ZONING CRITERIA: BUILDING HEIGHT: 35'-0" TO CEILING HEIGHT OF HIGHEST ROOM PERMITTED FOR HUMAN OCCUPANCY.



ABBREVIATIONS

Large table listing abbreviations and their corresponding full names (e.g., ANGLE, CENTERLINE, GRADE, etc.).

SYMBOLS



PROJECT DATA

Table with 2 columns: Category (e.g., APPLICABLE CODES, CITY OF) and Value (e.g., BURBANK, 2019 CALIFORNIA BUILDING CODE).

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION

Table with 4 columns: OCCUPANCY, SECTION, USE, PROPOSED AREA (SF). Shows S-1 STORAGE, SECTION 311, WAREHOUSE, and SEE ALLOWABLE AREA BELOW.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

Table with 5 columns: MAIN OCCUPANCY, SPRINKLER CONDITION, TABLE 501.3 ALLOWABLE BUILDING HEIGHT IN FEET, TABLE 501.3 ALLOWABLE NUMBER OF STORES ABOVE GRADE PLANE, PROPOSED BUILDING HEIGHT IN FEET, PROPOSED NUMBER OF STORES ABOVE GRADE PLANE.

Table with 2 columns: UNLIMITED AREA ALLOWED PER, W/ AUTOMATIC SPRINKLER AND OPEN YARDS GREATER THAN 60 FEET ON ALL SIDES.

PROPOSED TOTAL BUILDING AREA: 70,167.25 S.F.

CHAPTER 6 - TYPES OF CONSTRUCTION

Table with 2 columns: TYPE OF CONSTRUCTION (602), TYPE (III-B). Lists building elements like structural frame, exterior bearing walls, etc.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

(903.3.1) AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED WITH ACCORDANCE WITH NFPA 13. (903.4) AUTOMATIC SPRINKLER SYSTEM MONITORING AND ALARMS WILL BE PROVIDED.

WARE MALCOMB logo and contact information: 915 Wilshire Blvd, Suite #1450, Los Angeles, CA 90017, P: 310.903.3000.

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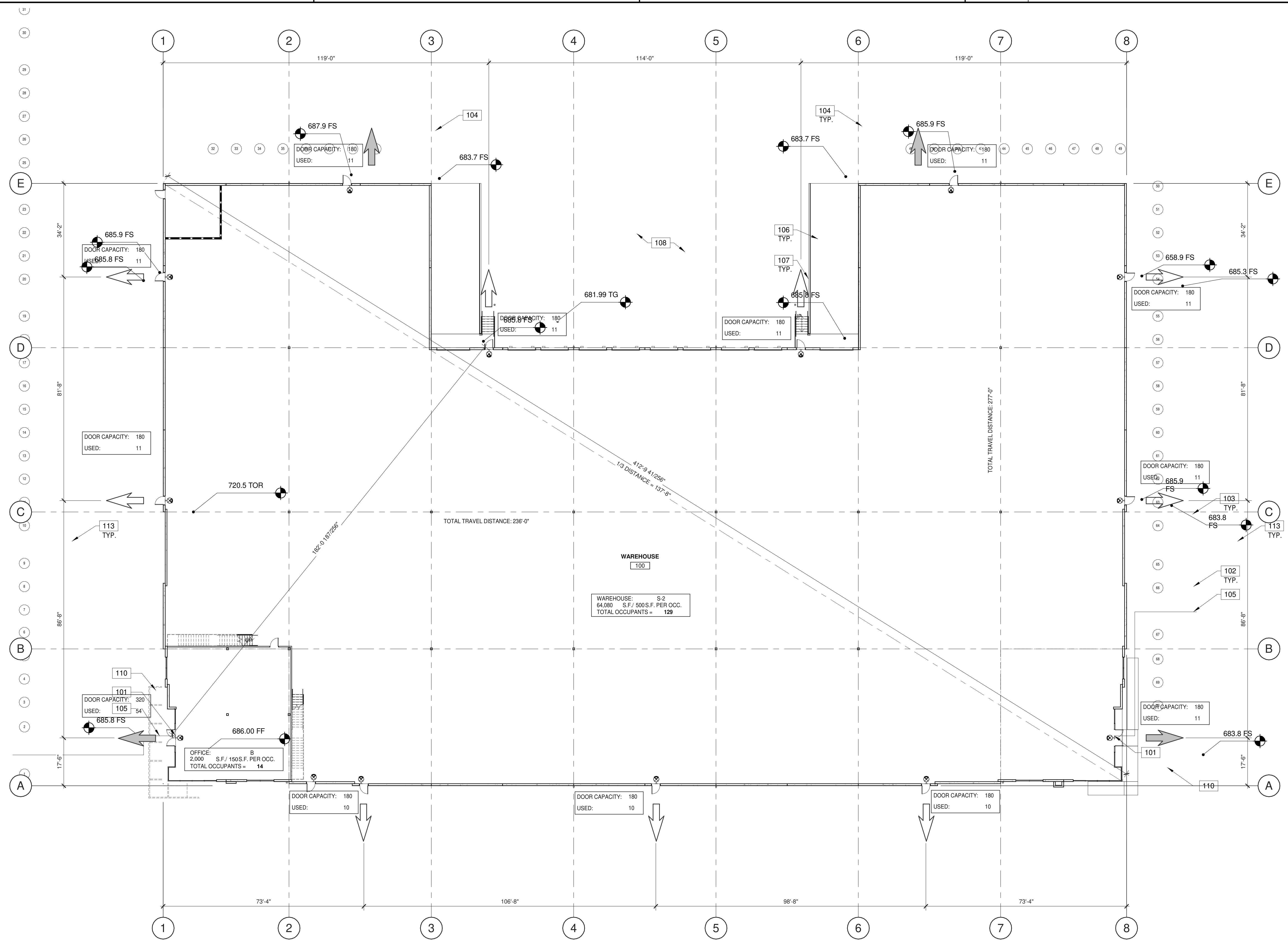
THORNTON AVE EXPANSION PROJECT 3311 THORNTON AVE., BURBANK CALIFORNIA 91504

PROJECT DATA table with columns: DATE, REMARKS, Planning Package, Planning Worksheet.

Table with 2 columns: PA/PM, M.DANNENBERG; DRAWN BY: M.I.E.S.; JOB NO.: LAX21-0108-00.

SHEET A0.1a





**OCCUPANCY AND EGRESS PLAN**  
 SCALE: 1/16" = 1'-0"

**EGRESS ANALYSIS**

FUNCTION SPACE AND OCCUPANCY	(N) GROSS AREA (SF)	(F) AREA PER OCC. FACTOR 100/4.1	(O) - NF OCCUPANT LOAD	NUMBER OF EXITS REQUIRED 1006	DOOR AND OTHER EXITS PROVIDED (PER PLAN)	NUMBER OF 44" CLR. EXITS PROVIDED (PER PLAN)	NUMBER OF 66" CLR. EXITS PROVIDED (PER PLAN)	TOTAL DOOR WIDTH PROVIDED
WAREHOUSE S-1	64,080	500	129	2	2	0	2	156"
1ST FL OFFICE B	2,000	150	14	1	3	2	0	144"
2ND FL OFFICE B	2,000	150	14	1	3	2	0	72"

**MAX. TRAVEL DISTANCE TO EXITS**  
 (1017.2 NON-SPRINKLERED BUILDING)

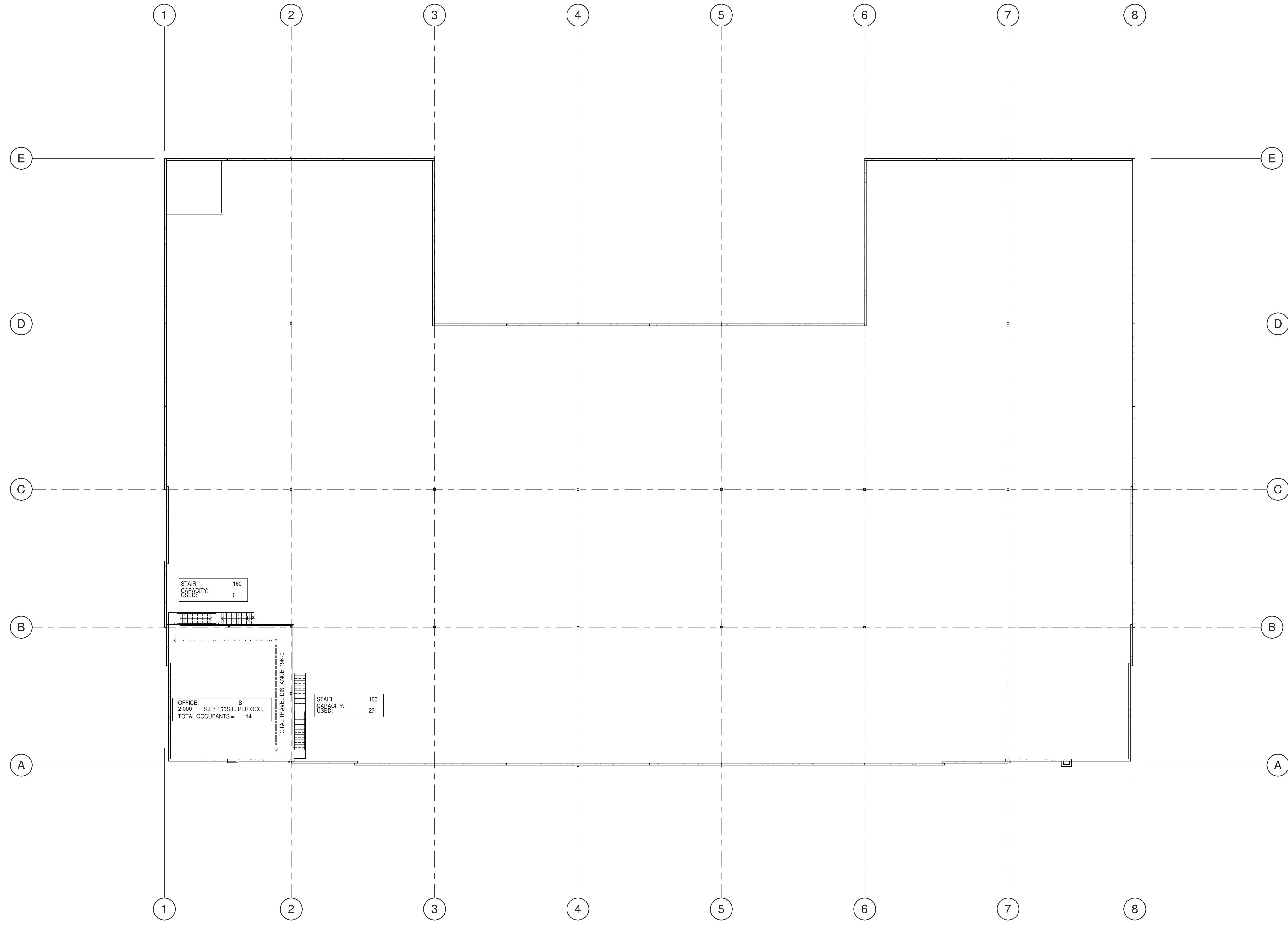
MAXIMUM TRAVEL DISTANCE TO EXITS	(1017.2 NON-SPRINKLERED BUILDING)
S-1 STORAGE (MODERATE-HAZARD WAREHOUSE)	200 FEET MAX.
B/BUSINESS (OFFICE)	200 FEET MAX.

**LEGEND**

- REQUIRED EXIT.
  - FIRE DEPARTMENT ACCESS.
  - MAXIMUM TRAVEL DISTANCE.
  - WALL-MOUNTED ILLUMINATED EMERGENCY EXIT SIGN ABOVE DOOR WITH BATTERY POWERED BACK-UP. SHADED QUADRANT INDICATES FACE OF LETTERING.
- ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.

**KEYNOTES:**





MEZZANINE OCCUPANCY AND EGRESS PLAN  
SCALE: 1/16" = 1'-0"

**EGRESS ANALYSIS**

FUNCTION SPACE AND OCCUPANCY	(N) GROSS AREA (SF)	(F) AREA PER OCC. FACTOR 1004.1	(O) - NF OCCUPANT LOAD	NUMBER OF EXITS REQUIRED 1006	DOOR AND OTHER OPENINGS (SQ. FT.) WITH REQUIRED EXITS PROVIDED (PER PLAN)	NUMBER OF 44" CLR. EXITS PROVIDED (PER PLAN)	NUMBER OF 64" CLR. EXITS PROVIDED (PER PLAN)	TOTAL DOOR WIDTH PROVIDED
WAREHOUSE S-1	64,080	500	129	2	129'-2" 26'	0	0	156"
1ST FL OFFICE B	2,000	150	14	1	14'-2" 8'	2	0	144"
2ND FL OFFICE B	2,000	150	14	1	14'-2" 8'	2	0	72"

**MAX. TRAVEL DISTANCE TO EXITS**  
(1017.2 NON-SPRINKLERED BUILDING)

MAXIMUM TRAVEL DISTANCE TO EXITS	(1017.2 NON-SPRINKLERED BUILDING)
S-1 STORAGE (MODERATE-HAZARD WAREHOUSE)	200 FEET MAX.
B/BUSINESS (OFFICE)	200 FEET MAX.

**LEGEND**

- REQUIRED EXIT.
  - FIRE DEPARTMENT ACCESS.
  - MAXIMUM TRAVEL DISTANCE.
  - WALL-MOUNTED ILLUMINATED EMERGENCY EXIT SIGN ABOVE DOOR WITH BATTERY POWERED BACK-UP. SHADED QUADRANT INDICATES FACE OF LETTERING.
- ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.

**KEYNOTES:**

**MEZZANINE OCCUPANCY AND EGRESS PLAN**

DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Resubmittal

<b>PA/PM:</b>	M.DANNENBERG
<b>DRAWN BY:</b>	M.I.E.S.
<b>JOB NO.:</b>	LAX21-0108-00

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EXPANSION  
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BURBANK CALIFORNIA 91504**

**WARE MALCOMB**

ARCHITECTURE CIVIL ENGINEERING  
PLANNING BRANDS INTERIORS

915 Wilshire Blvd. Suite #1450  
Los Angeles, CA 90017  
P: 310.903.4000



**WARE MALCOMB**  
 ARCHITECTURE CIVIL ENGINEERING  
 PLANNING BRANDS BUILDING MEASUREMENT  
 915 Wilshire Blvd., Suite #1450  
 Los Angeles, CA 90017  
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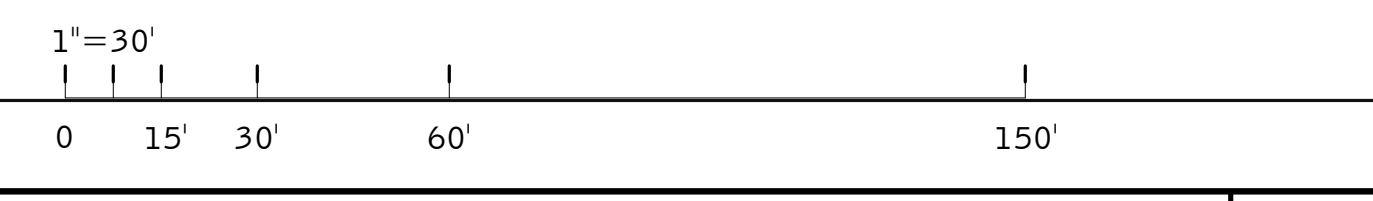
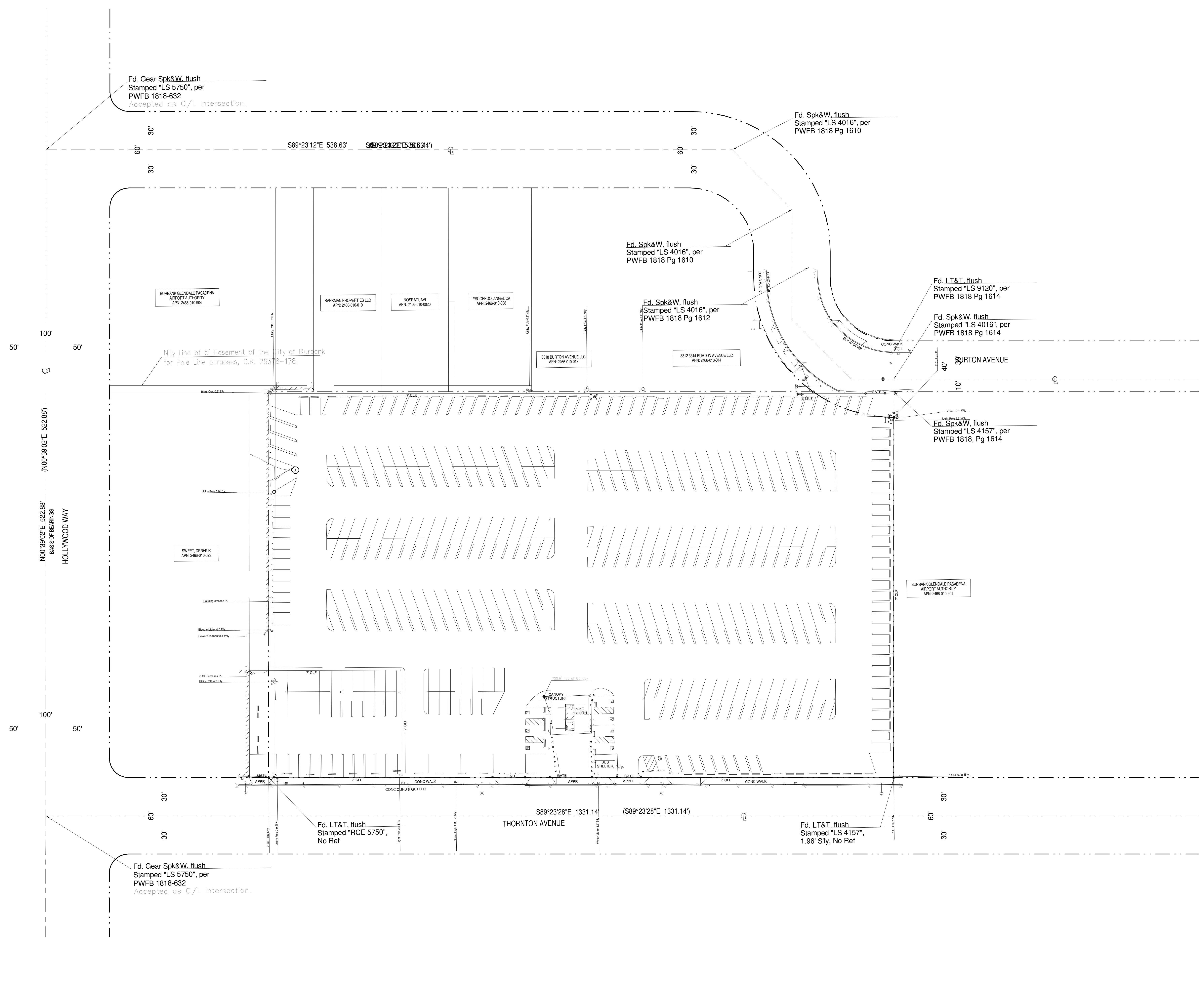
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 3311 THORNTON AVE.,  
 BURBANK CALIFORNIA 91504

EXISTING SITE PLAN

DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Resubmittal

PA/PM:	M. DANNENBERG
DRAWN BY:	M.I.E.S.
JOB NO.:	LAX21-0108-00

SHEET  
**A1.1**



**EXISTING SITE PLAN**  
 SCALE: 1" = 30'-0"

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VACANT LAND  
APN: 2466-010-904

INDUSTRIAL  
APN: 2466-010-019

INDUSTRIAL  
APN: 2466-010-020

INDUSTRIAL  
APN: 2466-010-008

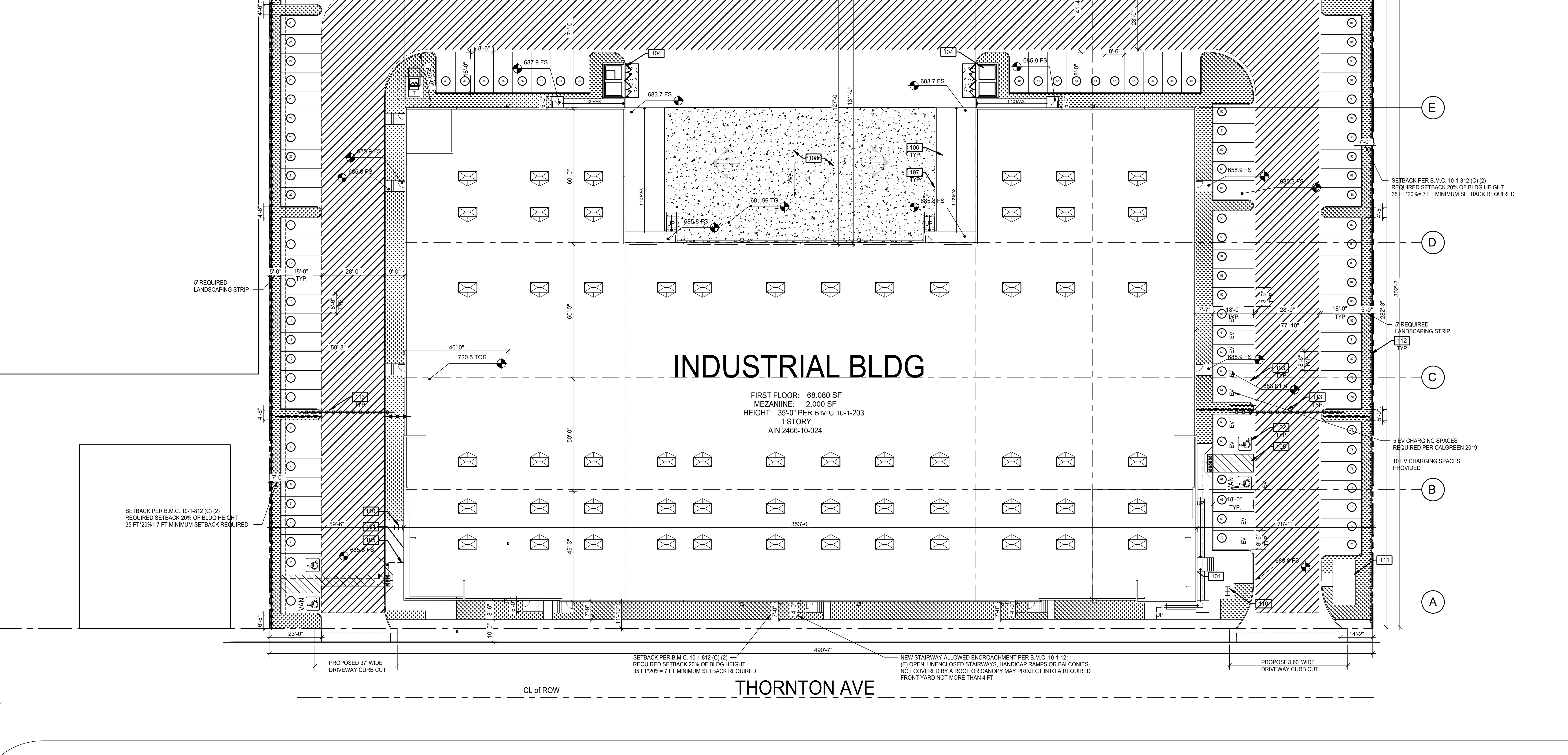
INDUSTRIAL  
APN: 2466-010-013

INDUSTRIAL  
APN: 2466-010-014

COMMERICAL  
APN: 2466-010-023

INDUSTRIAL  
APN: 2466-010-024

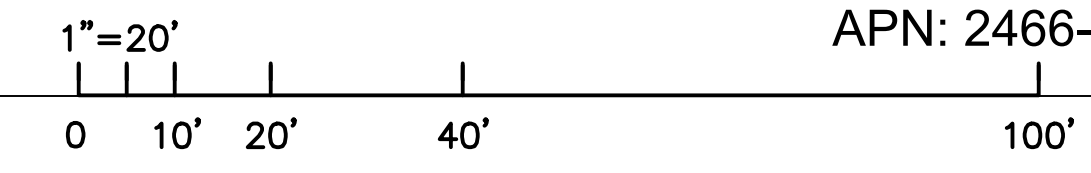
INDUSTRIAL  
APN: 2466-010-901



### INDUSTRIAL BLDG

FIRST FLOOR: 68,080 SF  
MEZANINE: 2,000 SF  
HEIGHT: 35'-0" PLK B.M.C. 10-1-203  
1 STORY  
AIN 2466-10-024

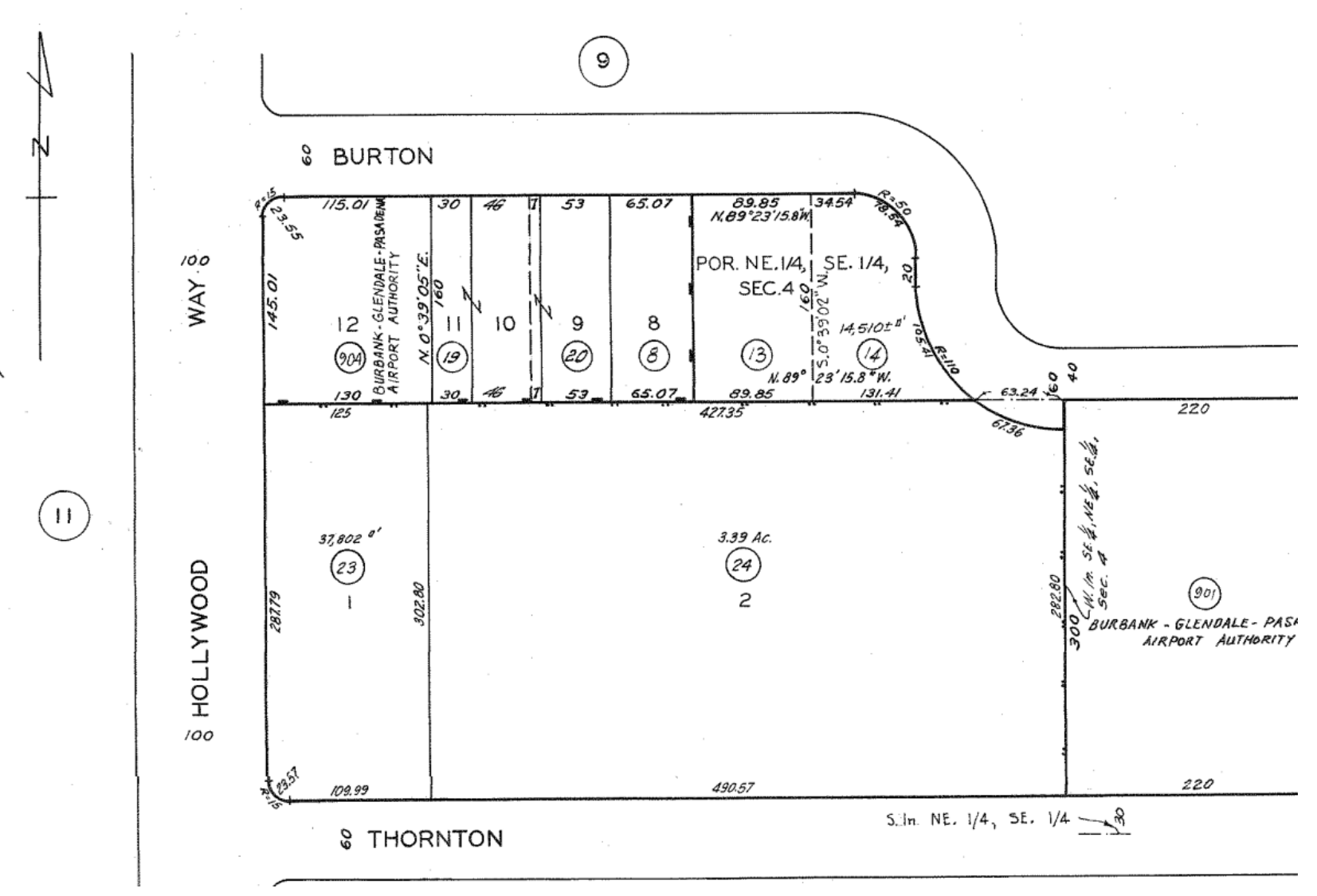
### THORNTON AVE



INDUSTRIAL APN: 2466-004-016 | INDUSTRIAL APN: 2466-004-015

PROPOSED SITE PLAN  
SCALE: 1" = 20'-0"

Industrial  
APN: 2466-010-024  
TR=PARCEL MAP AS PER BK 73 PG 71-72 OF  
PM LOT 2



**GRADE PLANE CALCULATIONS:**  
 $685.98 + 685.98 + 686.24 + 683.72 + 685.90 + 685.98 + 683.72 + 685.98 = 5,483.5$   
 $5,483.5 / 8 = 685.43 = 685.5$

- LEGEND**
- POLE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
  - WALLPACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
  - T TRANSFORMER WITH CONCRETE PAD. SEE ELECTRICAL DRAWINGS (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
  - ▨ FIRE LANE (HATCHED)
  - X PARKING STALL COUNT TOTAL
  - ▲ DOCK HIGH TRUCK DOOR
  - GRADE LEVEL TRUCK DOOR
  - ⊙ FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
  - ⚡ P.V. WITH TAMPER. SEE FIRE PROTECTION DRAWINGS

- KEYNOTES:**
- SEE SHEET A0.2 FOR GENERAL NOTES
- 100. PROPERTY LINE.
  - 101. ACCESSIBLE ENTRY SIGNAGE.
  - 102. ACCESSIBLE PARKING STALL WITH SIGNAGE.
  - 103. PAINTED PARKING STRIPING PER CITY STANDARDS. 2'-0" PARKING OVERHANG.
  - 104. TRASH ENCLOSURE WITH RECYCLE BIN
  - 105. ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
  - 106. CONCRETE RAMP.
  - 107. GALVANIZED RAILING.
  - 108. CONCRETE PAVEMENT.
  - 109. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
  - 110. BIKE RACK.
  - 111. PREFABRICATED GUARD SHACK
  - 112. FENCE
  - 113. METAL PICKET GATE.

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PLANNING BRANDING  
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Los Angeles, CA 90017  
P 310.903.4000

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3311 THORNTON AVE.,  
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**SITE PLAN**

DATE	REMARKS
12/09/2022	Planning Package
1/16/2024	Planning Resubmittal

PA/PM: Approver  
DRAWN BY: Author  
JOB NO.: LAX21-0108-00

SHEET  
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04



05



06



07



08



09



10



11



12

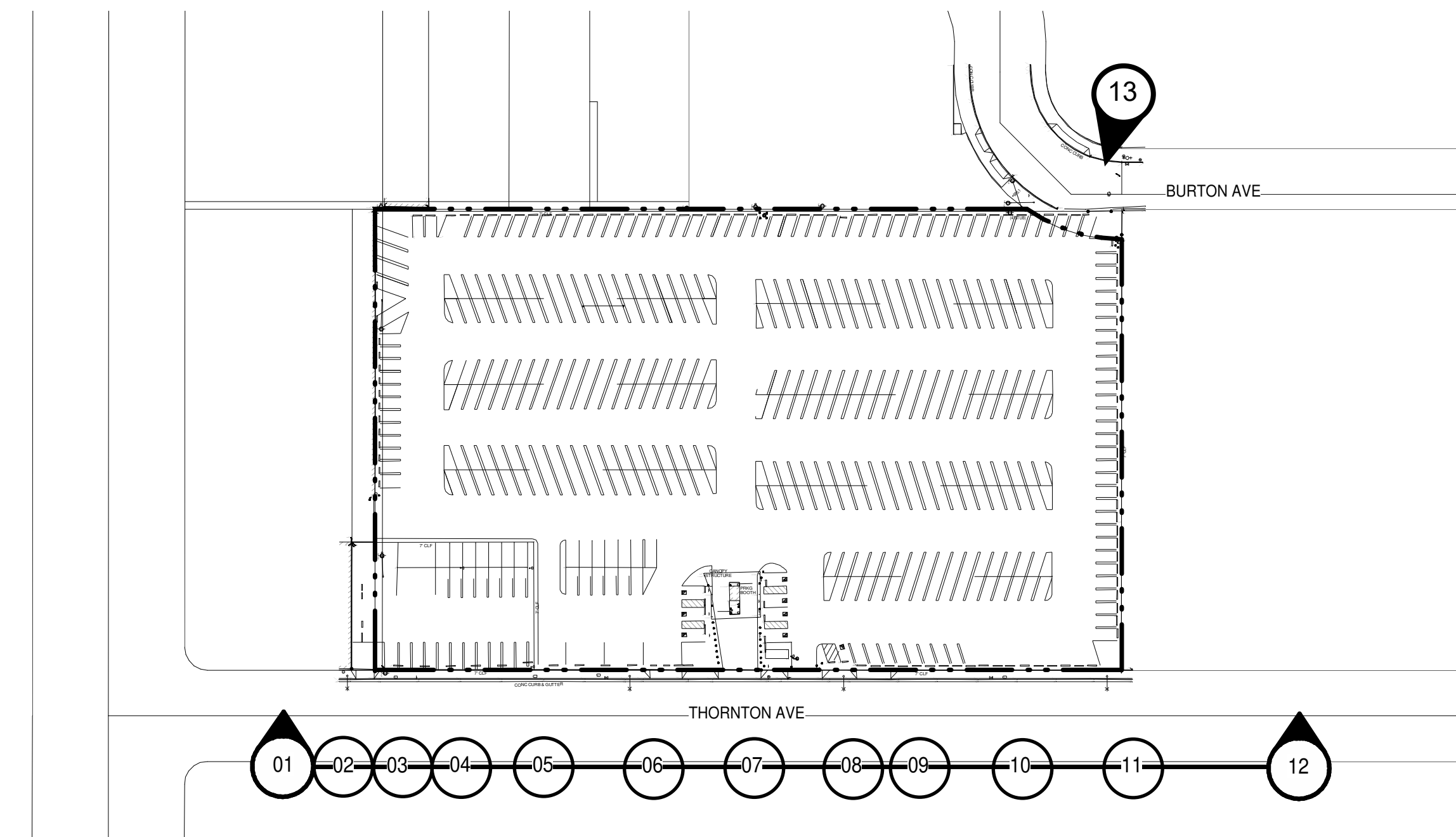


13



AERIAL VIEW

**EXISTING SITE KEY PLAN**



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 INTERIORS  
 BUILDING MEASUREMENT  
 915 Wilshire Blvd. Suite #1450  
 Los Angeles, CA 90017  
 P 310.903.4000

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**THORNTON AVE  
 EXPANSION  
 3311 THORNTON AVE.,  
 BURBANK CALIFORNIA 91504**

EXISTING CONDITIONS PHOTOS

DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Presentation

PAPM: M.DANNENBERG  
 DRAWN BY: M.I.E.S.  
 JOB NO.: LAX21-0108-00

SHEET  
**A1.1b**



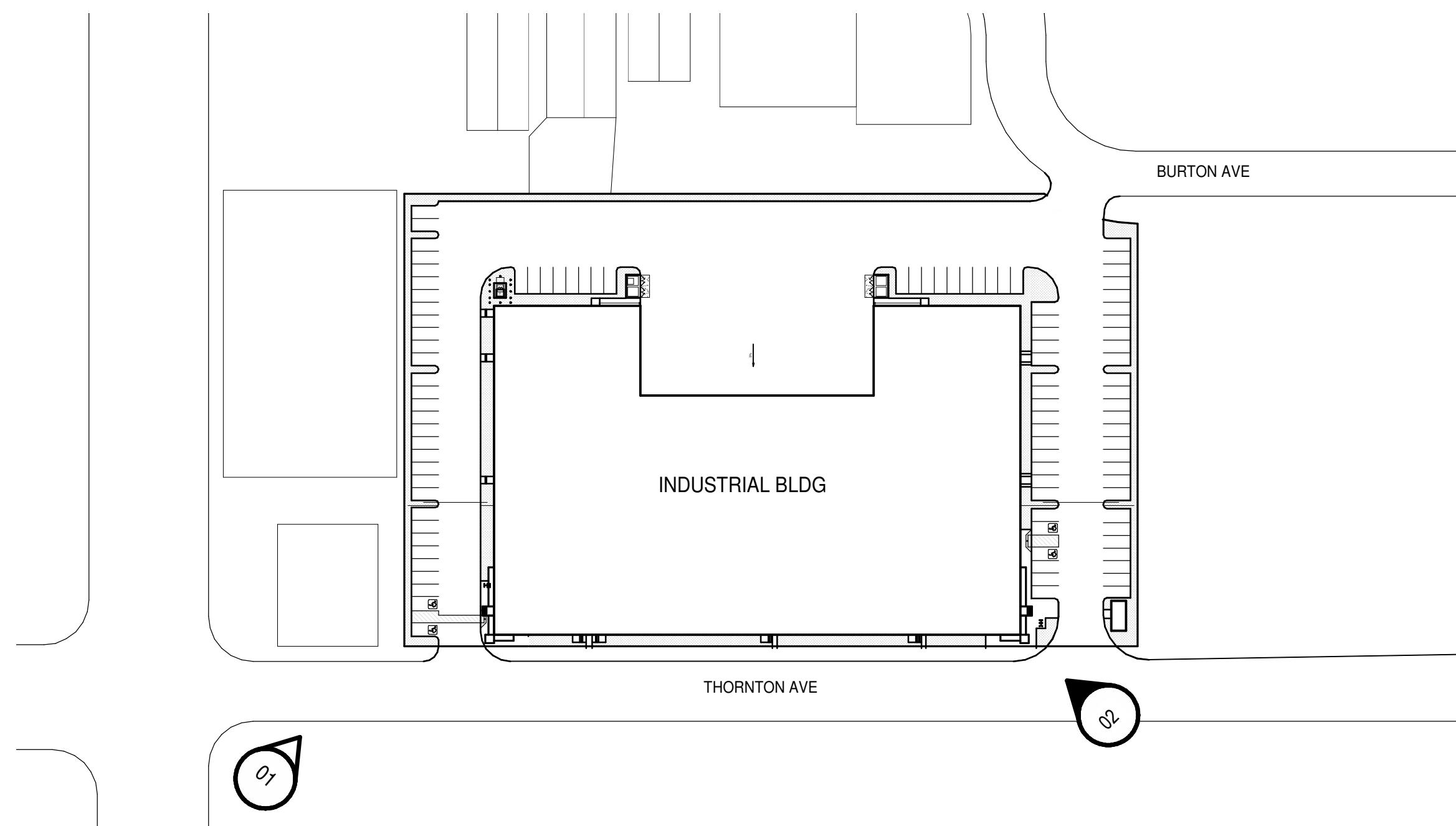


01



02

### KEY PLAN



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 BUILDING MEASUREMENT

Colleen 123, 456 Elm Street #100  
 Los Angeles, CA 90001  
 Mexico City, Mexico 06500  
 Tel: +1 310 206 2500

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**THORNTON AVE  
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 3311 THORNTON AVE.,  
 BURBANK CALIFORNIA 91504**

RENDERS WITH CONTEXT	
DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Presentation

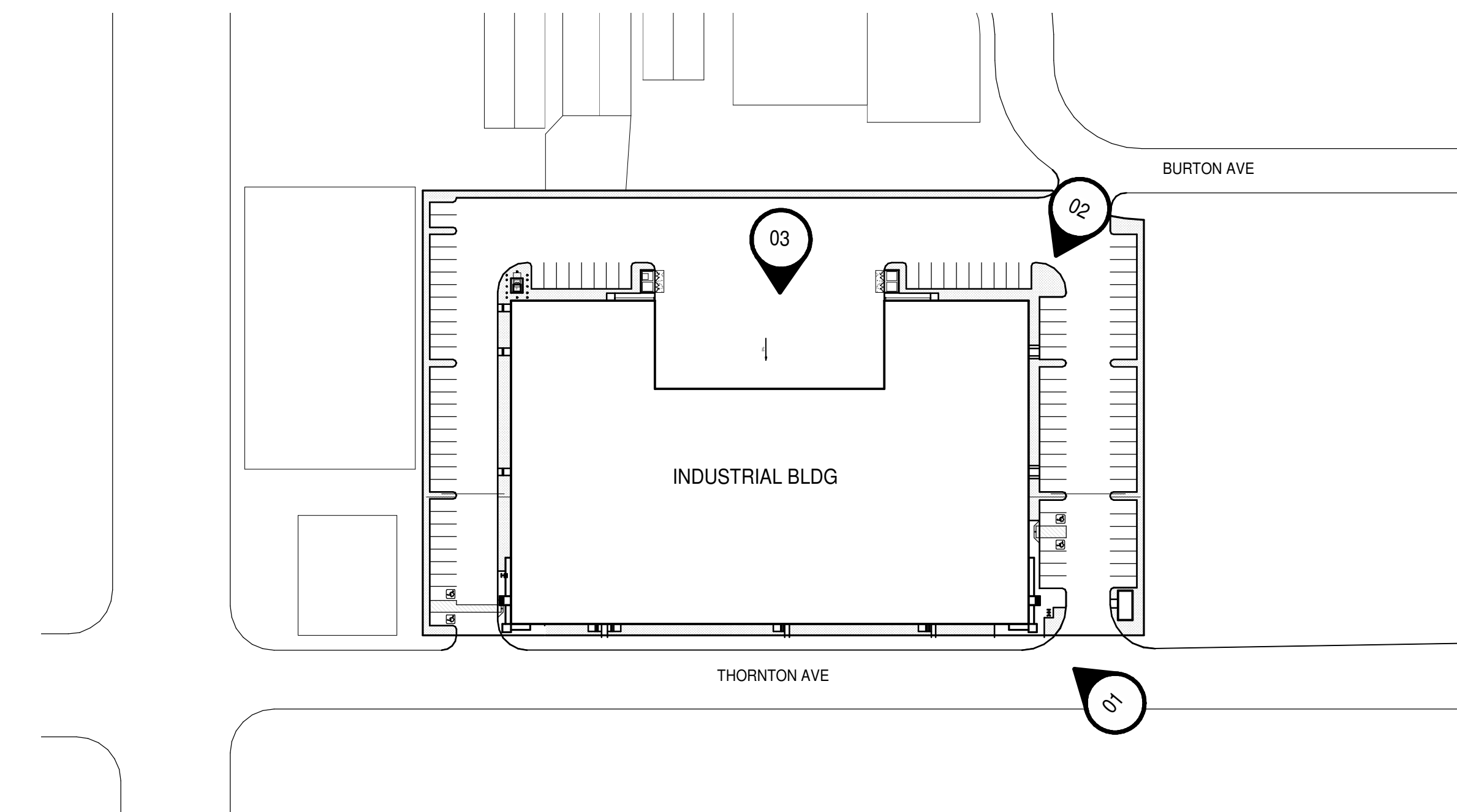
P.A.P.M.: M.DANNENBERG  
 DRAWN BY: M.I.E.S.  
 JOB NO.: LAX21-0108-00

SHEET  
**A1.1c**





### KEY PLAN



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PLANNING  
BRANDING  
INTERIORS  
CIVIL ENGINEERING  
BUILDING MEASUREMENT  
Colleen 123 456 789 0101  
Mexico City, MX 06510  
Tel: 555-555-5555

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12/02/2022	Planning Package
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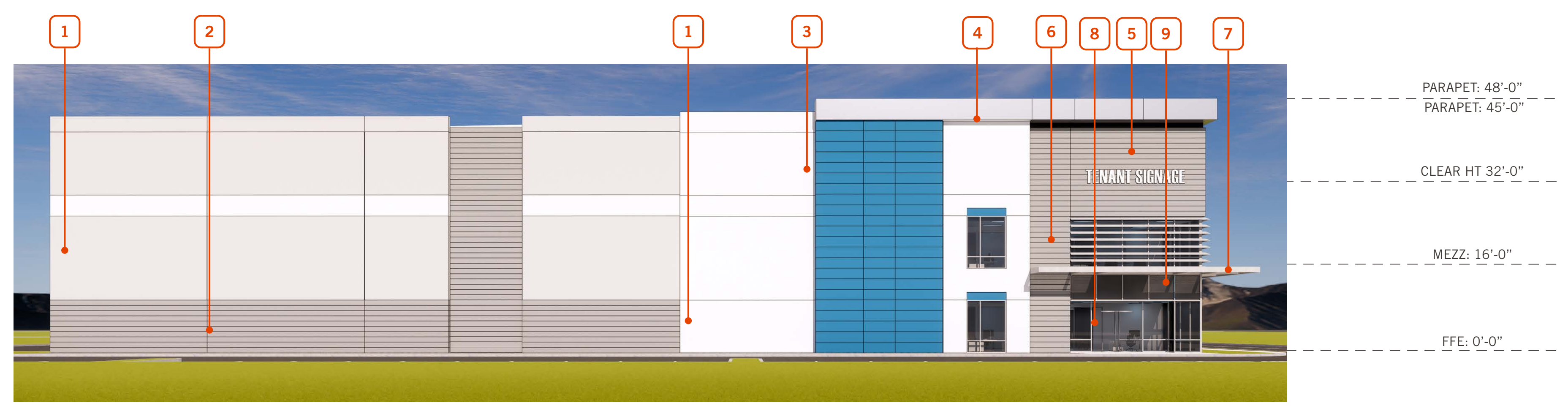
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DRAWN BY: M.I.E.S.  
JOB NO.: LAX21-0108-00

SHEET  
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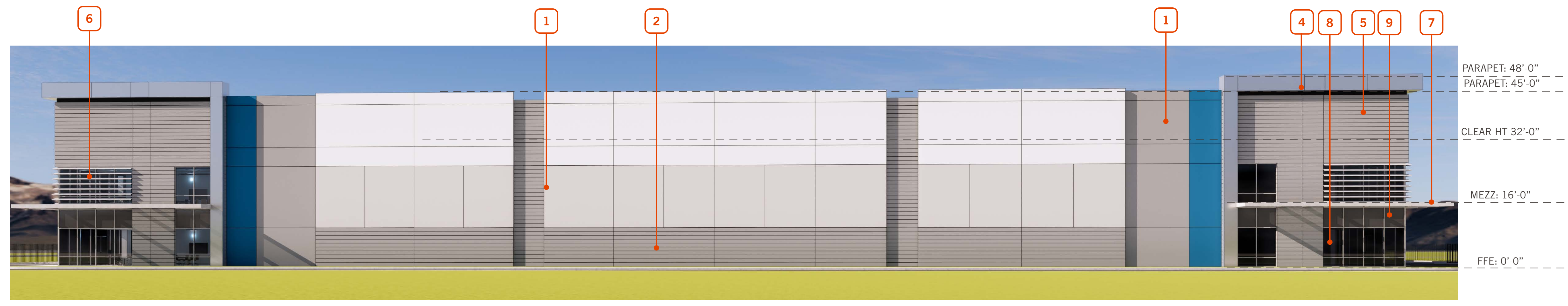


DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Resubmittal

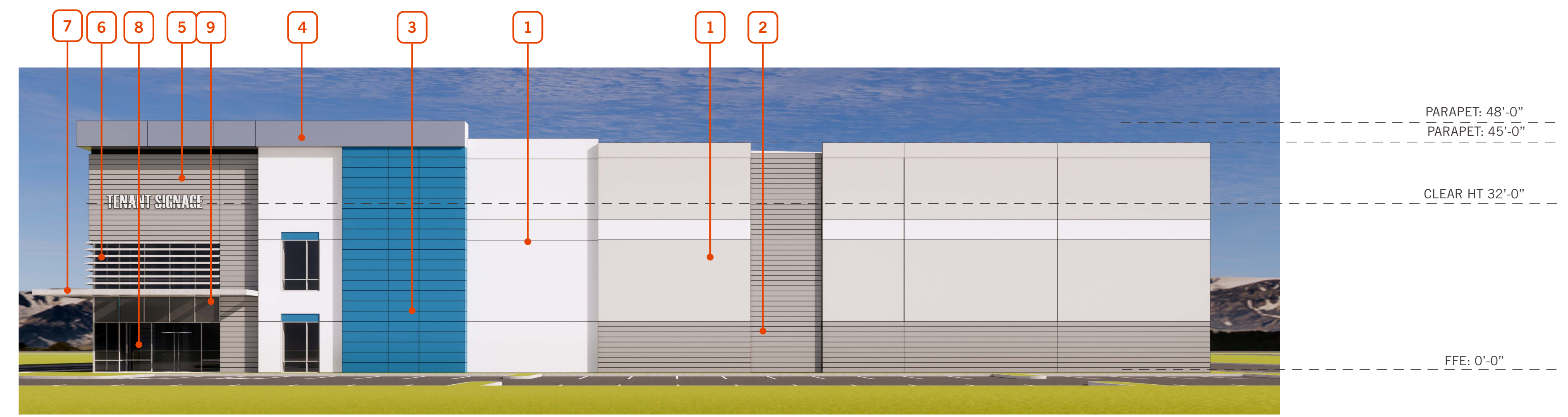
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JOB NO.:	LAX21-0108-00



EXTERIOR ELEVATION - WEST



EXTERIOR ELEVATION - SOUTH



EXTERIOR ELEVATION - EAST



EXTERIOR ELEVATION - NORTH

**KEYNOTES**

- |                                       |                                     |                             |
|---------------------------------------|-------------------------------------|-----------------------------|
| <b>1</b> TILT-UP CONCRETE PANEL       | <b>4</b> METAL PARAPET              | <b>7</b> METAL CANOPY       |
| <b>2</b> CONCRETE BASE WITH FORMLINER | <b>5</b> LIGHTWEIGHT CONCRETE PANEL | <b>8</b> STOREFRONT GLAZING |
| <b>3</b> PAINT OFF-SET CONCRETE PANEL | <b>6</b> METAL LOUVERS              | <b>9</b> SPANDREL GLASS     |

COLOR ELEVATIONS

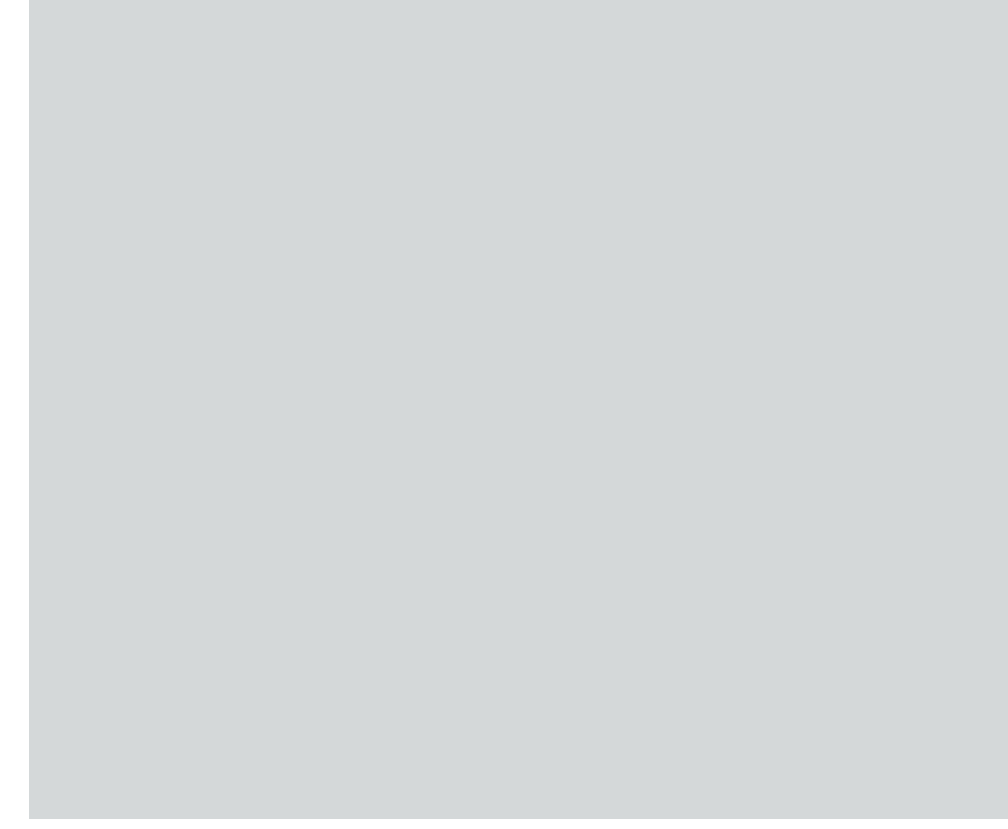




1 GLAZING: VITRO GRAYLITE



2 PAINT: EXTRA WHITE-SW 7006



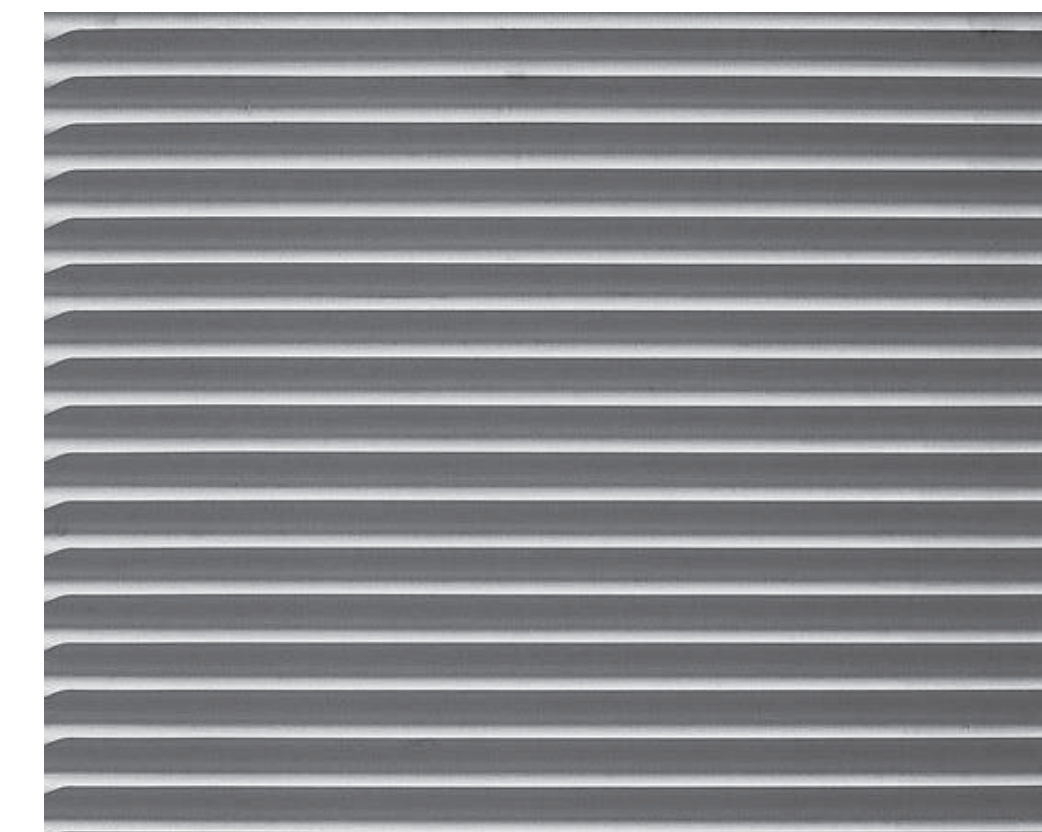
3 PAINT: OLYMPUS WHITE-SW 6253



4 PAINT: WESTCHESTER GRAY-SW 2849



5 PAINT: DANUBE-SW 6803



6 FORMLINER



7 WHITE ACM PANNEL KINGSPAN OR EQ

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 ARCHITECTURE  
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 PLANNING  
 BRANDING  
 INTERIORS  
 BUILDING MEASUREMENT

Colson 123, 4th Floor, Suite #1007  
 3000 Wilshire Blvd, Los Angeles, CA 90010  
 Mexico City, MX 06510  
 Tel: +52 55 5262 6999

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**THORNTON AVE  
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 3311 THORNTON AVE.,  
 BURBANK CALIFORNIA 91504**

MATERIAL PALLETTE

DATE	REMARKS
12/09/2022	Planning Package
07/02/2024	Planning Revisions

P.A.P.M.: M.DANNENBERG

DRAWN BY: M.I.E.S.

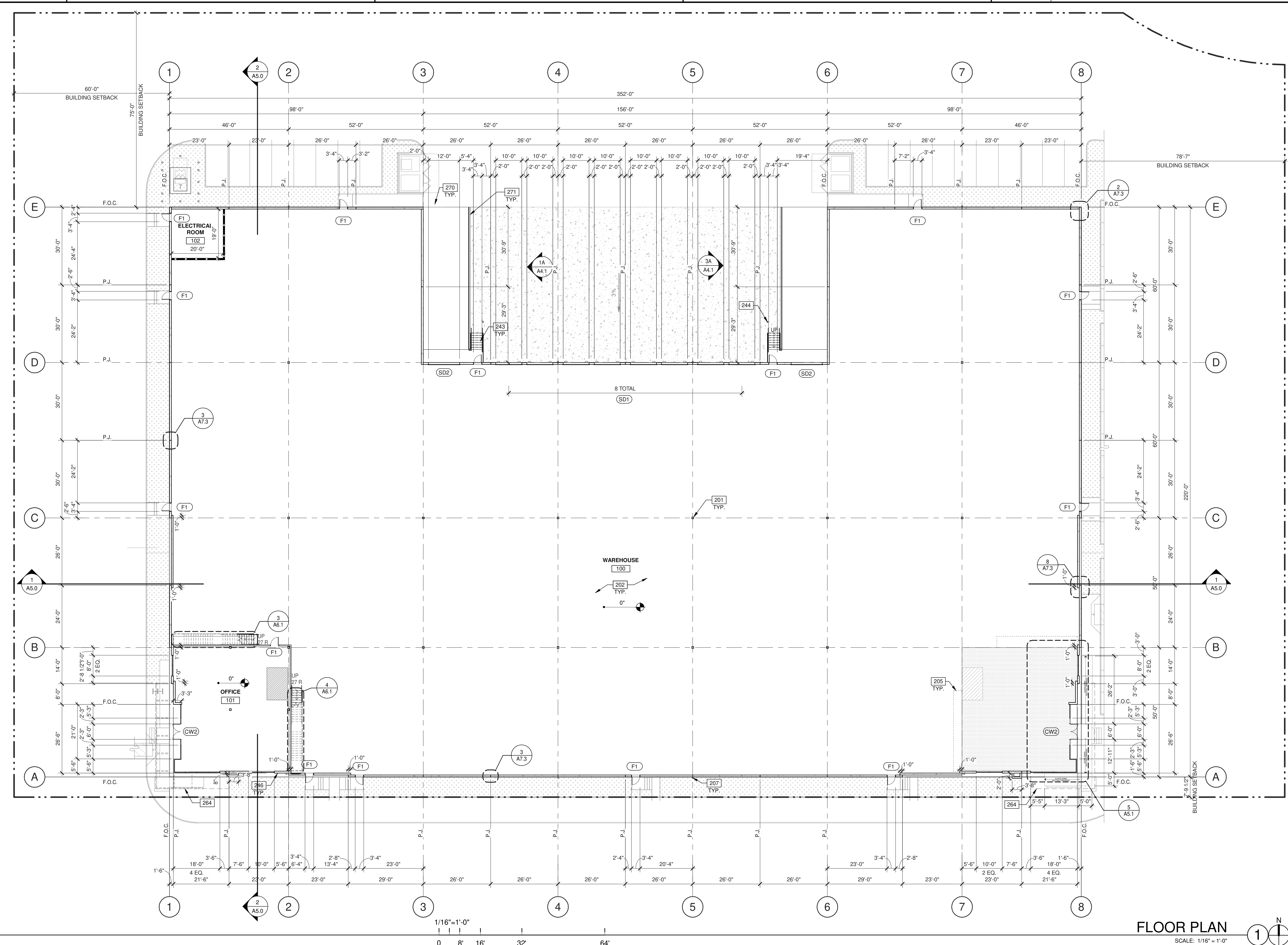
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SHEET

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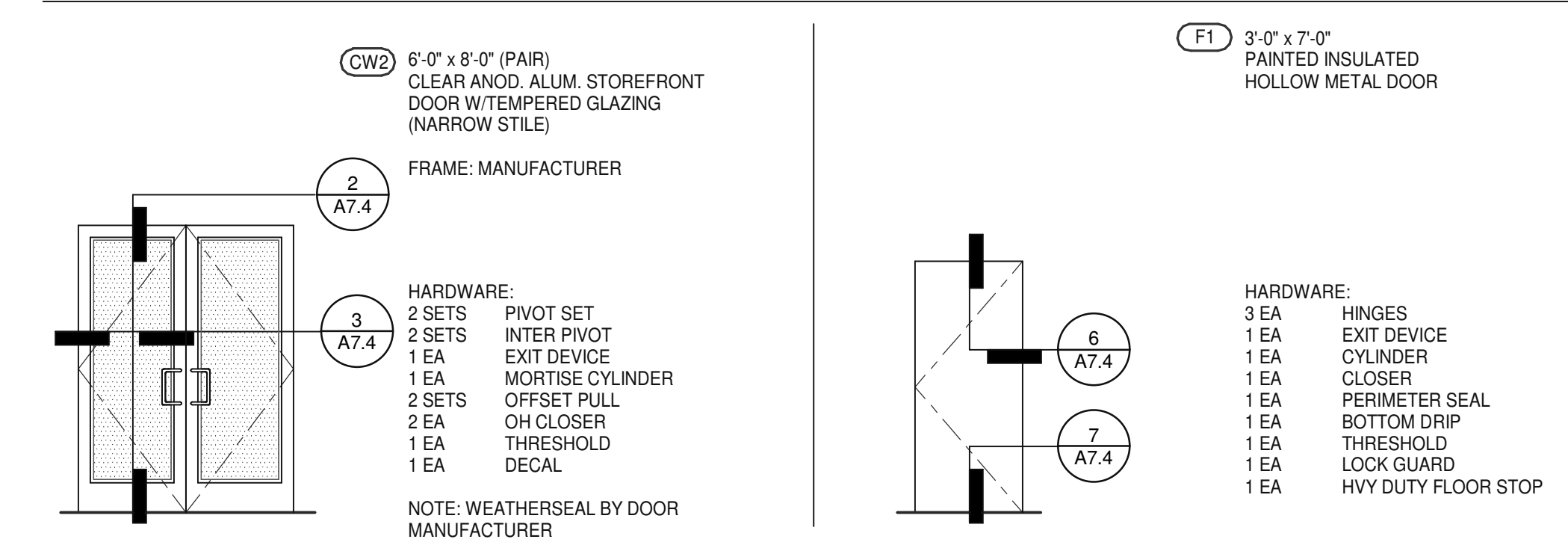
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**FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**DOOR TYPES**

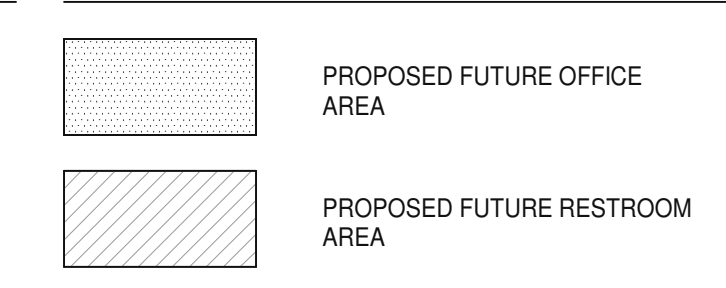


**DOOR NOTES**

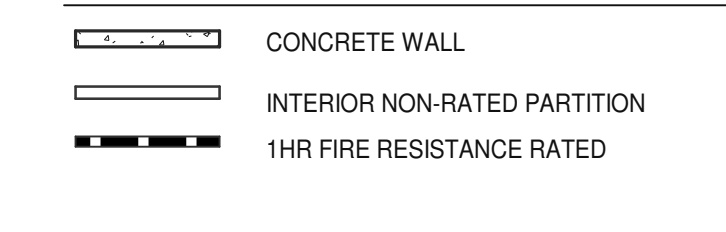
**BUTT HINGES:**  
 SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
 ALL EXTERIOR OUTSWINGING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

**VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL CLOSING DEVICES;** NORTON 8500 BF SERIES OR APPROVED EQUAL STOPS; TRIMCO W1200 SERIES DOOR STOP  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

**LEGEND**



**WALL LEGEND**



**KEYNOTES:**

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB, PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 205 FUTURE STAIRS.
- 207 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS. DOWNSPOUT SIZE 1'-4" W x 1'-0" H. OVERFLOW SCUPPERS SIZE 1'-6" W x 1'-0" H.
- 243 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
- 244 STEEL BOLLARD. CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 246 ROOF ACCESS LADDER.
- 264 OUTLINE OF CANOPY ABOVE.
- 270 CONCRETE RAMP.
- 271 CONCRETE RETAINING WALL.

**FLOOR PLAN**

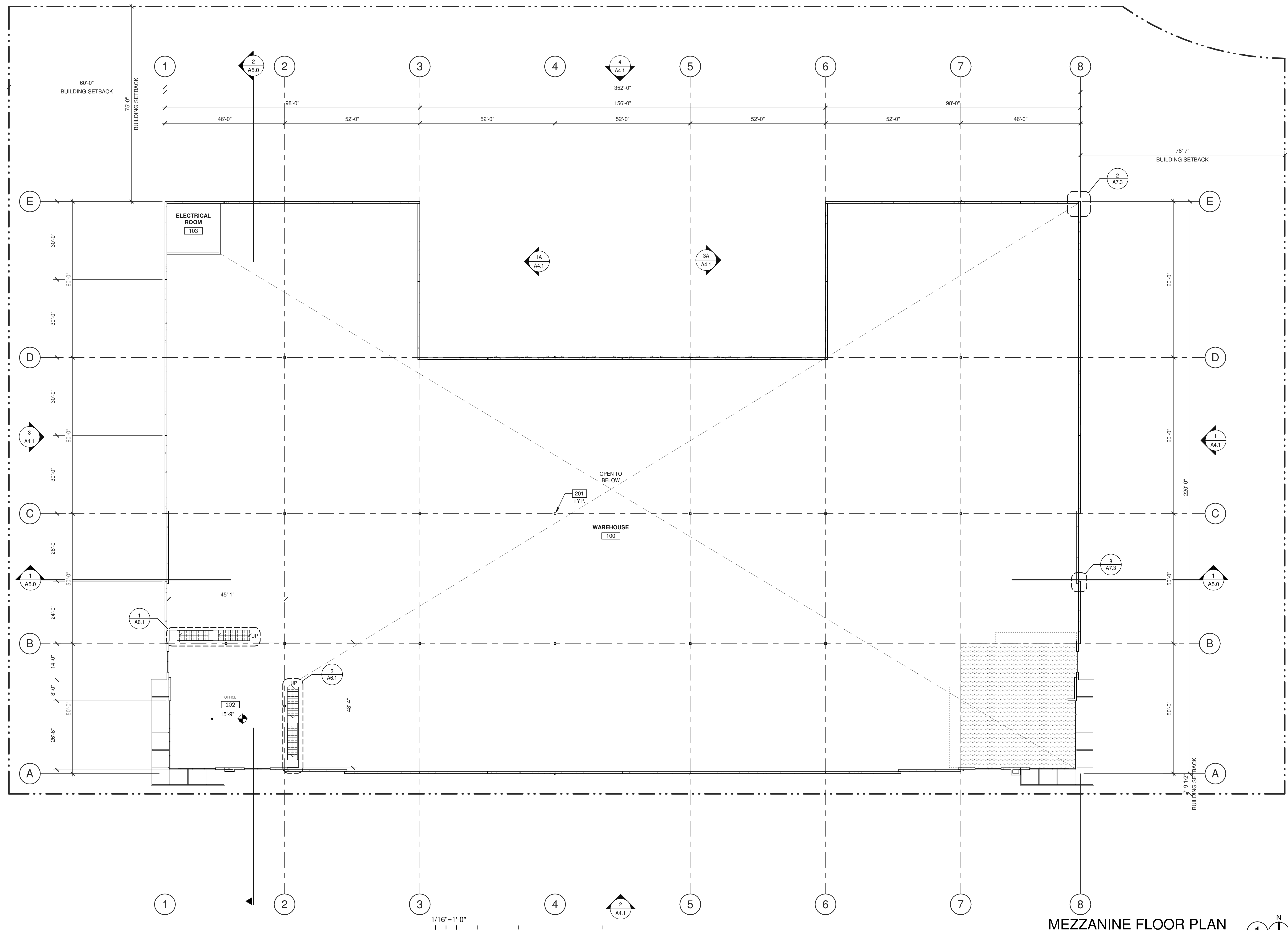
DATE	REVISIONS
12/09/2022	Planning Package
07/16/2024	Planning Re-submittal

**P.A.P.M.:** M.DANNENBERG  
**DRAWN BY:** M.I.E.S./J.G.  
**JOB NO.:** LAX21-0108-00

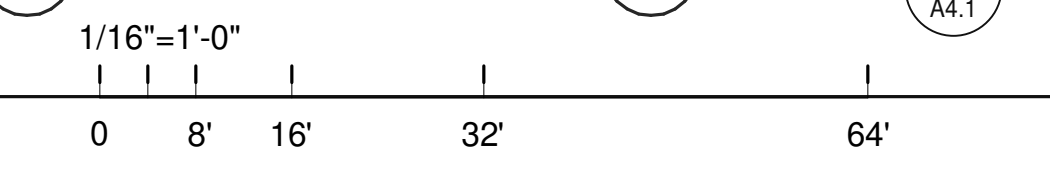
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**A2.1**

9/11/2023 5:00:11 PM





**MEZZANINE FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



- LEGEND**
- PROPOSED FUTURE OFFICE AREA
  - PROPOSED FUTURE RESTROOM AREA
- WALL LEGEND**
- CONCRETE WALL
  - INTERIOR NON-RATED PARTITION
  - 1HR FIRE RESISTANCE RATED

- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN.

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LANDSCAPE ARCHITECTURE  
915 WILSHIRE BLVD. SUITE #150  
LOS ANGELES, CA 90017  
P 310.903.0000

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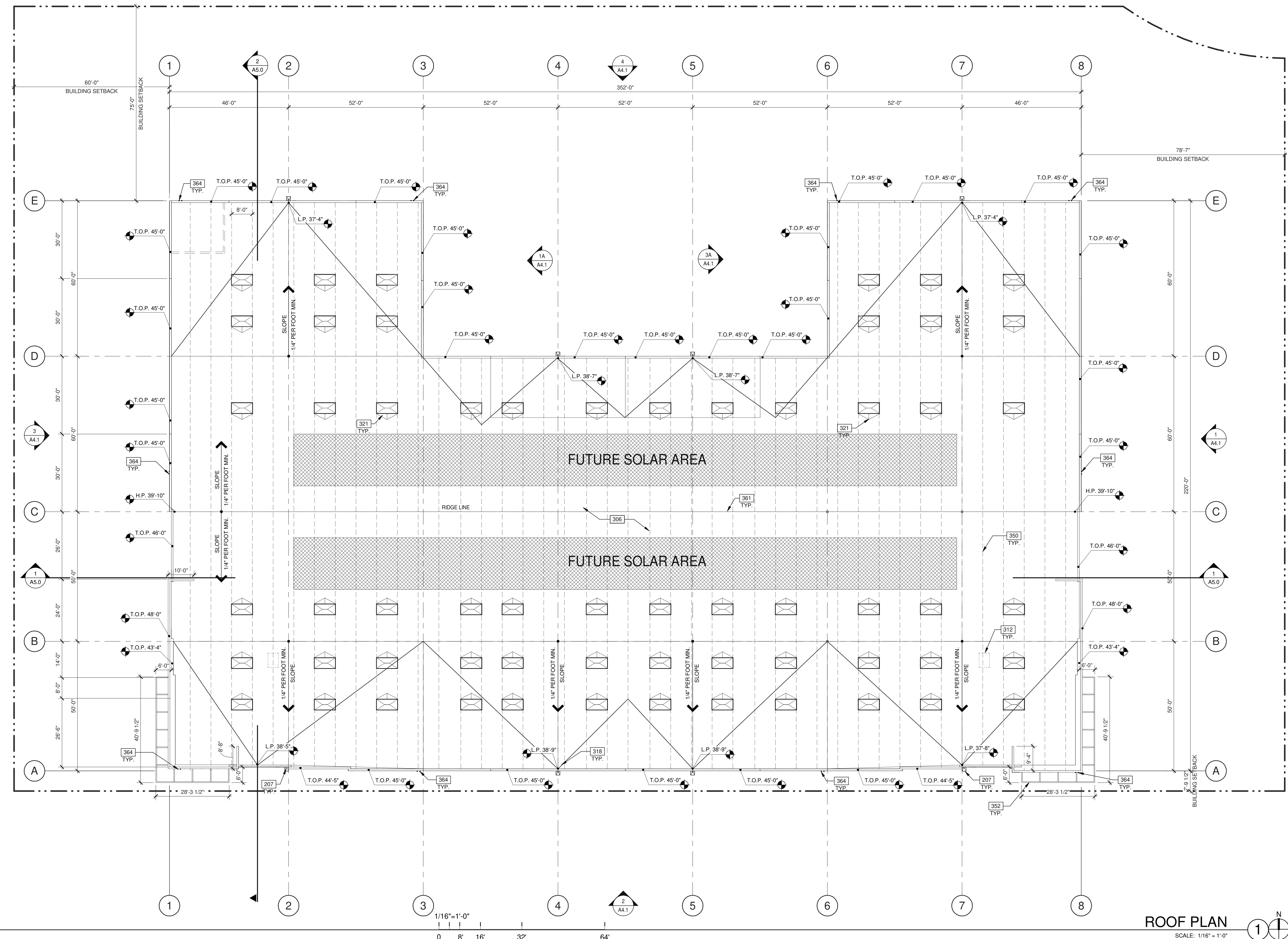
**THORNTON AVE  
EXPANSION**  
3311 THORNTON AVE.,  
BURBANK CALIFORNIA 91504

MEZZANINE PLAN	
DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Resubmittal

<b>P.A.P.M.:</b>	M. DANNENBERG
<b>DRAWN BY:</b>	M.I.E.S.
<b>JOB NO.:</b>	LAX21-0108-00

SHEET  
**A2.2**





**ROOF PLAN**  
 SCALE: 1/16" = 1'-0"

**CALCULATIONS**

**SKYLIGHTS:**  
 SKYLIGHT SIZE: 48"x96"=32 S.F.  

$$\frac{(\text{WAREHOUSE AREA S.F.}) \times 2.0\%}{(\text{SKYLIGHT SIZE})} = \frac{68,080 \times .02}{32}$$
  
 DESIRED: 43 SKYLIGHTS  
 PROVIDED: 60 SKYLIGHTS

**FUTURE SOLAR:**  
 ROOF AREA: 72,080 S.F.  
 SKYLIGHT AREA: 1920 S.F.  
 ROOF AREA LESS SKYLIGHT: 70,160 S.F.  
 15% OF ROOF AREA (LESS SKYLIGHTS): 10,524 S.F.  
 TOTAL AREA FOR FUTURE SOLAR REQUIRED: 10,524 S.F.\*  
 TOTAL AREA FOR FUTURE SOLAR PROVIDED: 10,600 S.F.  
 \* CEC SECTION 110.10(B)(4) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

**LEGEND**

- SKYLIGHT: (2%) COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.
- FUTURE RTU
- FUTURE SOLAR AREA

**ABBREVIATIONS**

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- L.P. = TOP OF ROOFING - LOW POINT

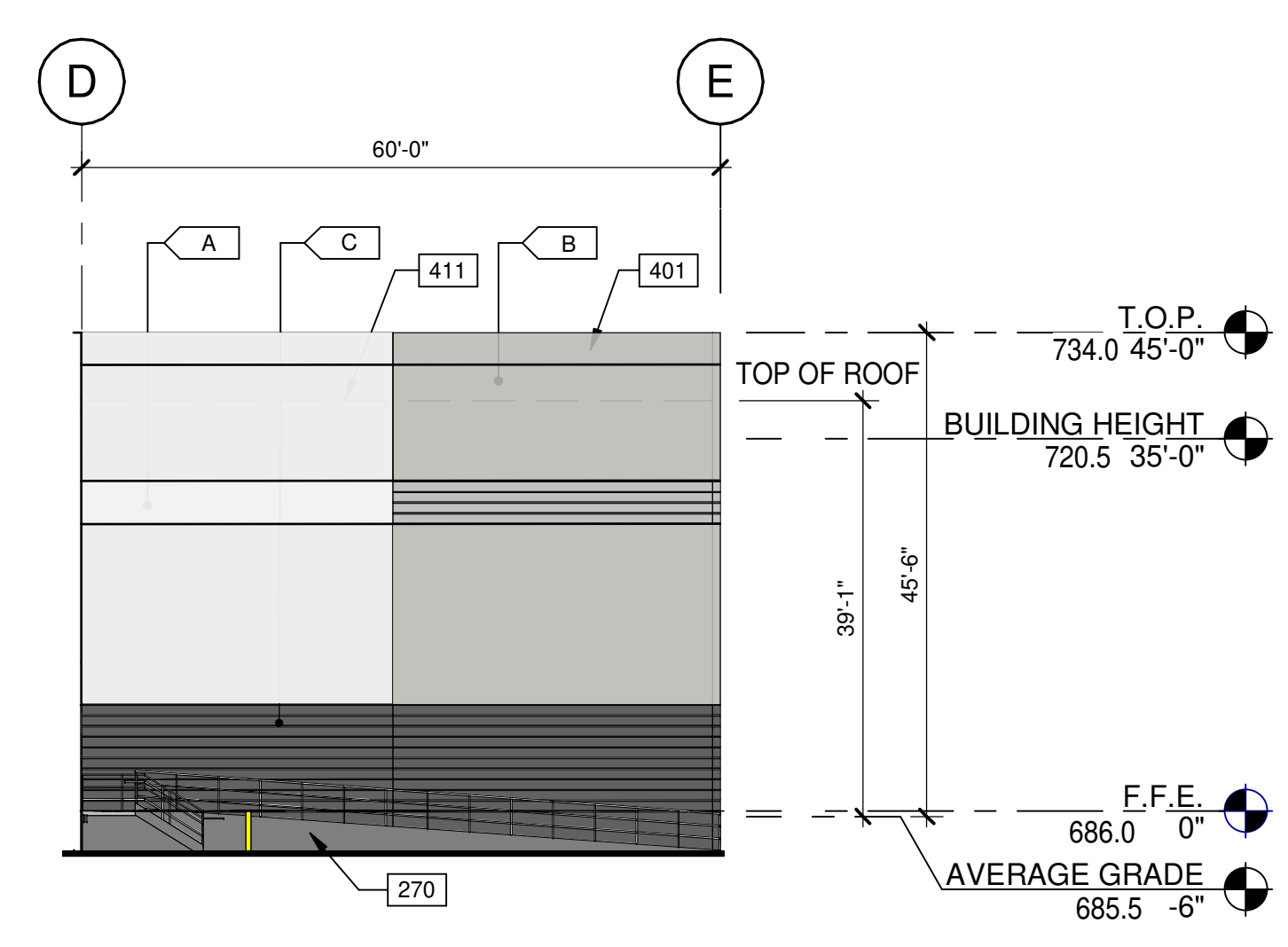
**KEYNOTES:**

- SEE SHEET A0.2 FOR GENERAL NOTES
- 207 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS. DOWNSPOUT SIZE 1'-4" W x 1'-0" H, OVERFLOW SCUPPERS SIZE 1'-6" W x 1'-0" H.
  - 306 SINGLE-PLY ROOFING (ICC-ES REPORT ESR-1284 CBC AND CRC SUPPLEMENT) OVER RIGID INSULATION OVER WOOD DECK.
  - 312 FUTURE RTU.
  - 318 FLOW LINE TO DRAIN. SLOPE OF MIN. 1/4" PER FOOT.
  - 321 4'-0" x 4'-0" PREFABRICATED UNIT SKYLIGHT WITH INTEGRAL CURB.
  - 350 LINE OF STRUCTURAL FRAMING BELOW DECK (HIDDEN).
  - 352 LINE OF CANOPY BELOW.
  - 361 RIDGELINE.
  - 364 TYPE L-810 RED FAA OBSTRUCTION LIGHT.

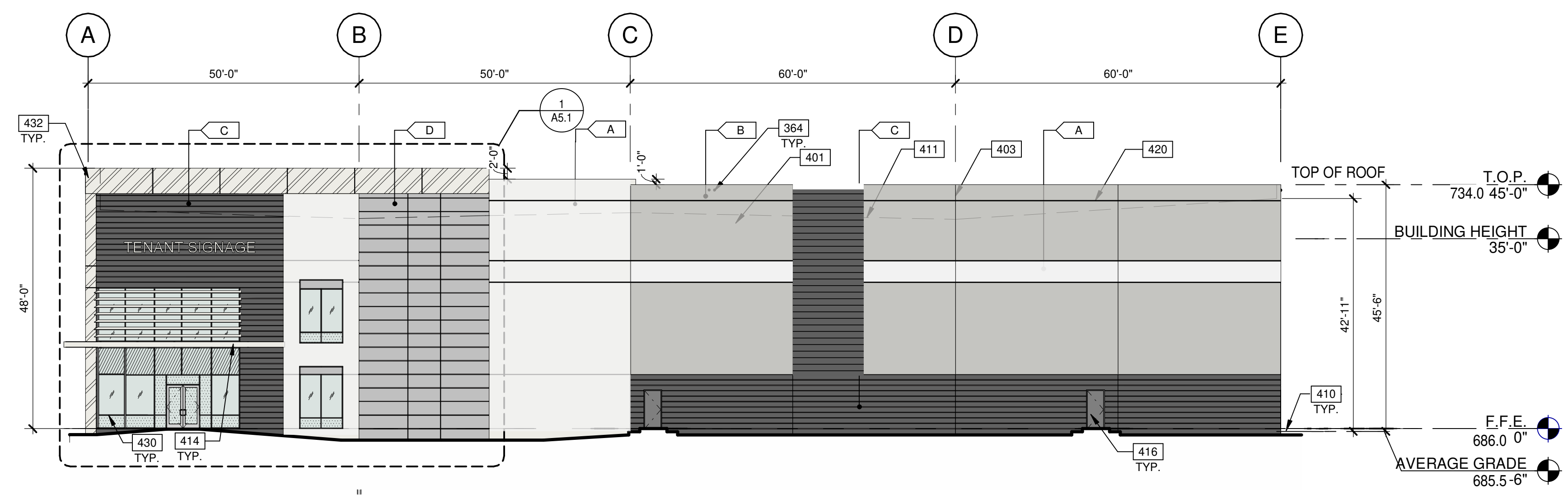
DATE	REVISIONS
12/02/2022	Planning Package
07/16/2024	Planning Resubmittal

<b>PA/PM:</b>	M. DANNENBERG
<b>DRAWN BY:</b>	M.I.E.S.
<b>JOB NO.:</b>	LAX21-0108-00

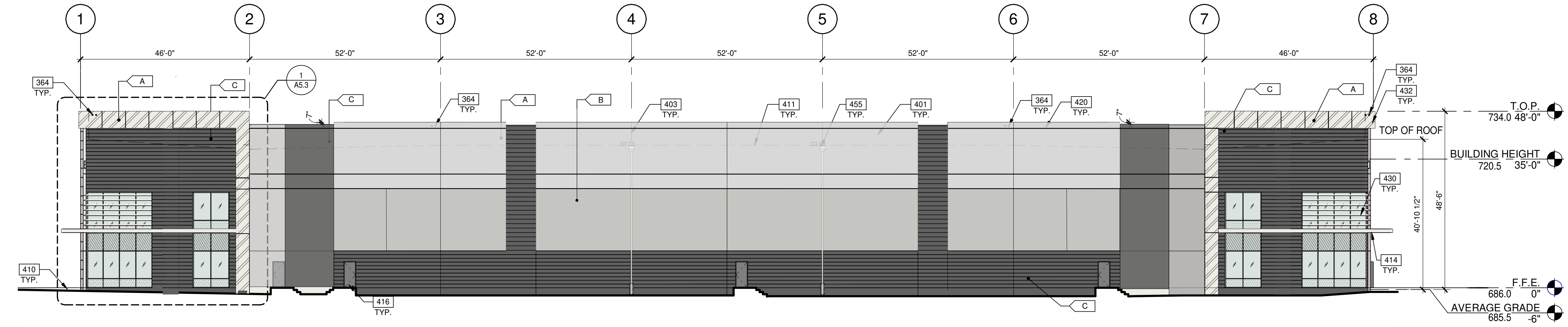




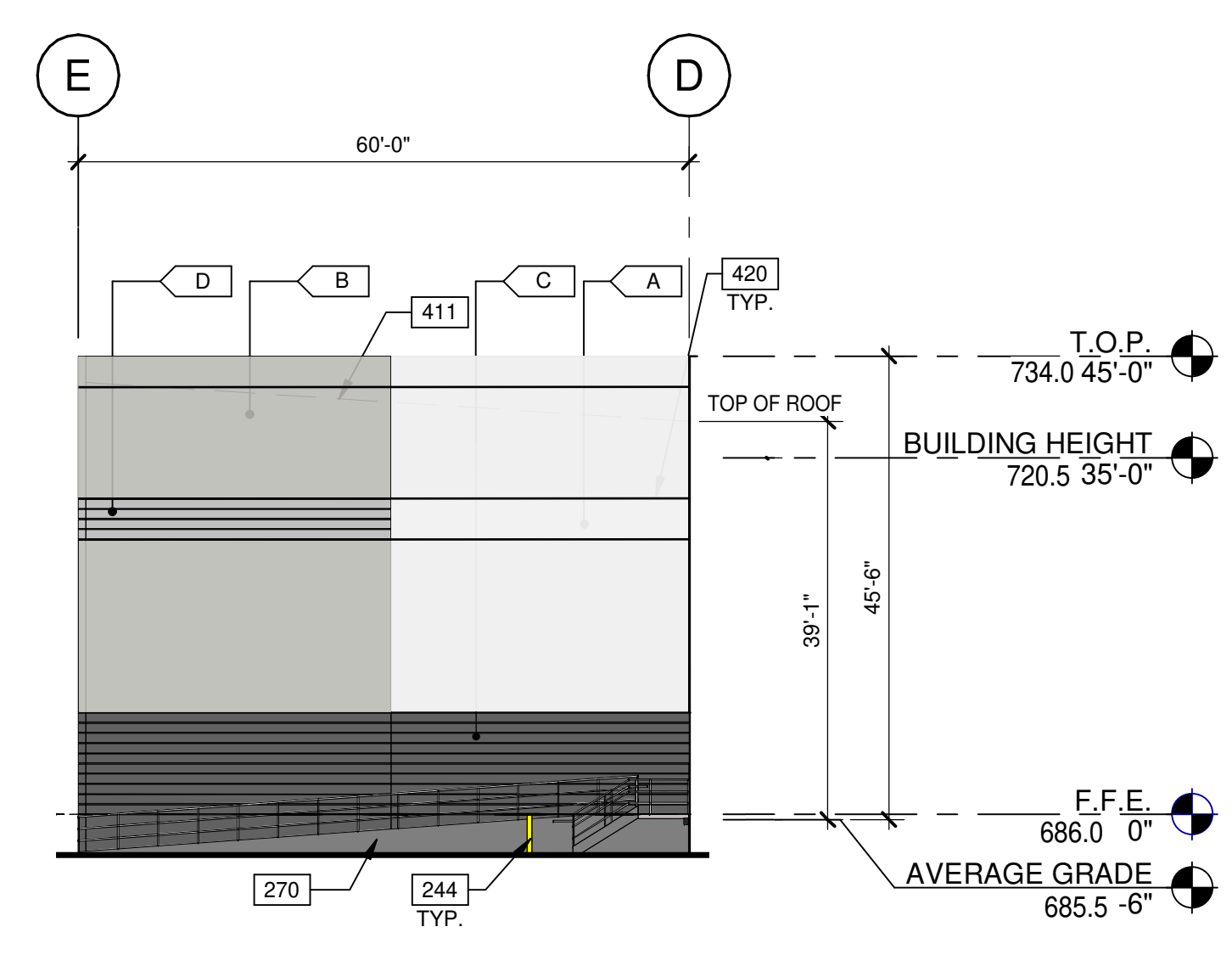
PARTIAL EAST EXTERIOR ELEVATION (1A) SCALE: 1/16" = 1'-0"



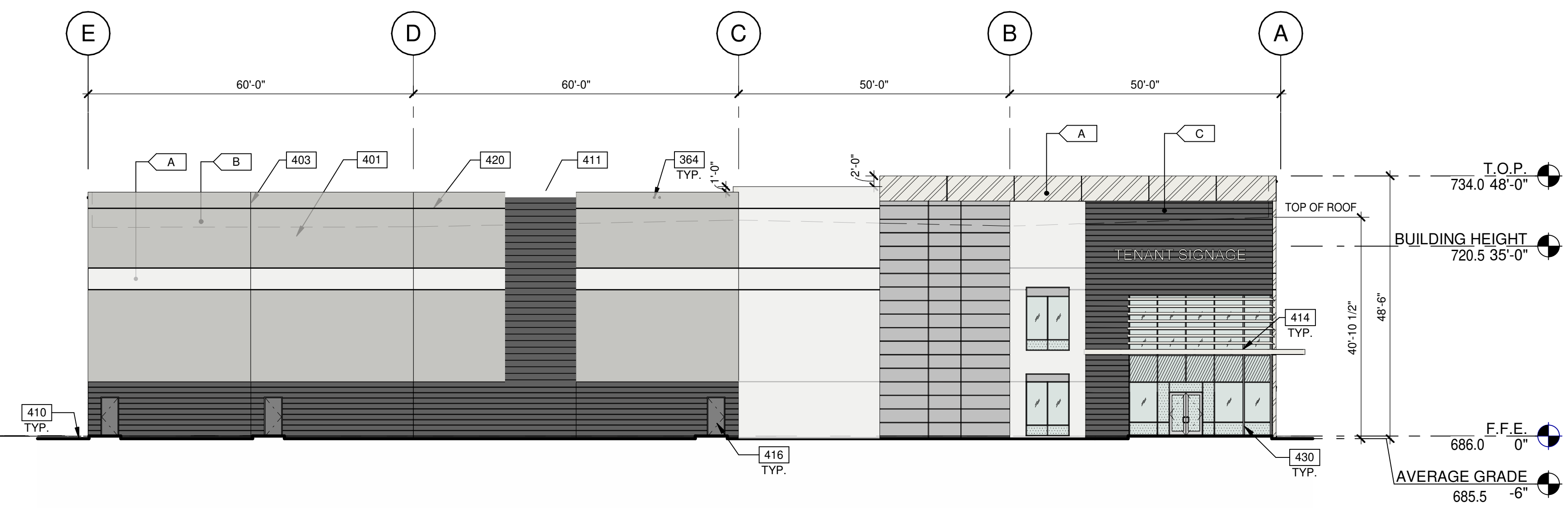
EAST EXTERIOR ELEVATION (1) SCALE: 1/16" = 1'-0"



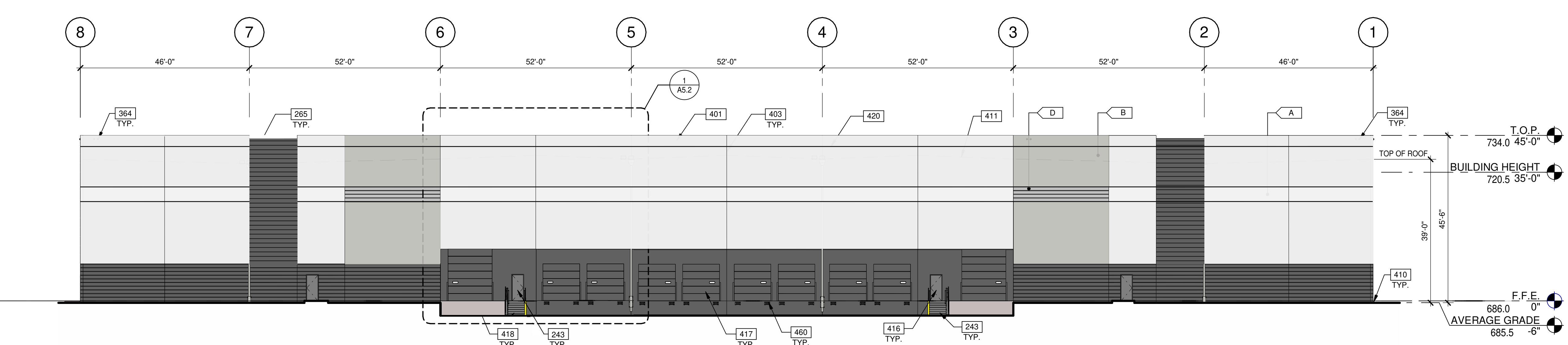
SOUTH EXTERIOR ELEVATION (2) SCALE: 1/16" = 1'-0"



PARTIAL WEST EXTERIOR ELEVATION (3A) SCALE: 1/16" = 1'-0"



WEST EXTERIOR ELEVATION (3) SCALE: 1/16" = 1'-0"



NORTH EXTERIOR ELEVATION (4) SCALE: 1/16" = 1'-0"

KEYNOTES:

- 243 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
244 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
265 PRIMARY AND SECONDARY ROOF DRAIN LEADERS, TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.
270 CONCRETE RAMP.
364 TYPE L-810 RED FAA OBSTRUCTION LIGHT.
401 CONCRETE WALL PAINTED.
403 CONCRETE WALL JOINT.
410 FINISH GRADE VARIES.
411 LINE OF ROOF BEYOND.
414 METAL CANOPY.
416 MAN DOOR.
417 SECTIONAL DOOR (DOCK HIGH).
418 SECTIONAL DOOR (ON GRADE).
420 3/4" V-REVEAL.
430 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
432 EXTERIOR ALUMINUM COMPOSITE METAL.
455 DRAIN LEADER, PAINTED TO MATCH ADJACENT WALL.
460 DOCK BUMPER.

LEGEND

- MATERIALS:
EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL.
FORMLINER, FITZGERALD, 14308 FLUTED RIB-1" DEEP, 4"O.C.
GLASS:
VISION GLASS.
SPANDREL GLASS.
TEMPERED GLASS.

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
VITRO GRANITE GLASS
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

- COLORS:
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
A BASE COLOR: SHERMAN WILLIAMS-SW7005(PURE WHITE)
B SECONDARY COLOR: SHERMAN WILLIAMS-TBD
C ACCENT COLOR: SHERMAN WILLIAMS-TBD
D ACCENT COLOR: SHERMAN WILLIAMS-TBD

DOOR TYPES

- (SF1) 3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)
(SF2) 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)
(FI1) 3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
(FI2) 4'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR

DOOR NOTES

- (SD1) 8'-0" x 10'-0" DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.
(SD2) 12'-0" x 14'-0" SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.
BUTT HINGES:
BOSS: STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
BUILDING MEASUREMENT
915 Wilshire Blvd., Suite #1450
Los Angeles, CA 90017
P: 310.903.3000

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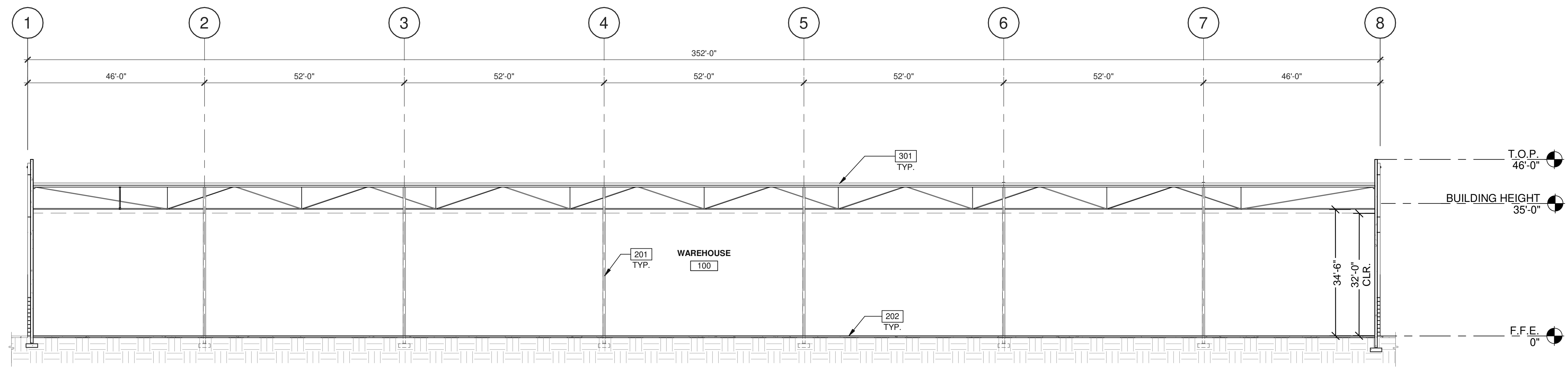
THORNTON AVE
EXPANSION
3311 THORNTON AVE.,
BURBANK CALIFORNIA 91504

Table with columns: DATE, REMARKS, Planning Package, Planning Residential

P.A.P.M.: M.DANNENBERG
DRAWN BY: M.I.E.S.
JOB NO.: LAX21-0108-00

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**BUILDING SECTION 1**  
SCALE: 1/16" = 1'-0"

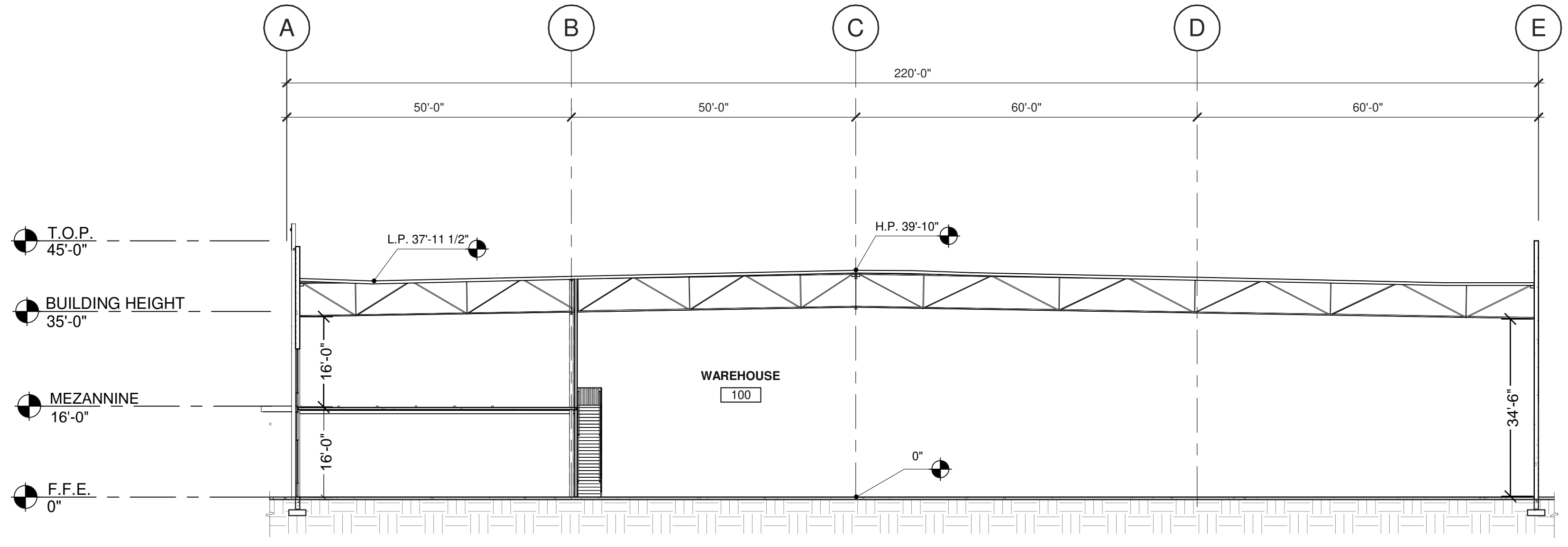
**KEYNOTES:**

- SEE SHEET A0.2 FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
  - 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
  - 301 SINGLE-PLY ROOFING OVER RIGID INSULATION.

**WALL LEGEND**

- CONCRETE WALL
- INTERIOR NON-RATED PARTITION
- 1HR FIRE RESISTANCE RATED

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ARCHITECTURE  
PLANNING  
INTERIORS  
CIVIL ENGINEERING  
BRANDS  
BUILDING MEASUREMENT  
10 Folsom  
Berkeley, CA 94704  
P: 949.659.9128



**BUILDING SECTION 2**  
SCALE: 1/16" = 1'-0"

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**THORNTON AVE  
EXPANSION  
3311 THORNTON AVE.,  
BURBANK CALIFORNIA 91504**

BUILDING SECTIONS	
DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Resubmittal

<b>P.A.P.M.:</b>	Approver
<b>DRAWN BY:</b>	Author
<b>JOB NO.:</b>	LAX21-0108-00

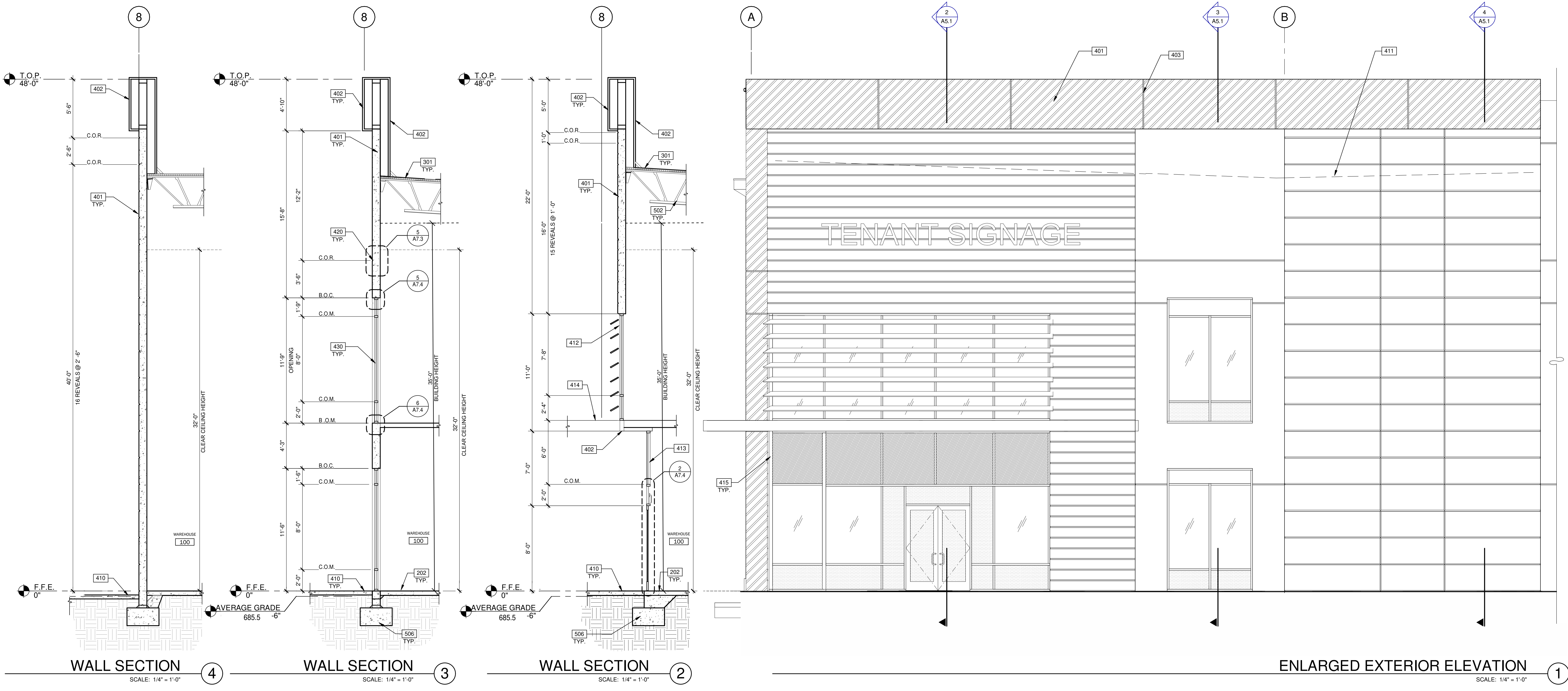
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ENLARGED ELEVATION, PLAN AND WALL SECTIONS

DATE	REVISIONS
12/09/2022	Planning Package
07/02/2024	Planning Resubmittal

P.A.P.M.:	M. DANNENBERG
DRAWN BY:	M.I.E.S.
JOB NO.:	LAX21-0108-00



**KEYNOTES:**

- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 301 SINGLE PLY ROOFING OVER RIGID INSULATION.
- 401 CONCRETE WALL, PAINTED.
- 402 PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD FRAMING.
- 403 CONCRETE WALL JOINT.
- 410 FINISH GRADE VARIES.
- 411 LINE OF ROOF BEYOND.
- 412 ALUMINUM LOUVERS TO MATCH STOREFRONT MULLION FINISH.
- 413 SPANDREL GLAZING.
- 414 METAL CANOPY.
- 415 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 420 3/4" V-REVEAL.
- 430 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 502 STRUCTURAL STEEL JOIST.
- 506 CONCRETE FOOTING.

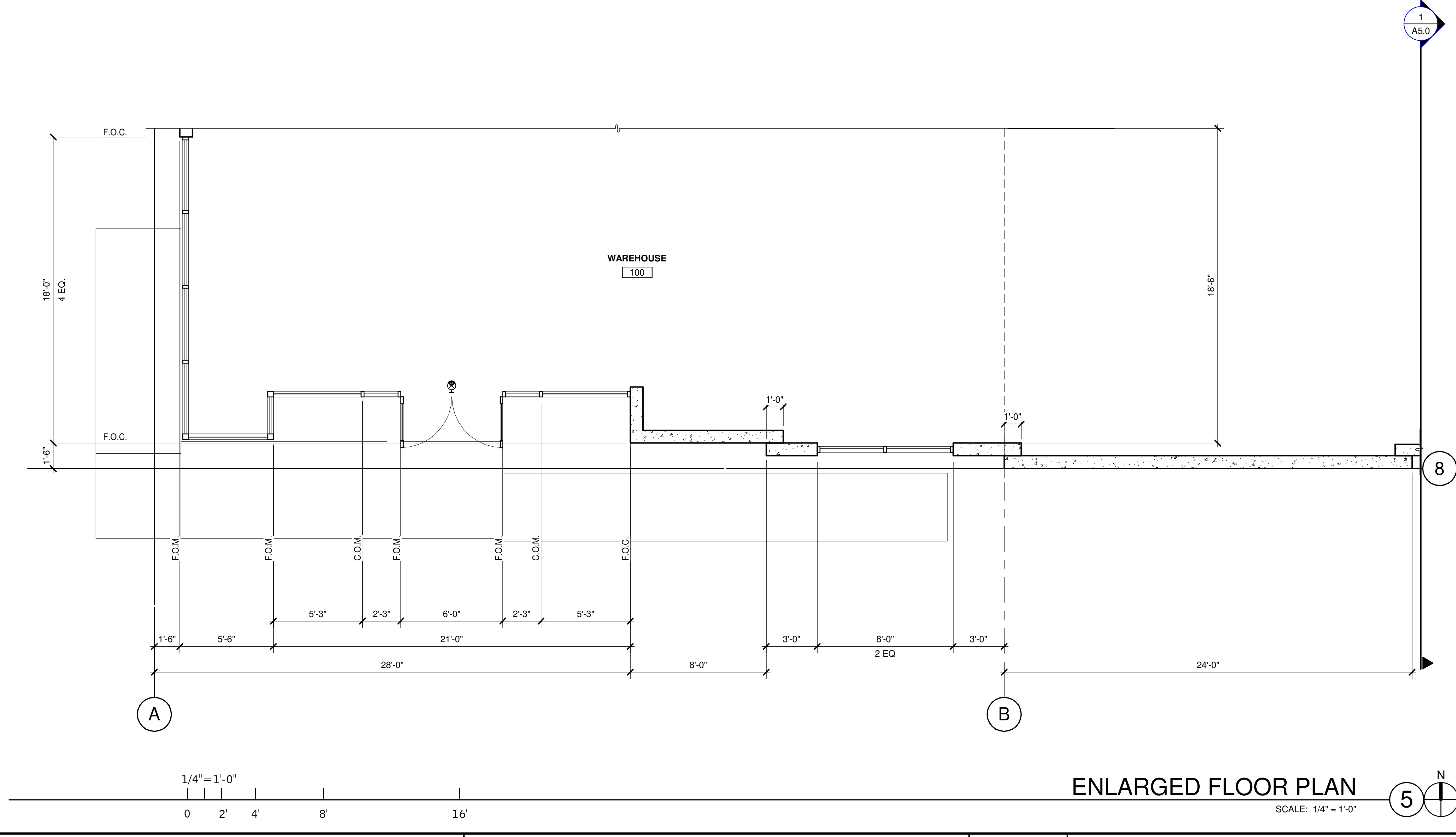
**WALL LEGEND**

- CONCRETE WALL
- INTERIOR NON-RATED PARTITION
- 1HR FIRE RESISTANCE RATED

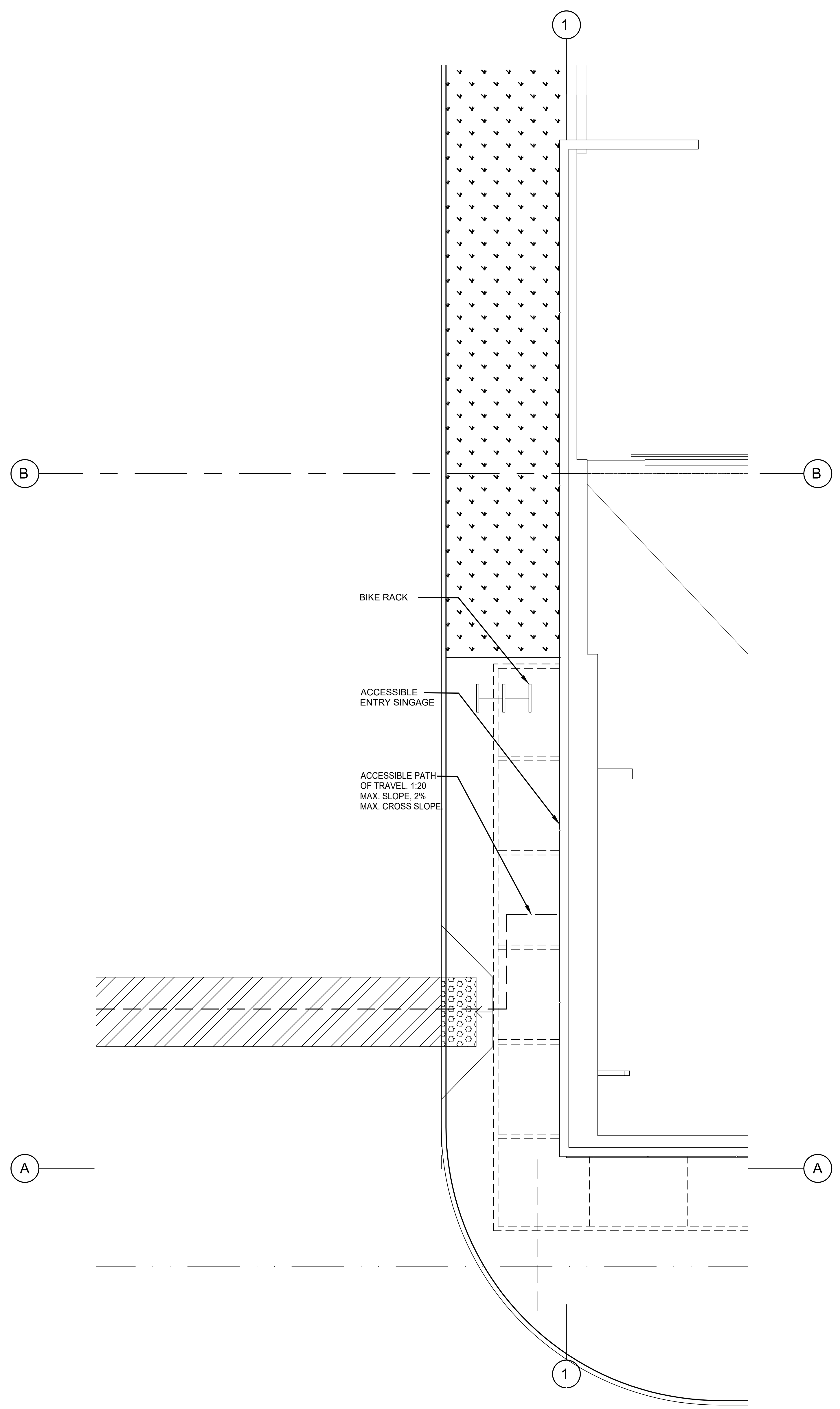
**LEGEND**

- GLASS:**
- VISION GLASS
  - SPANDREL GLASS
  - TEMPERED GLASS

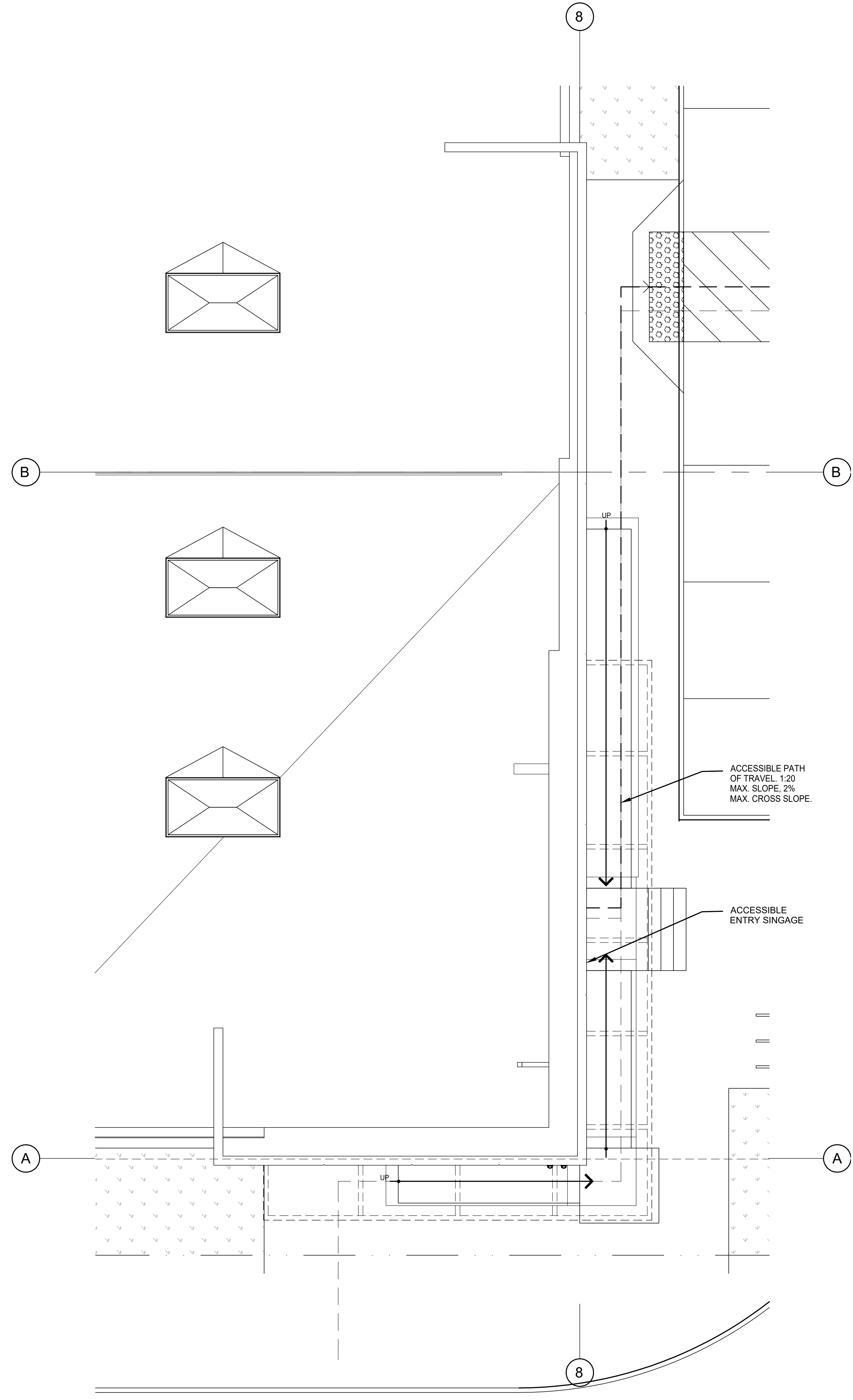
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 VITRO GRANITE GLASS  
 U FACTOR = 0.28 AND SHGC = 0.28  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT







ENLARGED SITE PLAN  
SCALE: 1/4" = 1'-0" 2



ENLARGED SITE PLAN  
SCALE: 1/4" = 1'-0" 1

BM 3021 JAN 21 09:56 3111 Thornton Ave Expansion19\_2021.dwg

Customer: Thorntons/Thornton - New - Newcomer/Builders  
915 Wilshire Blvd  
Los Angeles, CA 90017  
P 310.963.4000

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EXPANSION  
3311 THORNTON AVE.,  
BURBANK CALIFORNIA 91504

ENLARGED PLAN

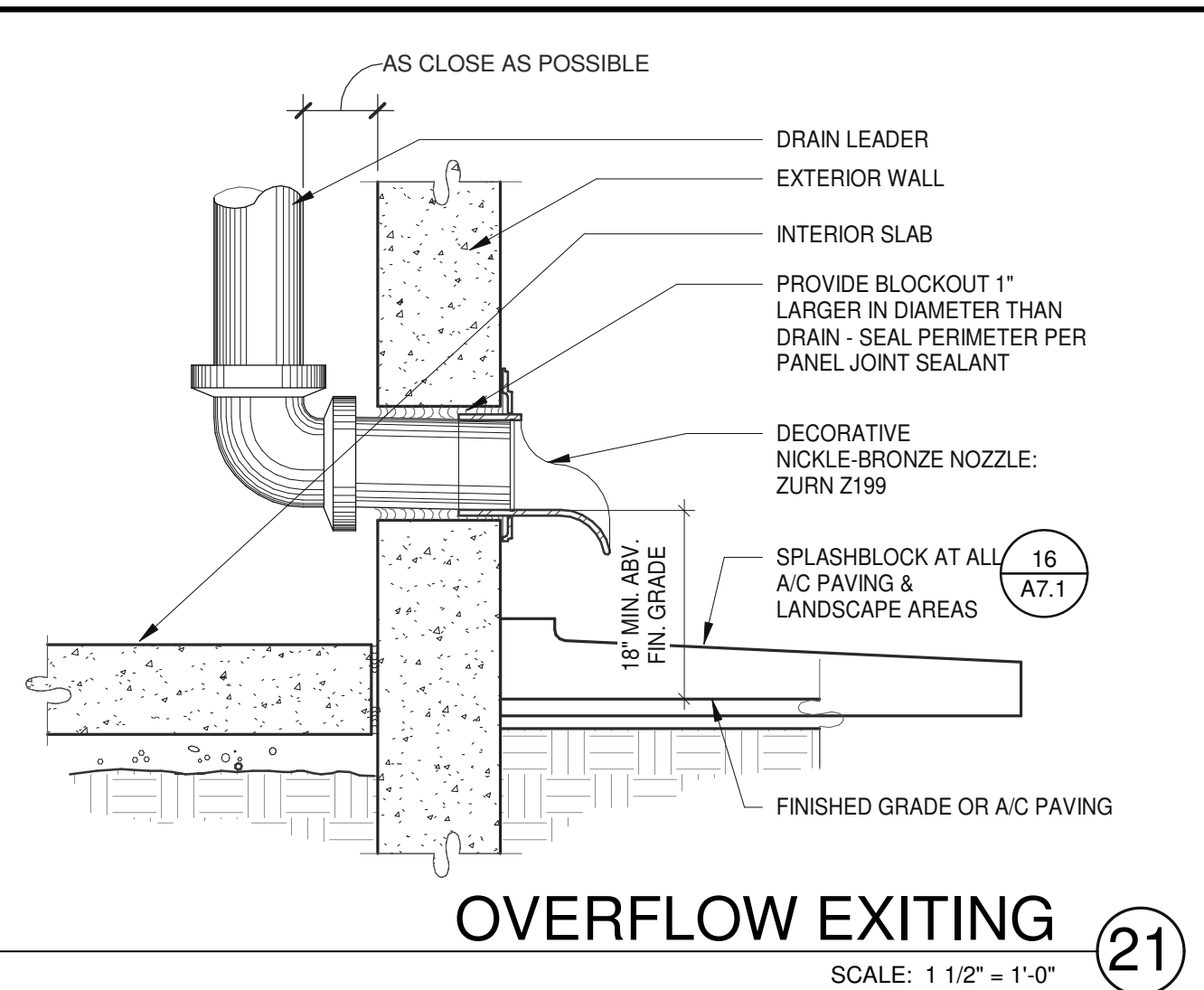
DATE	REMARKS
12/02/2022	Planning Package
07/02/2024	Planning Resubmittal

PA/PM:	Approver
DRAWN BY:	Author
JOB NO.:	LAX21-0108-00

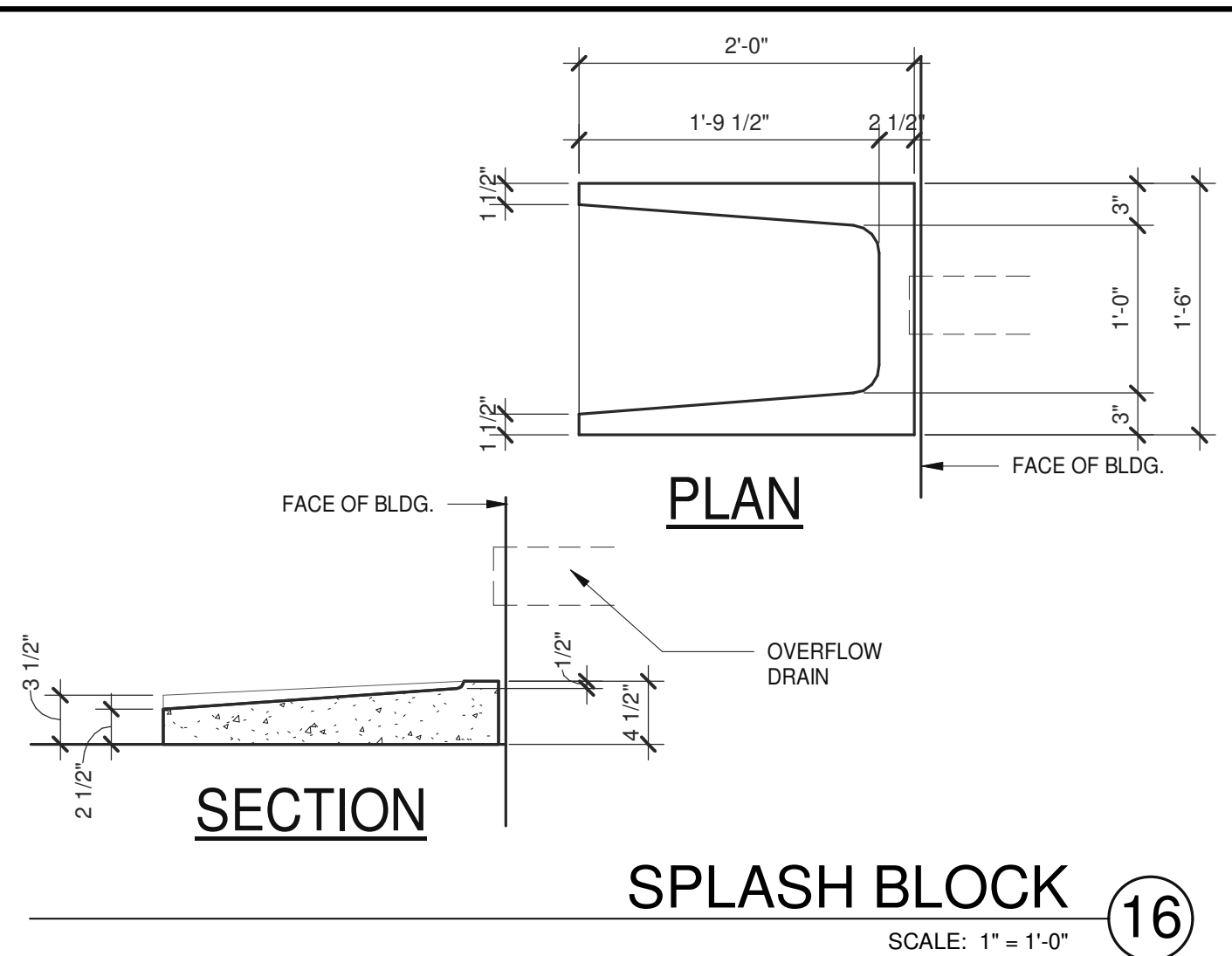
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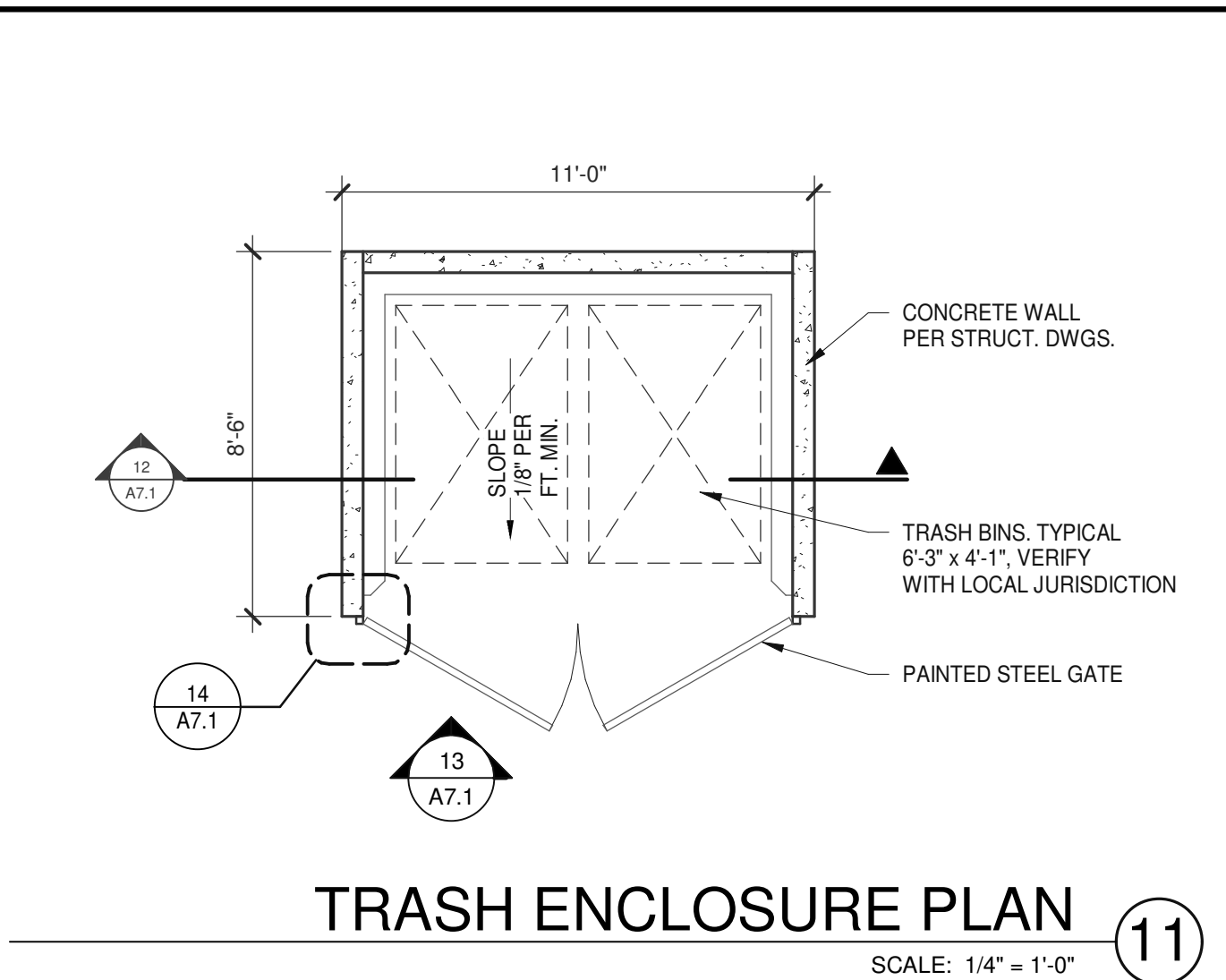




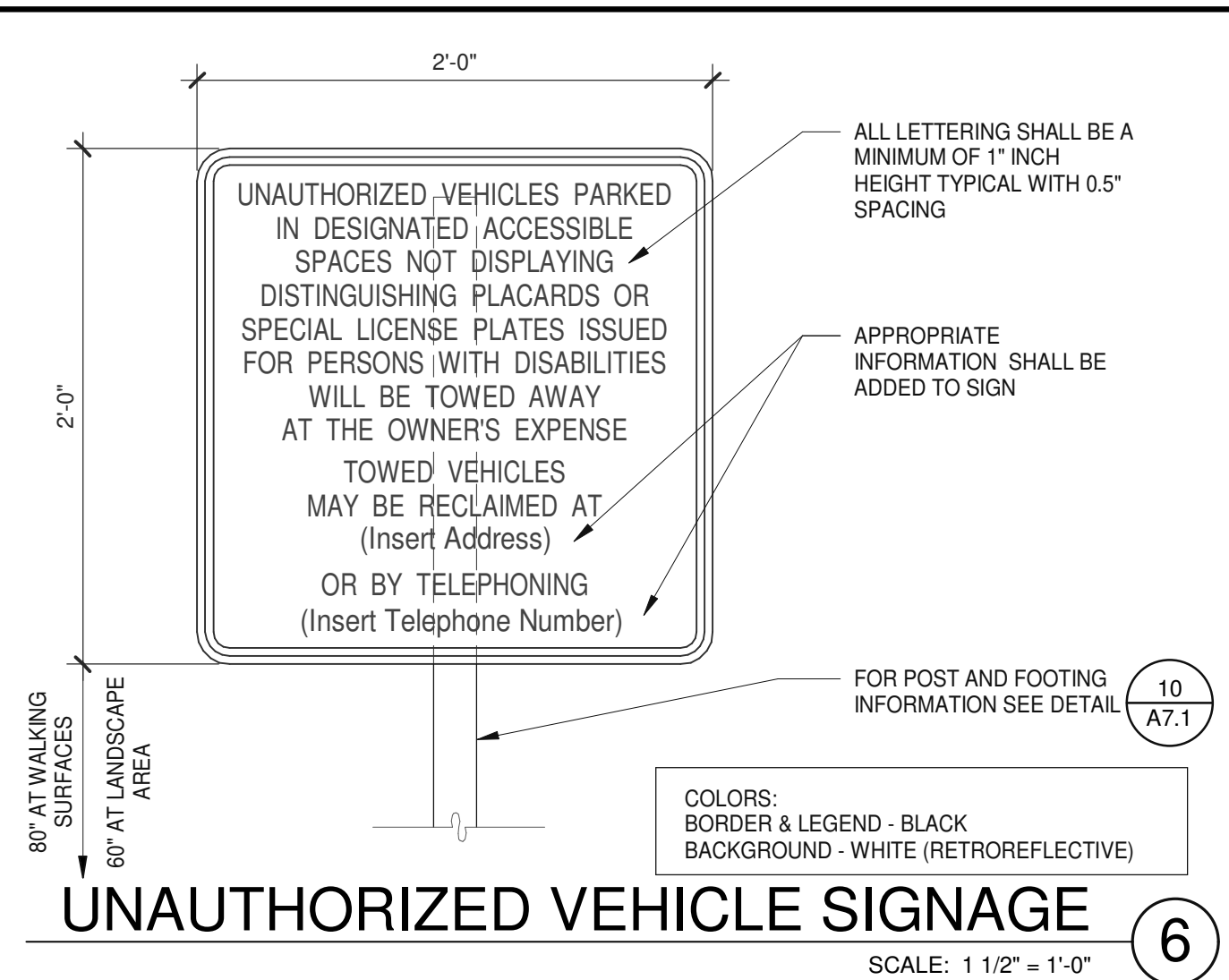
OVERFLOW EXITING 21  
SCALE: 1 1/2" = 1'-0"



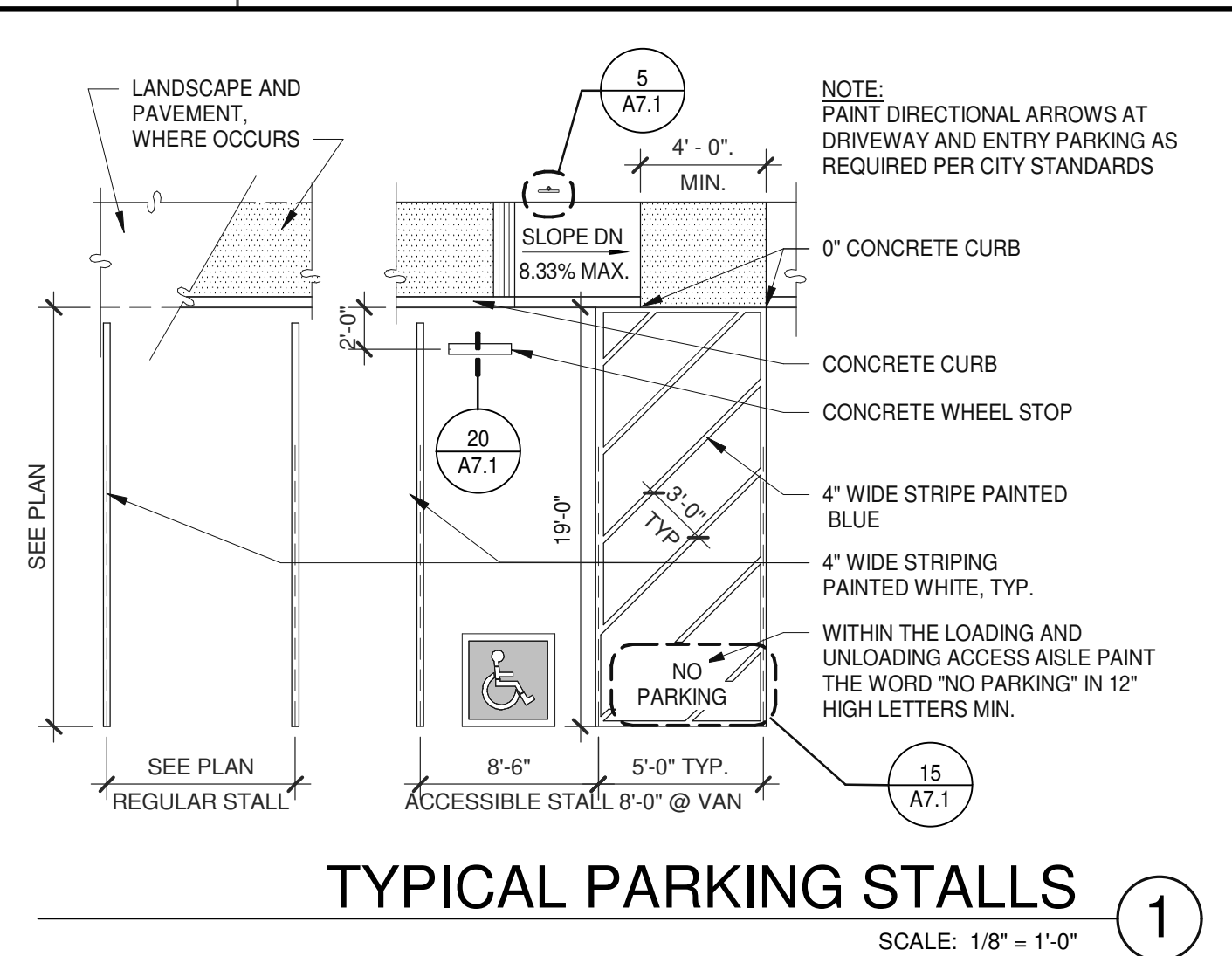
SPLASH BLOCK 16  
SCALE: 1" = 1'-0"



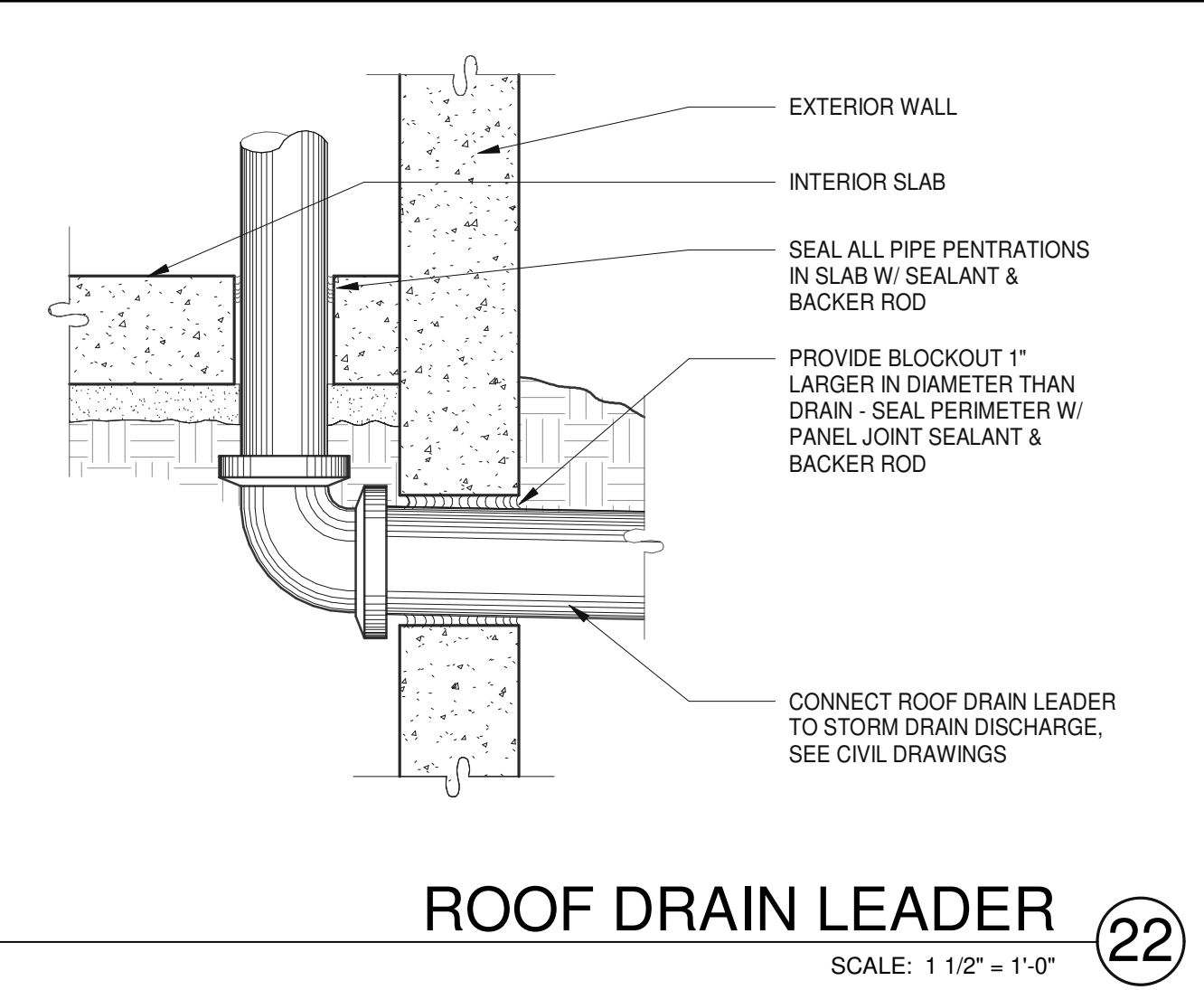
TRASH ENCLOSURE PLAN 11  
SCALE: 1/4" = 1'-0"



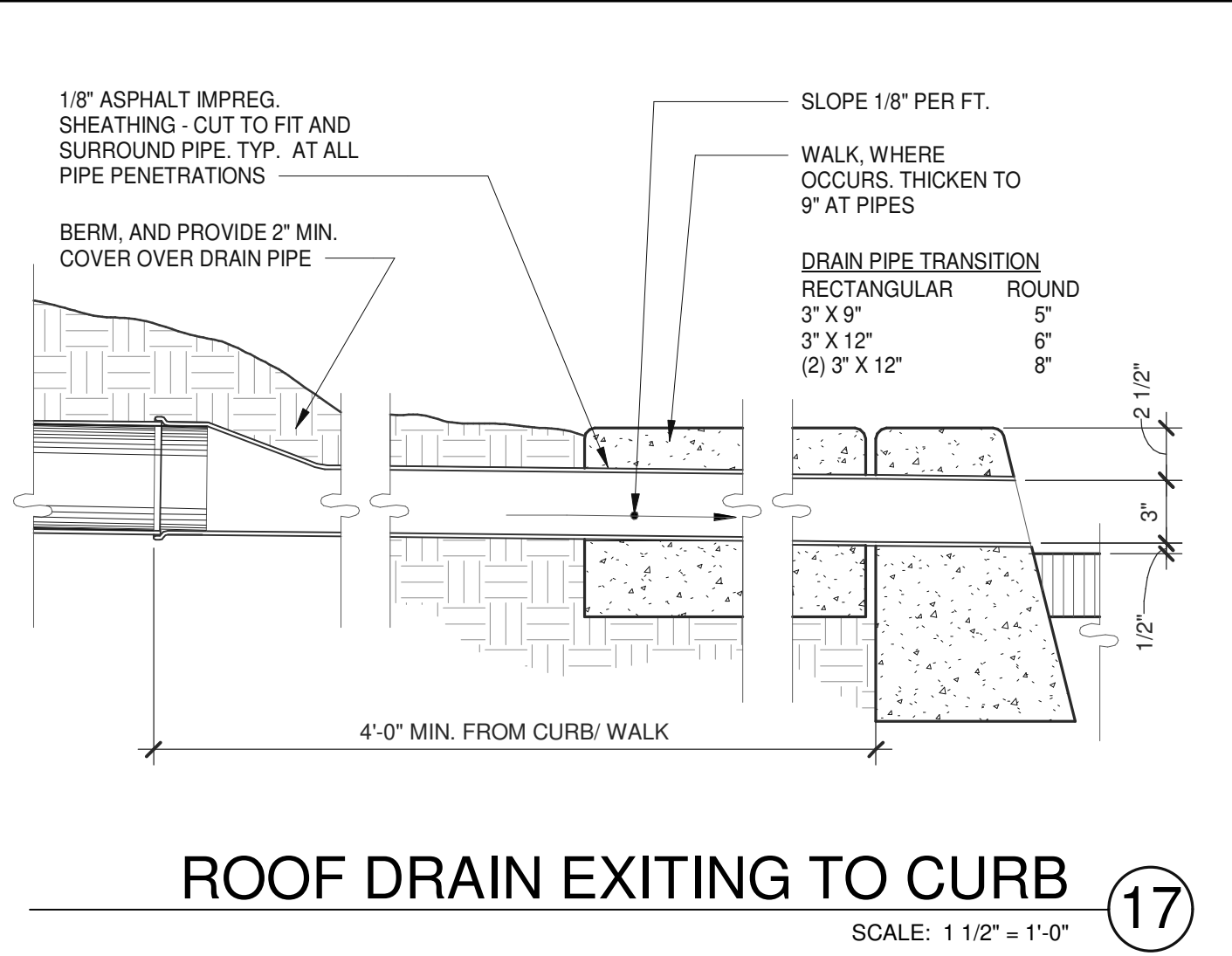
UNAUTHORIZED VEHICLE SIGNAGE 6  
SCALE: 1 1/2" = 1'-0"



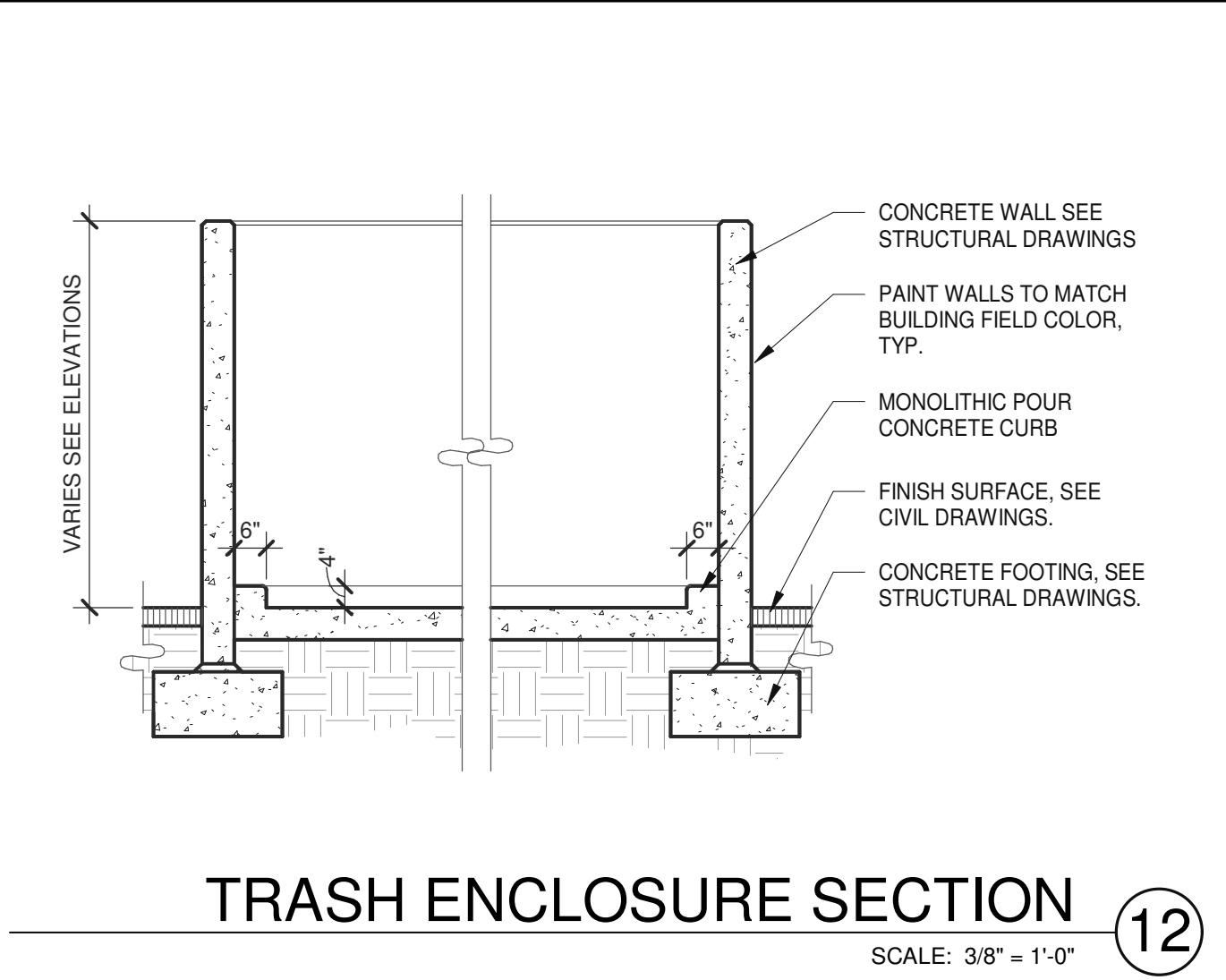
TYPICAL PARKING STALLS 1  
SCALE: 1/8" = 1'-0"



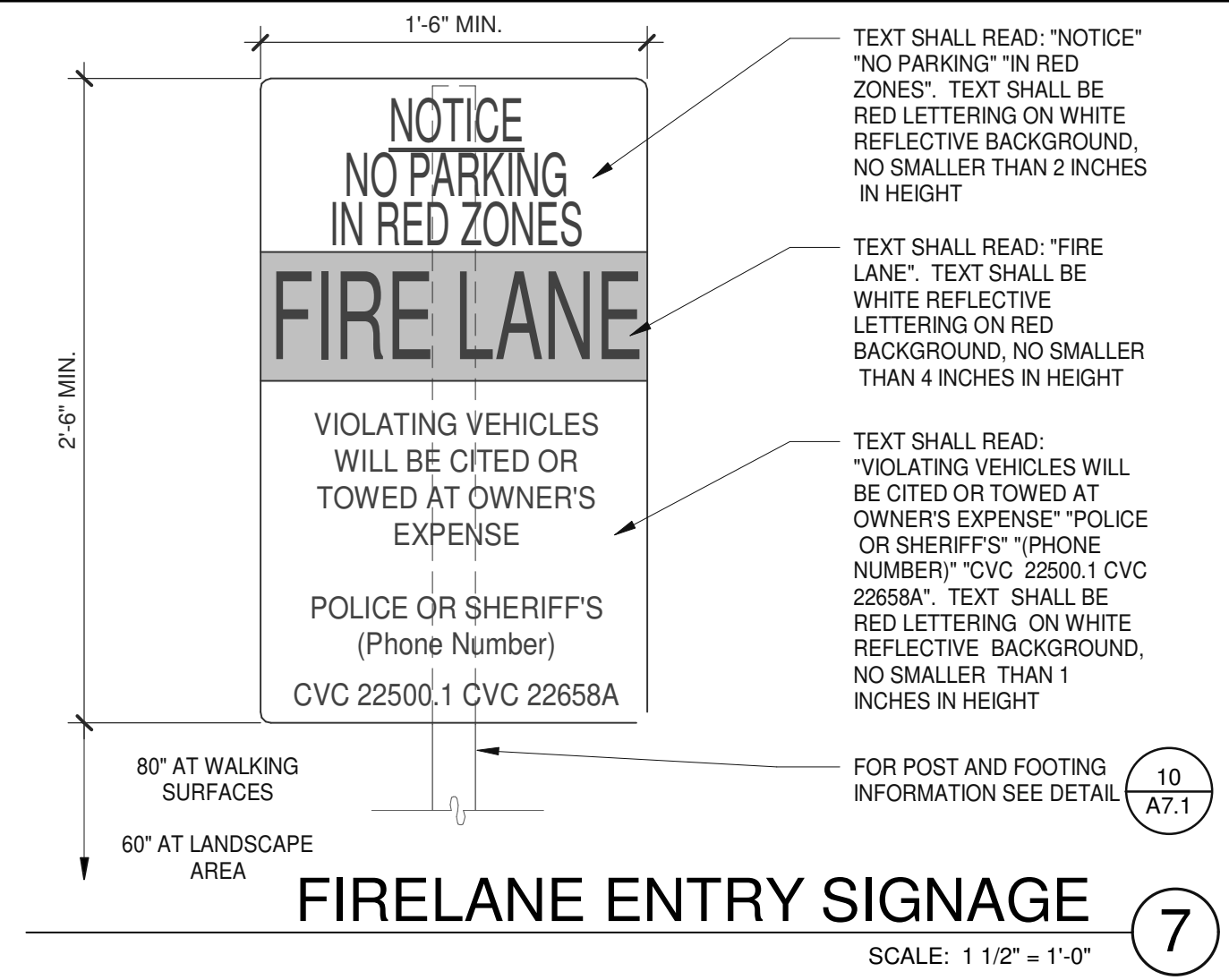
ROOF DRAIN LEADER 22  
SCALE: 1 1/2" = 1'-0"



ROOF DRAIN EXITING TO CURB 17  
SCALE: 1 1/2" = 1'-0"



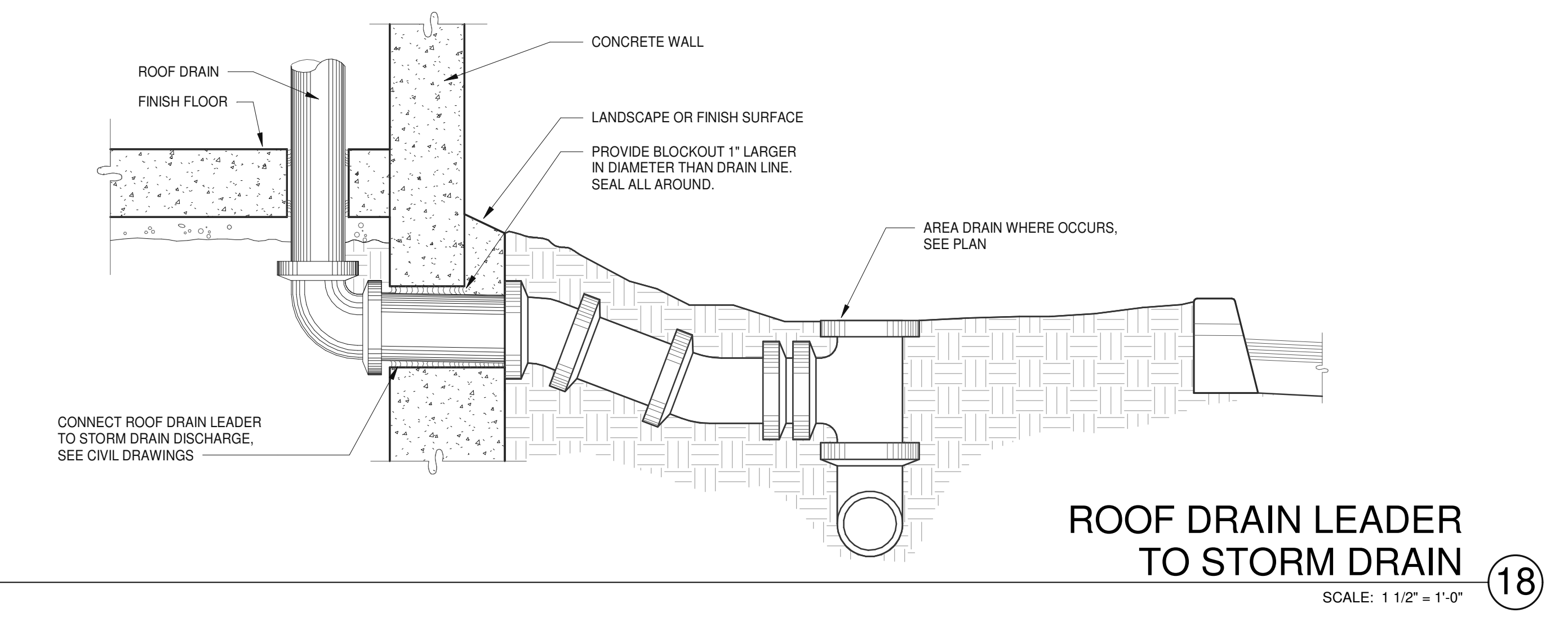
TRASH ENCLOSURE SECTION 12  
SCALE: 3/8" = 1'-0"



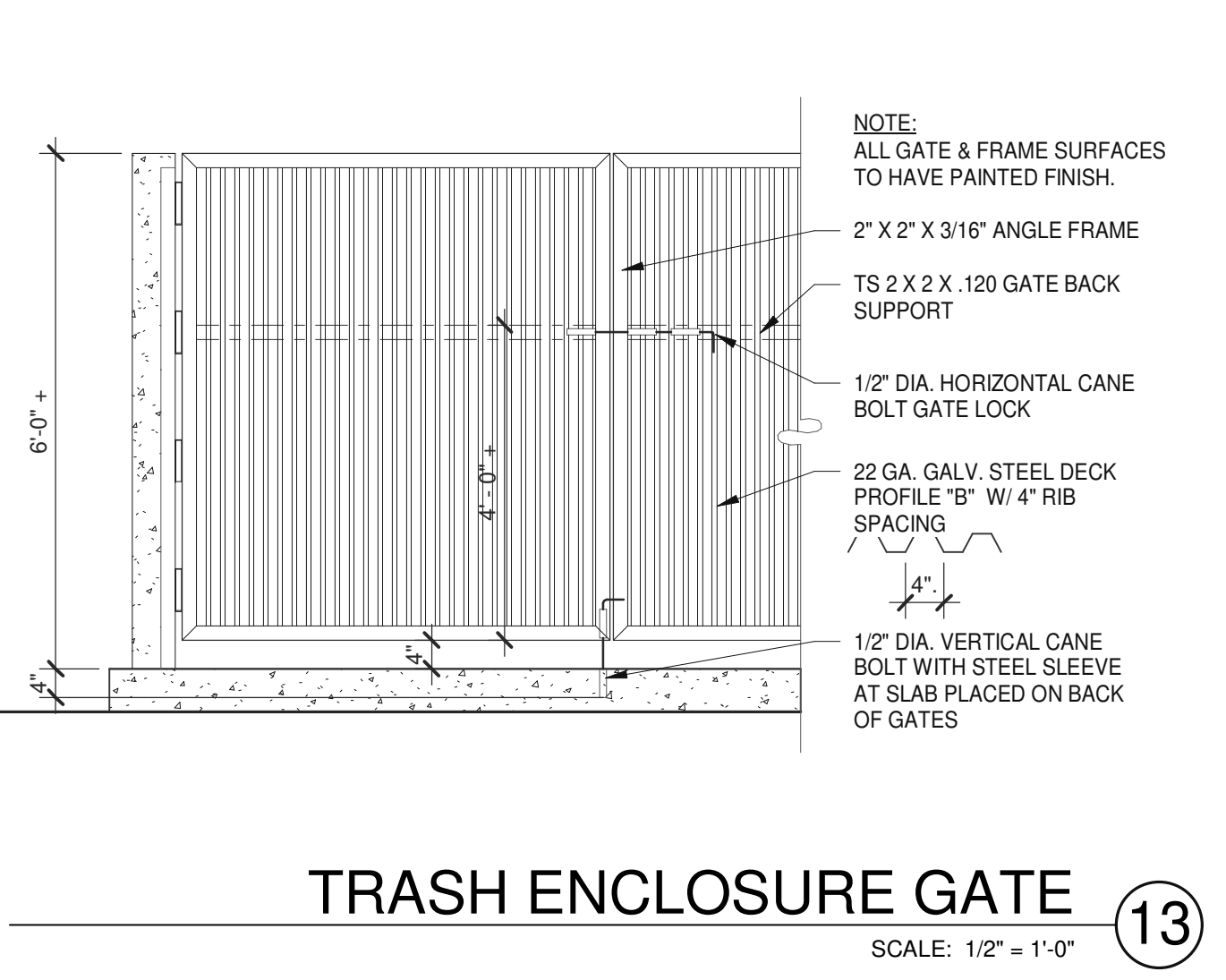
FIRELANE ENTRY SIGNAGE 7  
SCALE: 1 1/2" = 1'-0"



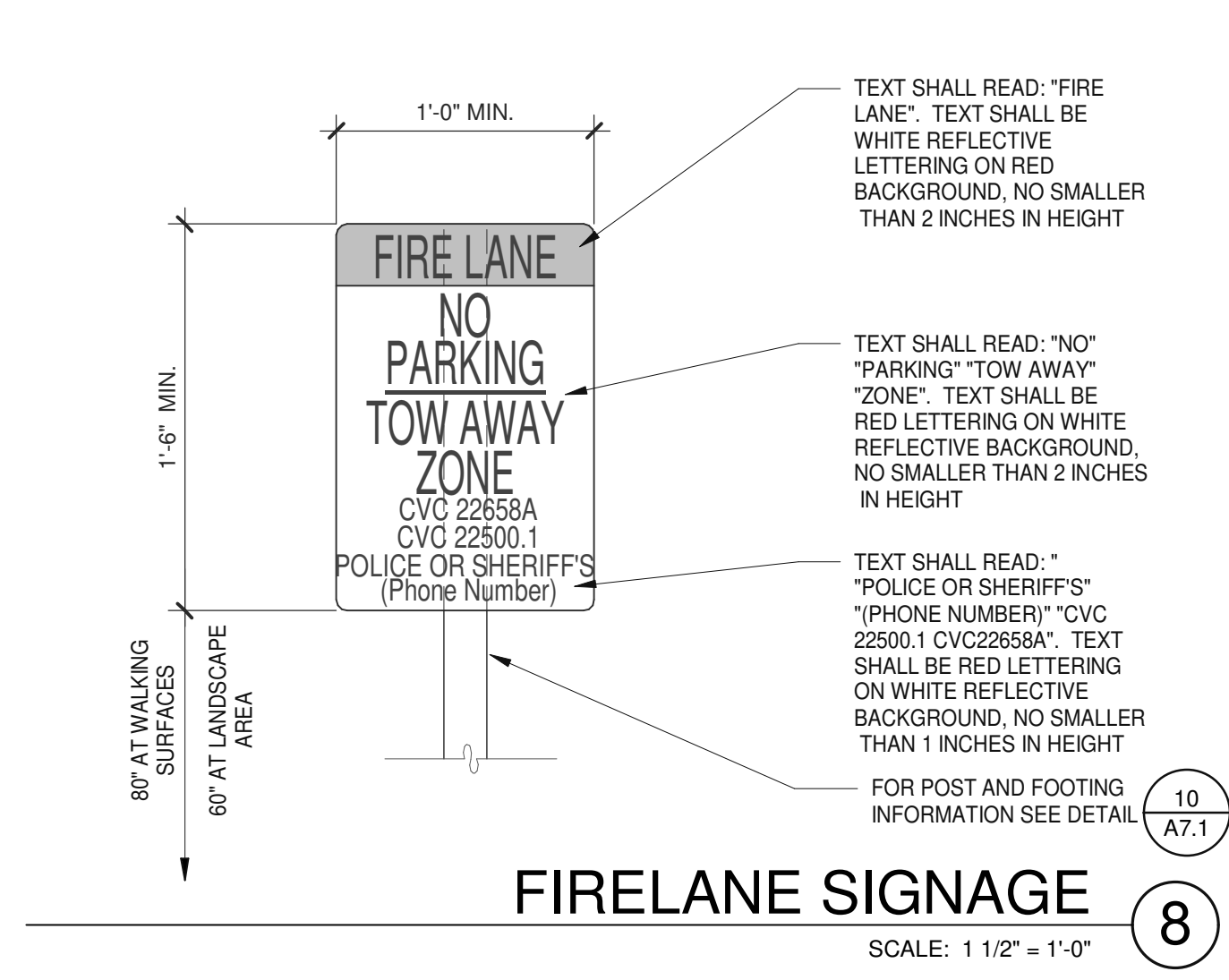
FIRELANE SIGNAGE 8  
SCALE: 1 1/2" = 1'-0"



ROOF DRAIN LEADER TO STORM DRAIN 18  
SCALE: 1 1/2" = 1'-0"



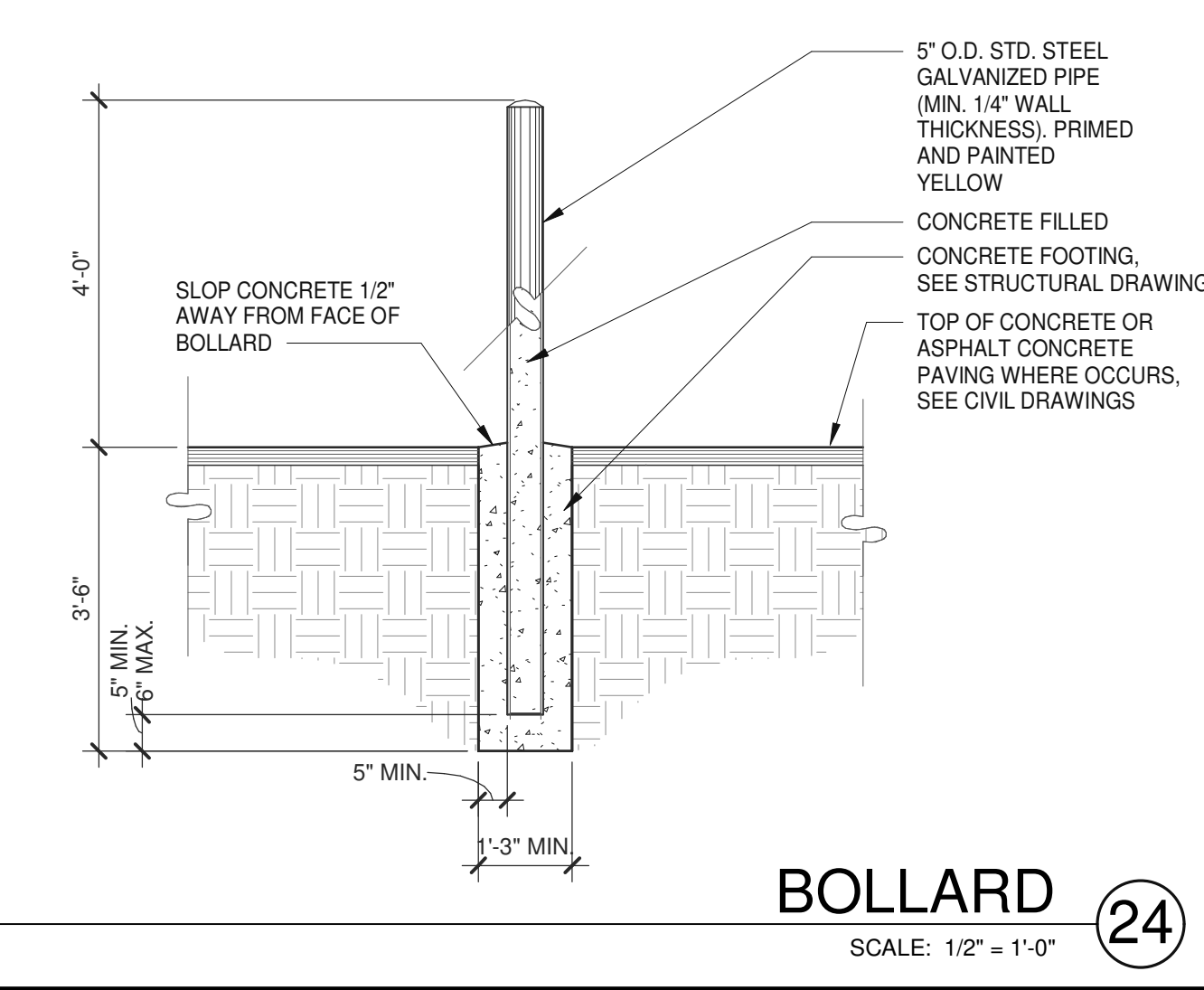
TRASH ENCLOSURE GATE 13  
SCALE: 1/2" = 1'-0"



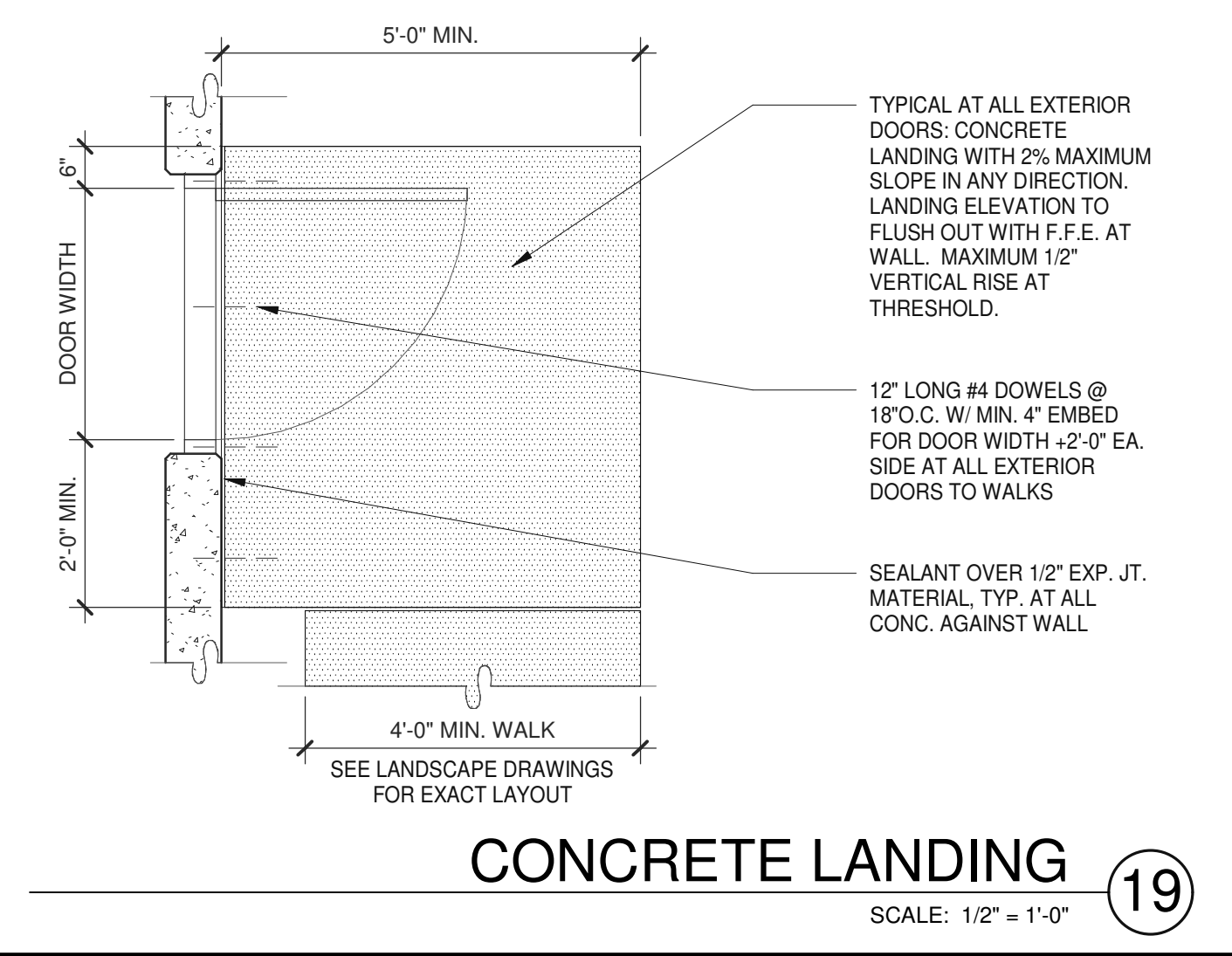
ACCESSIBLE DIRECTION SIGN 9  
SCALE: 1 1/2" = 1'-0"



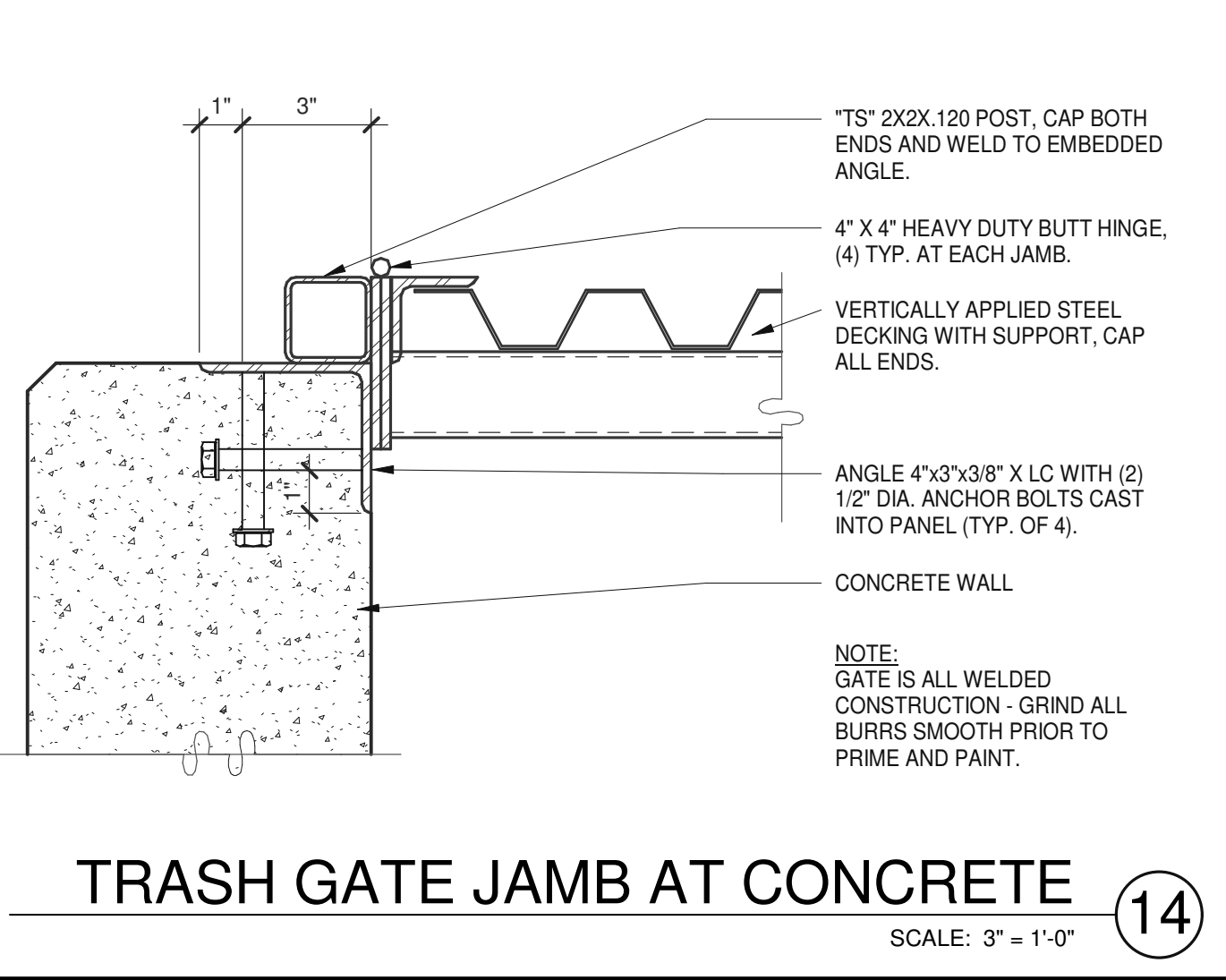
ACCESSIBLE SIGNS 4  
SCALE: 1 1/2" = 1'-0"



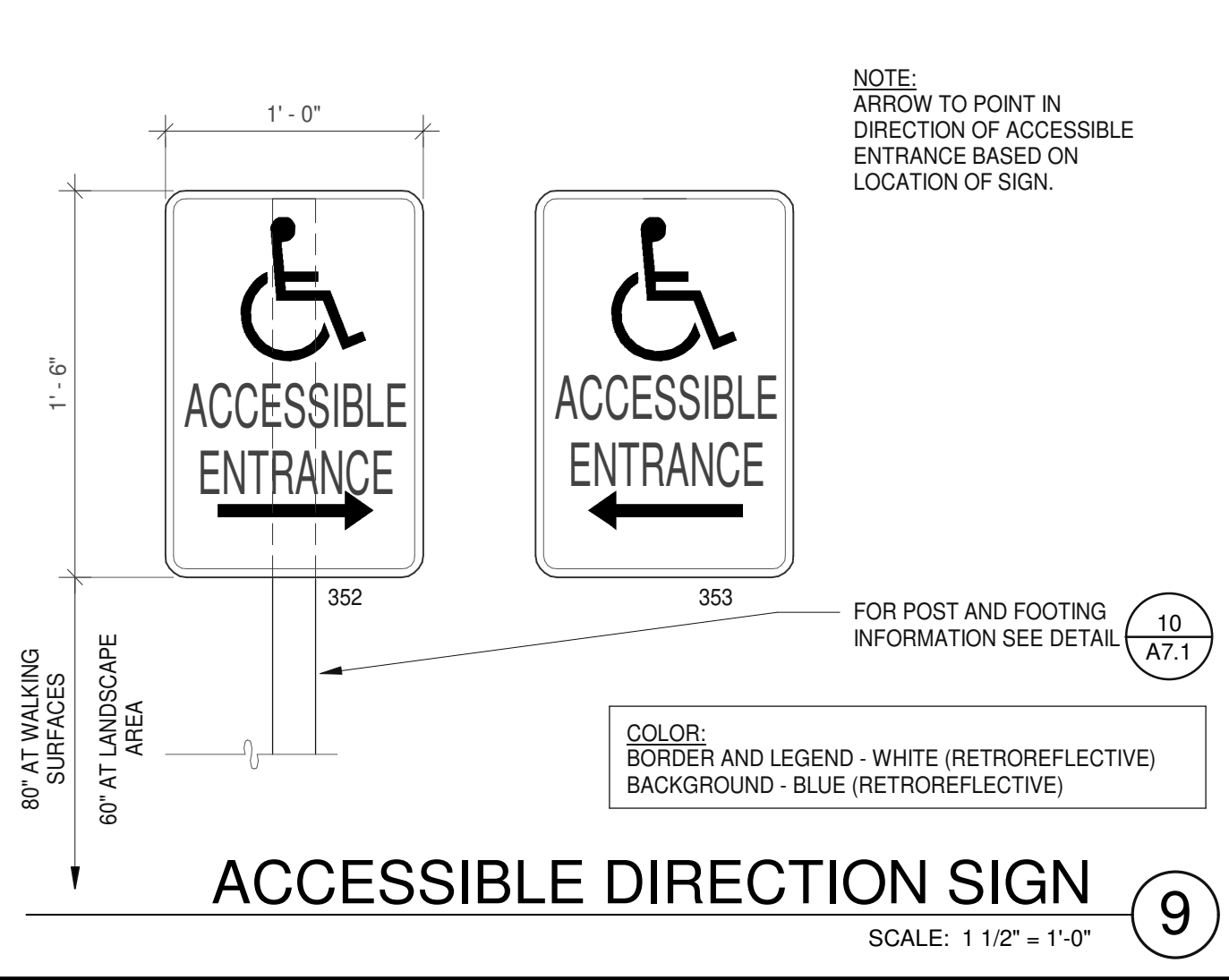
BOLLARD 24  
SCALE: 1/2" = 1'-0"



CONCRETE LANDING 19  
SCALE: 1/2" = 1'-0"



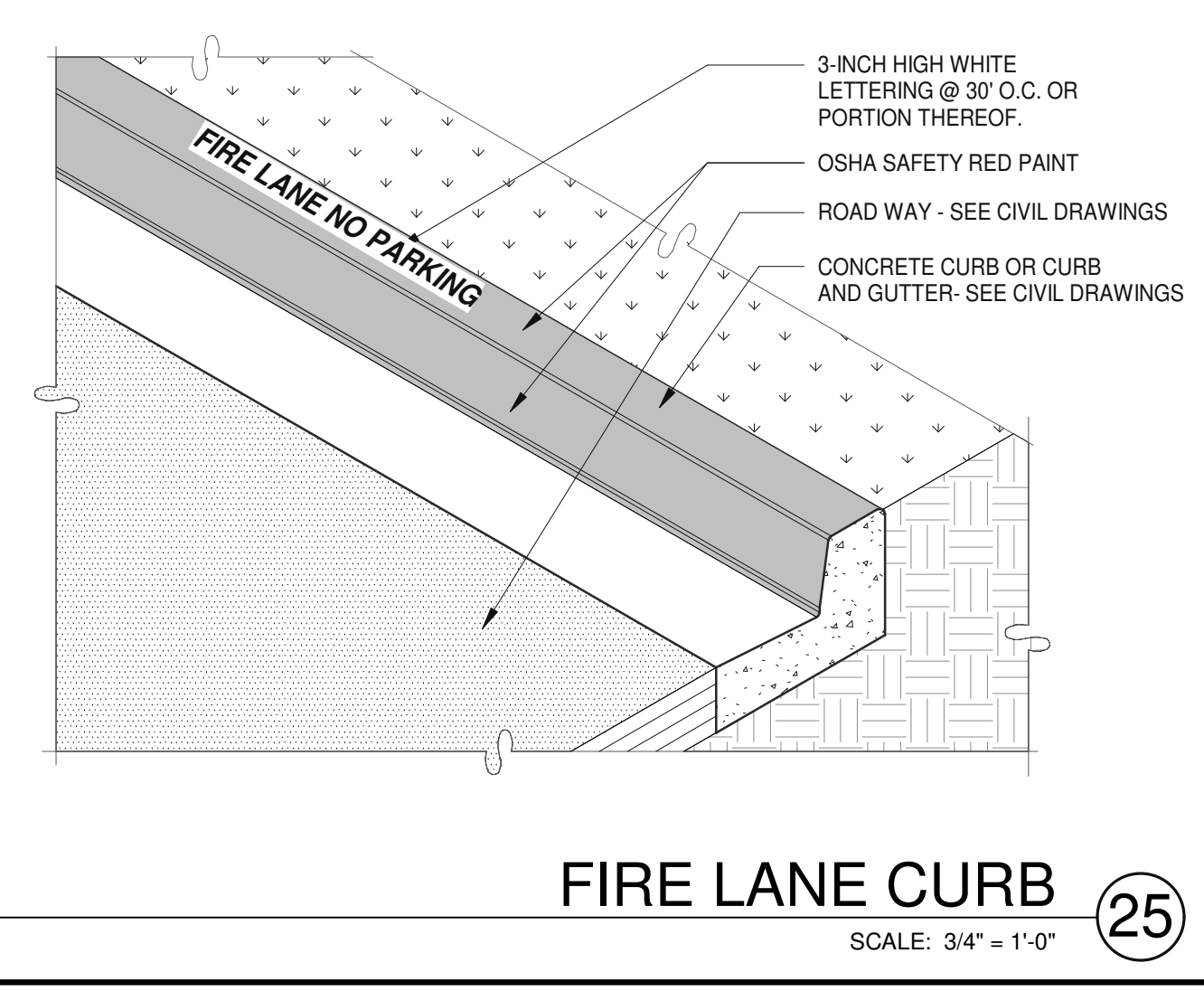
TRASH GATE JAMB AT CONCRETE 14  
SCALE: 3/4" = 1'-0"



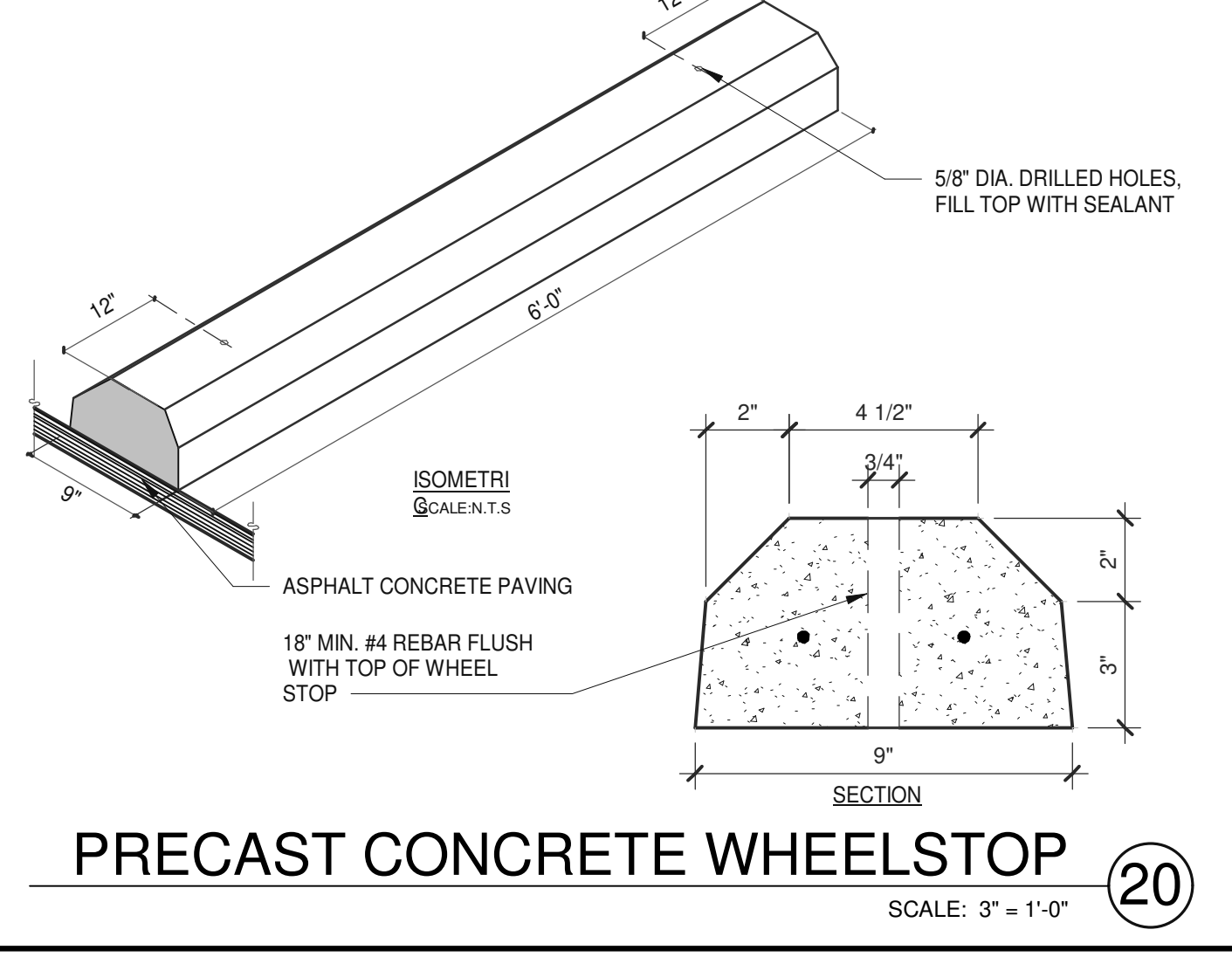
TYPICAL SIGN FOUNDATION 10  
SCALE: 3/4" = 1'-0"



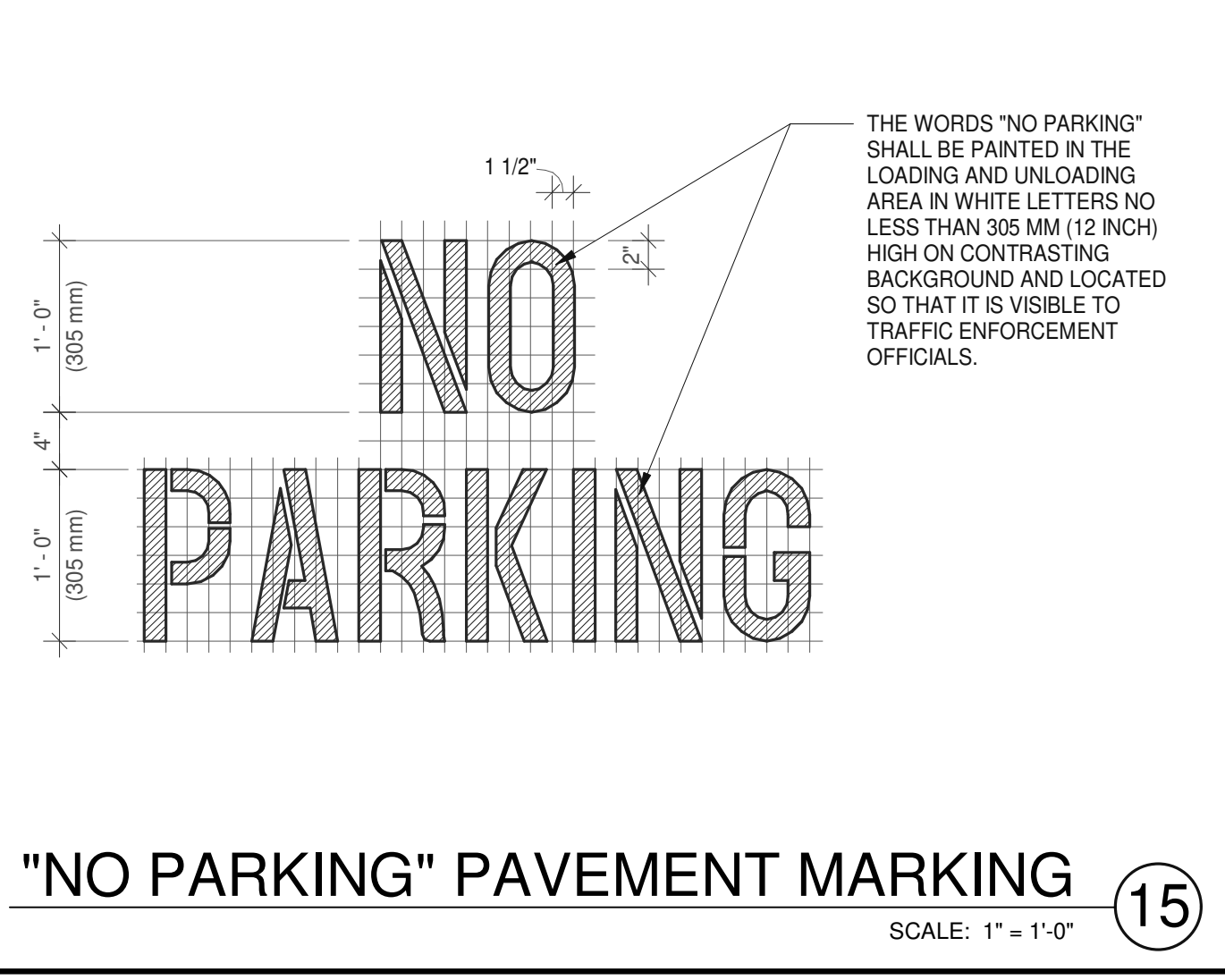
VAN ACCESSIBLE SIGNAGE 5  
SCALE: 1 1/2" = 1'-0"



FIRE LANE CURB 25  
SCALE: 3/4" = 1'-0"



PRECAST CONCRETE WHEELSTOP 20  
SCALE: 3/4" = 1'-0"



\"NO PARKING\" PAVEMENT MARKING 15  
SCALE: 1\" = 1'-0"

**WARE MALCOMB**  
ARCHITECTURE  
PLANNING  
INTERIORS  
935 Wilshire Blvd., Suite #1450  
Los Angeles, CA 90017  
P: 310.903.0000  
F: 310.903.0000

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THORNTON AVE  
EXPANSION  
3311 THORNTON AVE.,  
BURBANK CALIFORNIA 91504

**SITE DETAILS**

DATE	12/09/2022
DATE	07/06/2024
REVISION	Planning Package Planning Revisions

REMARKS

DATE: 12/09/2022  
DATE: 07/06/2024

REVISION: Planning Package, Planning Revisions

PAFM: M.DANNENBERG  
DRAWN BY: M.I.E.S.  
JOB NO.: LAX21-0108-00

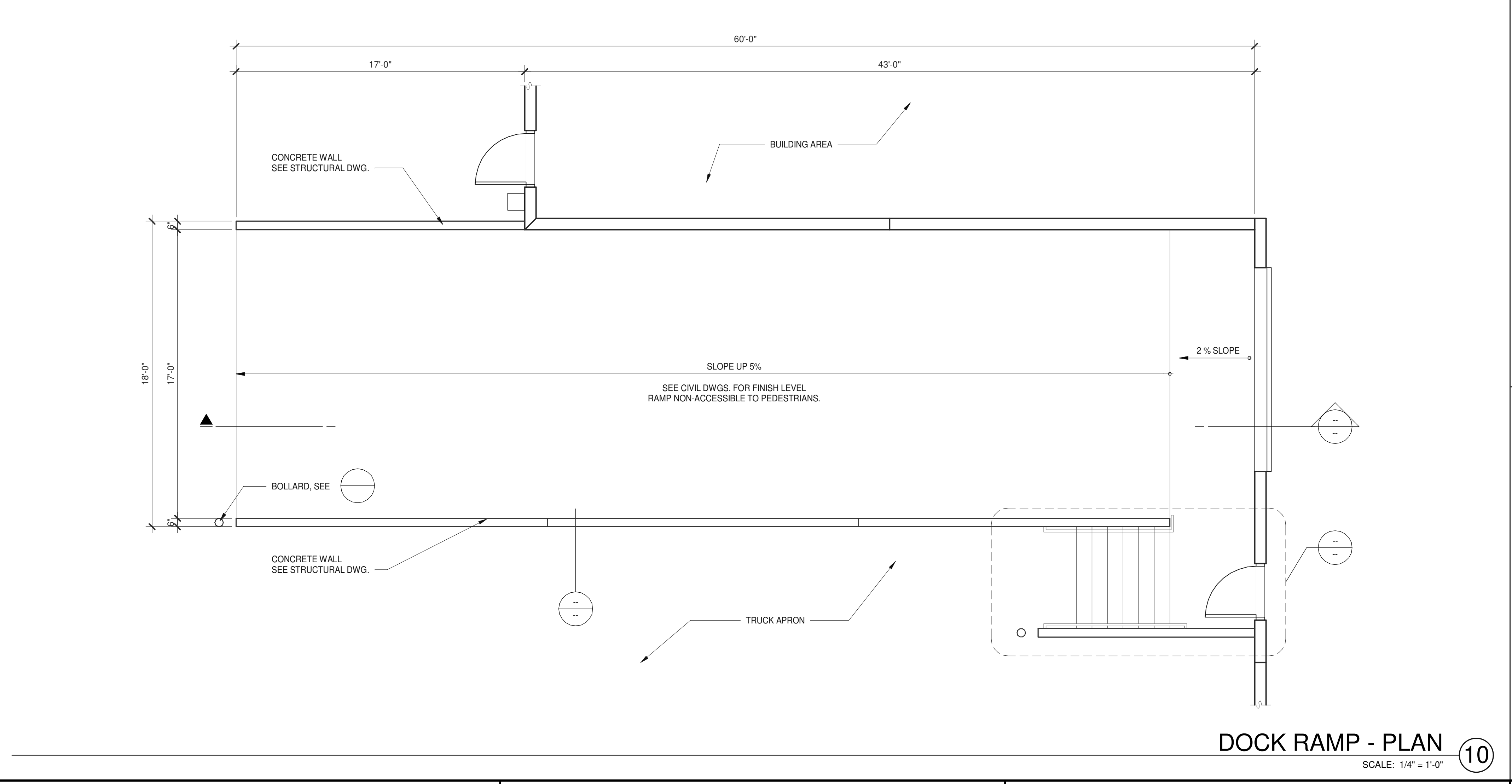
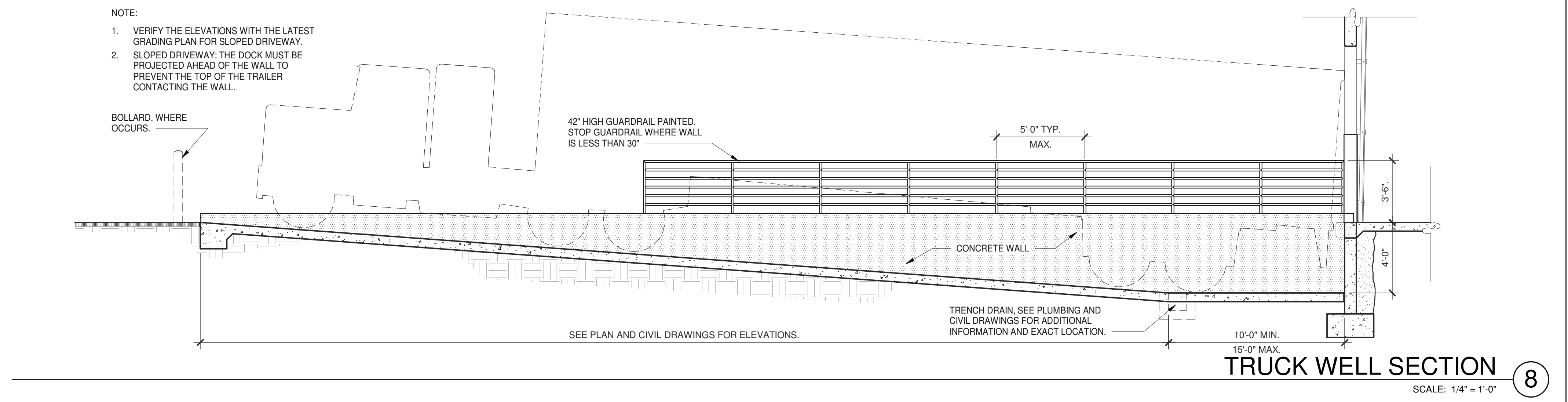
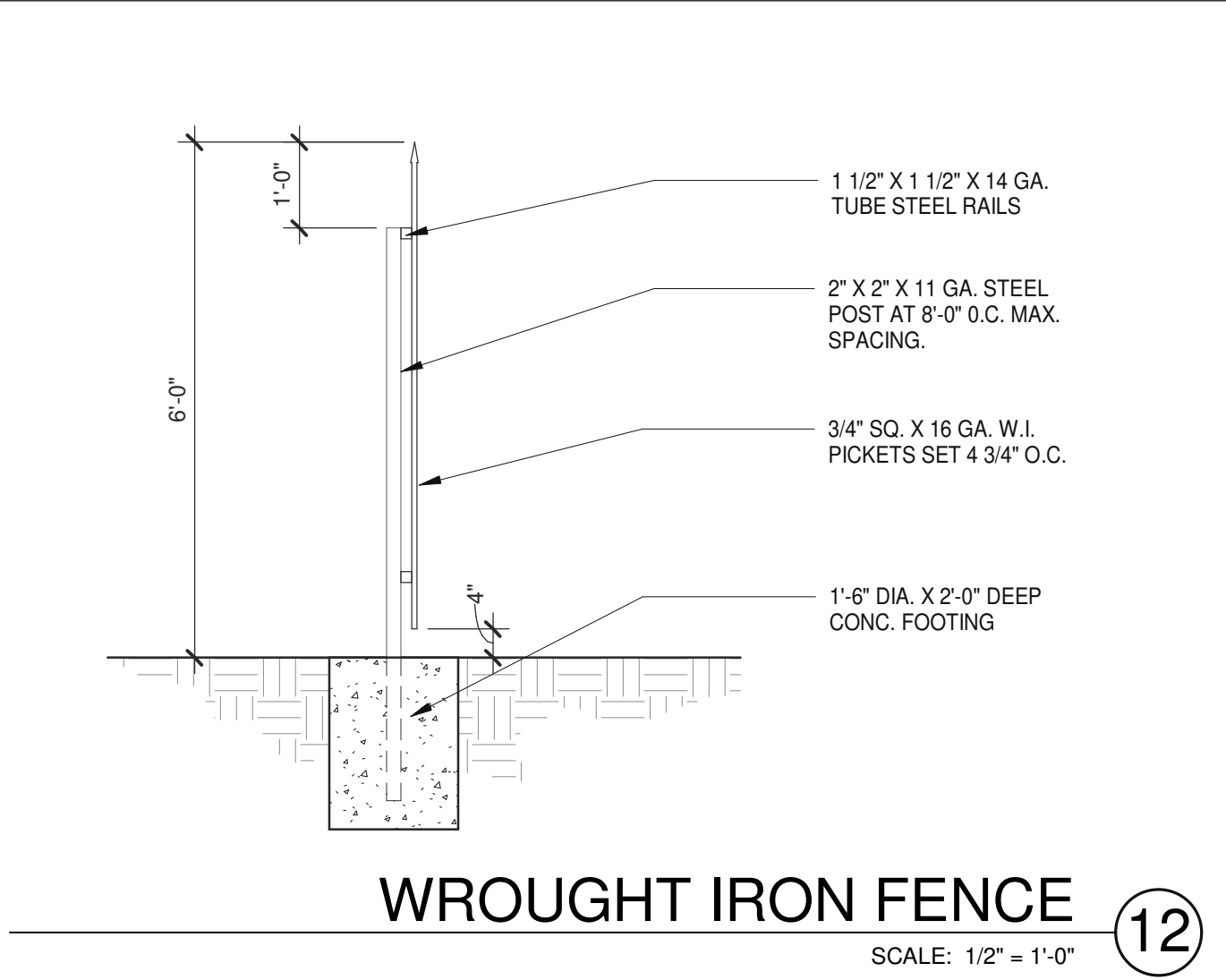
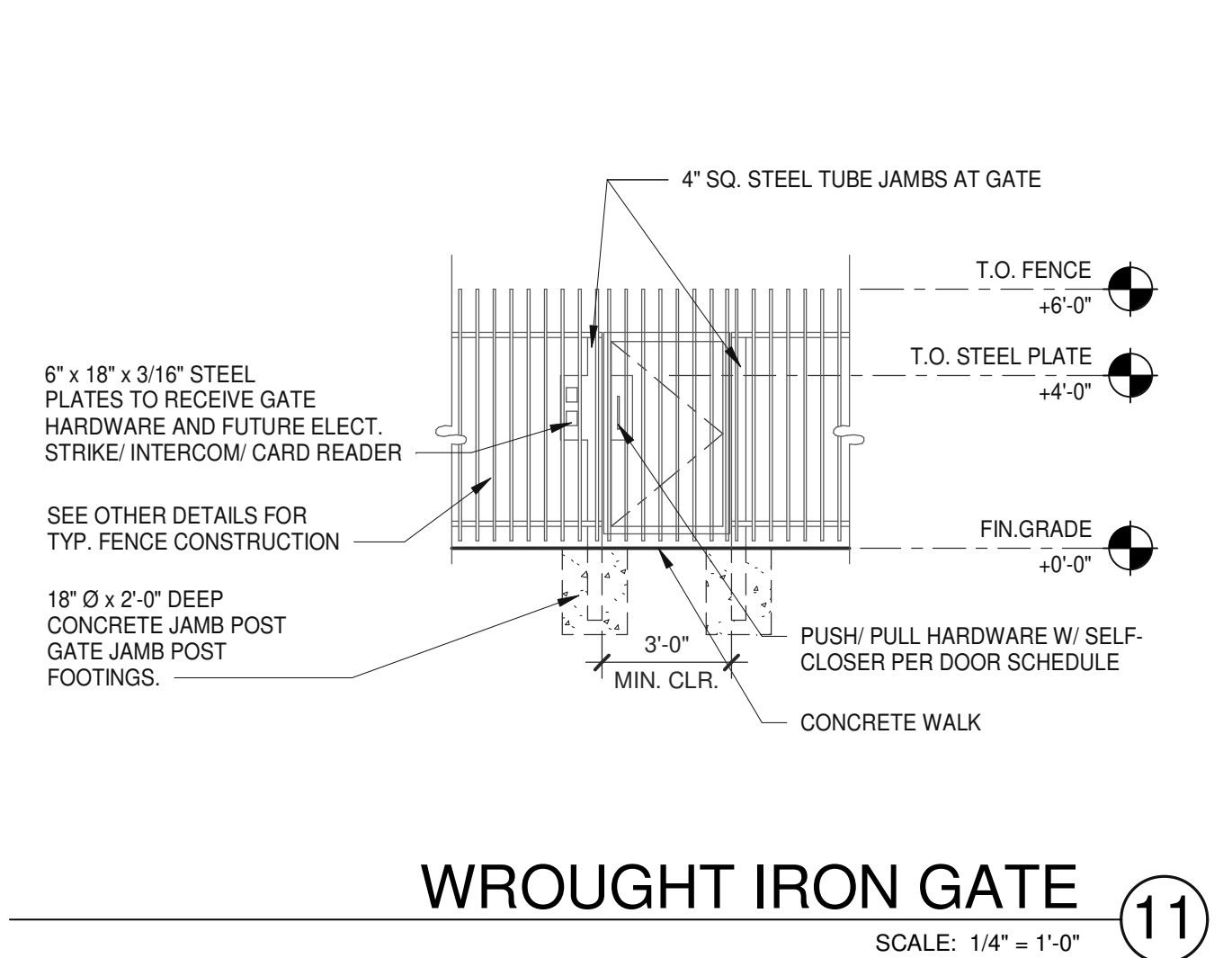
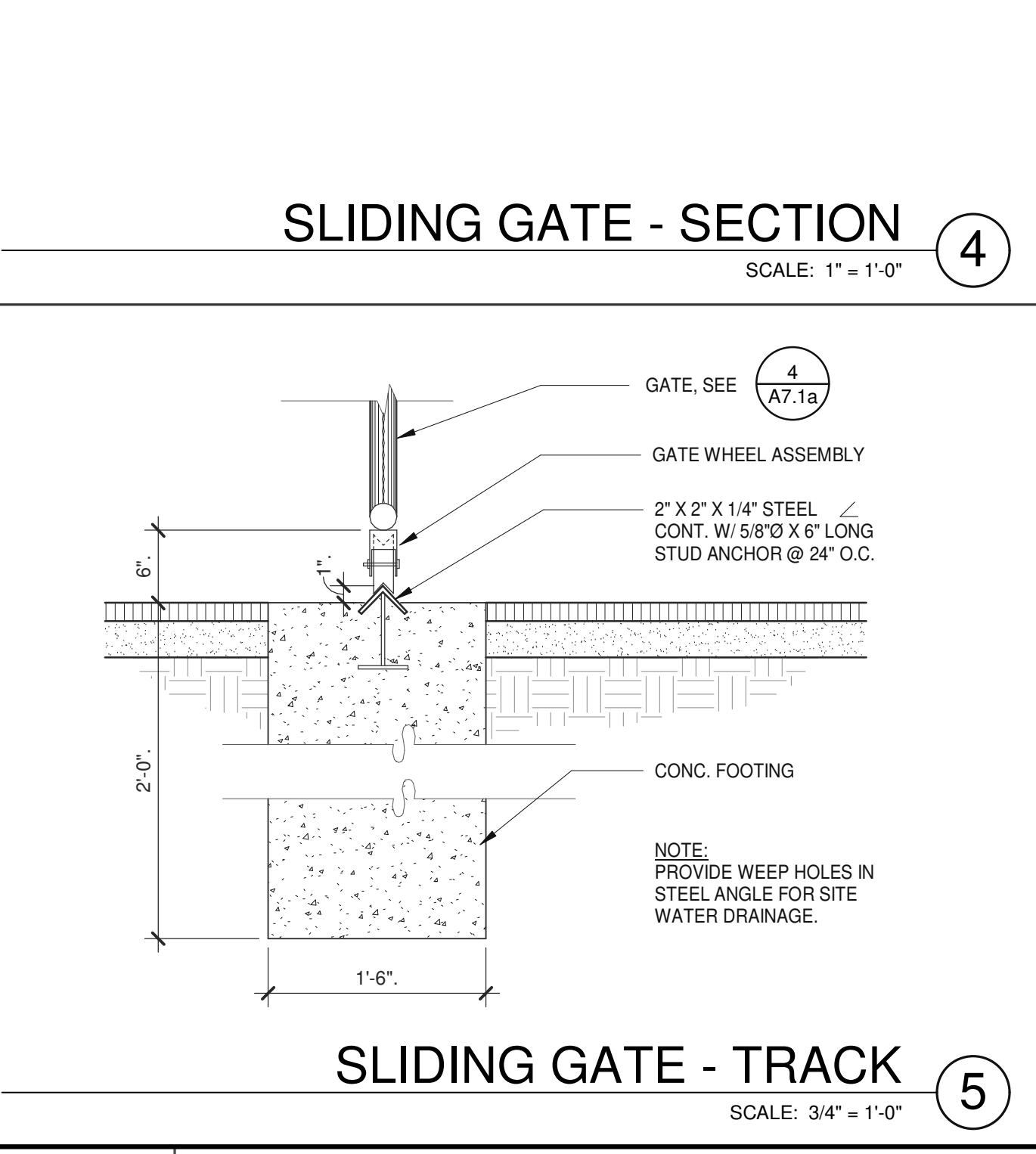
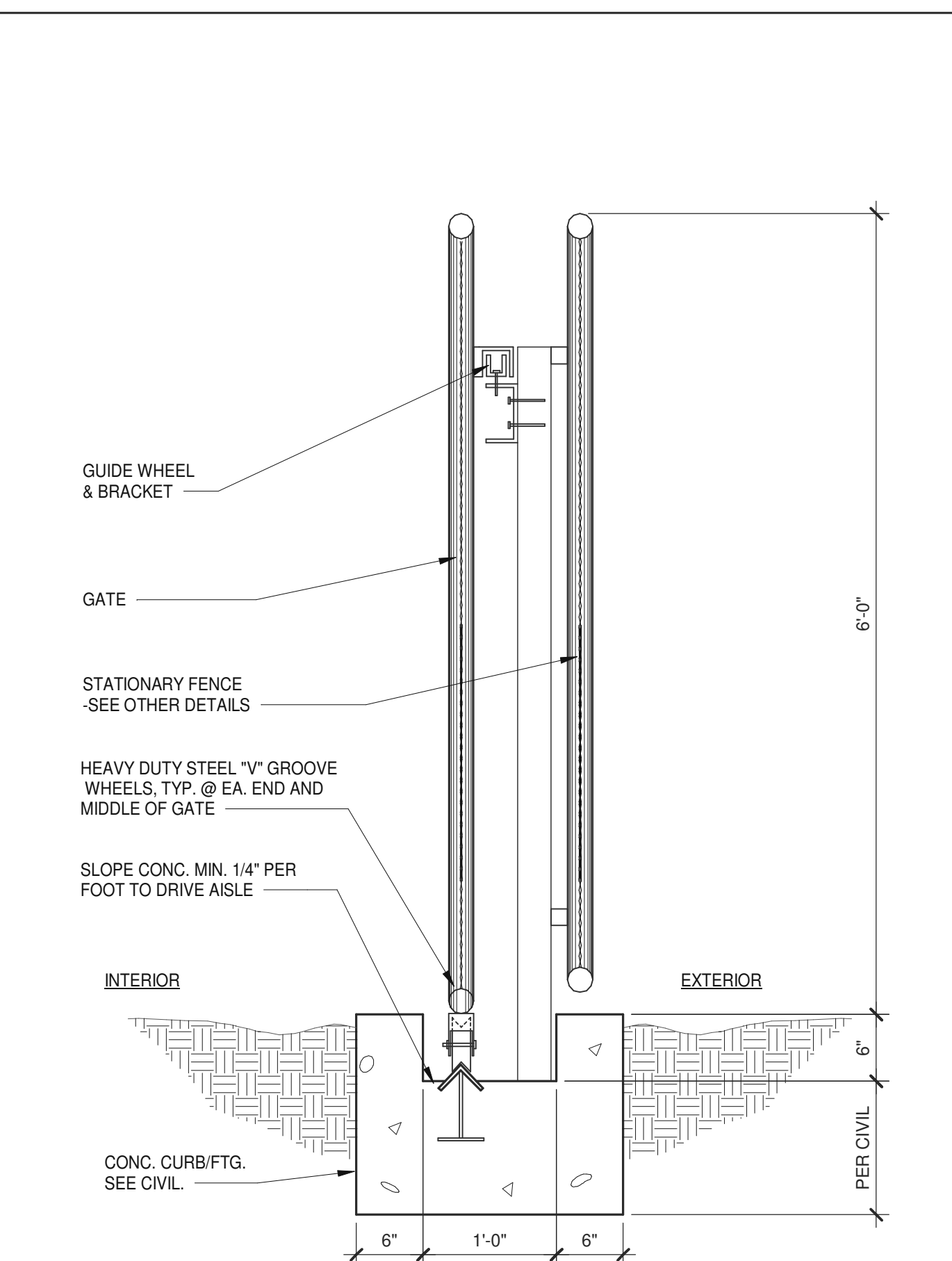
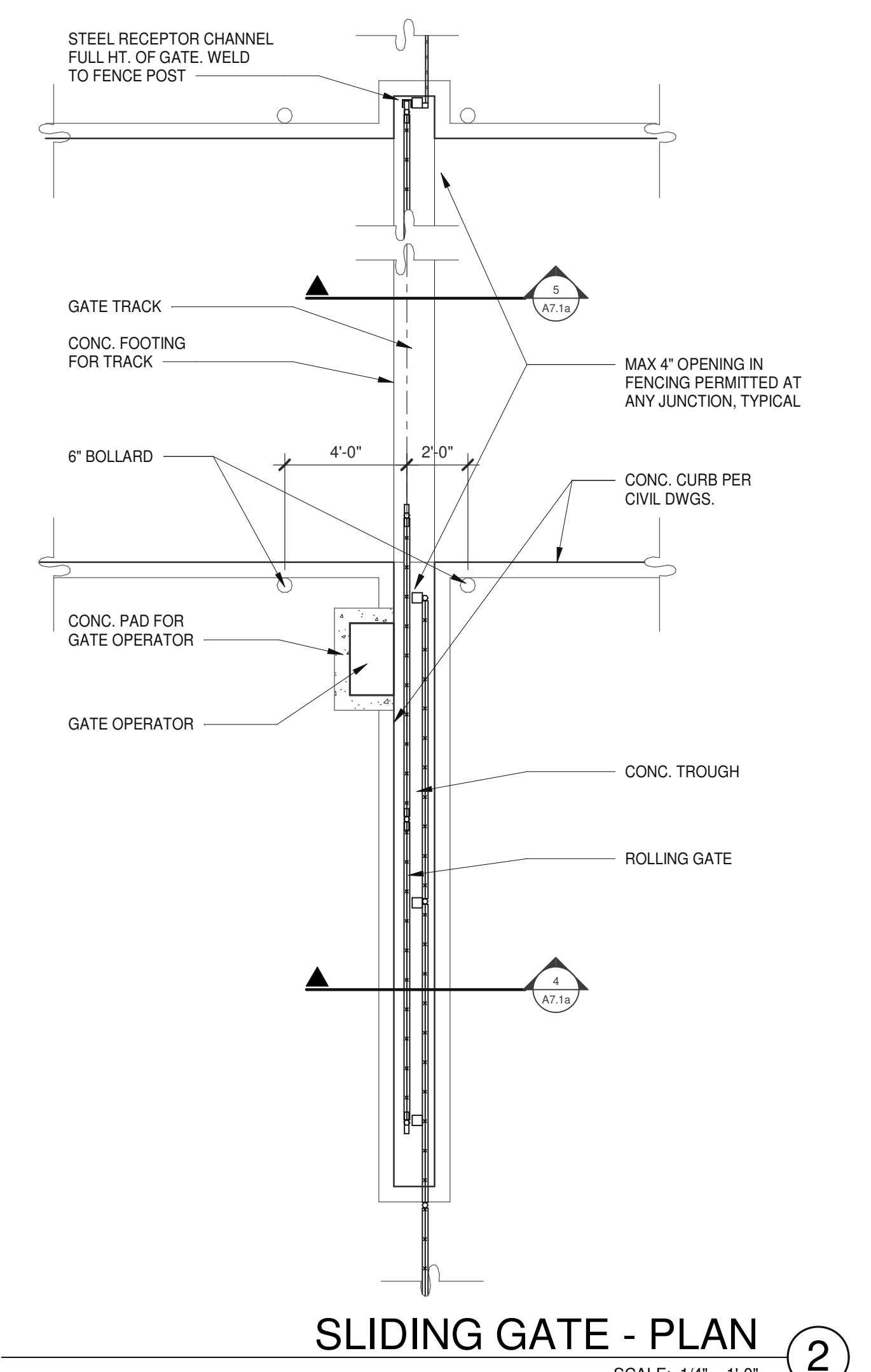
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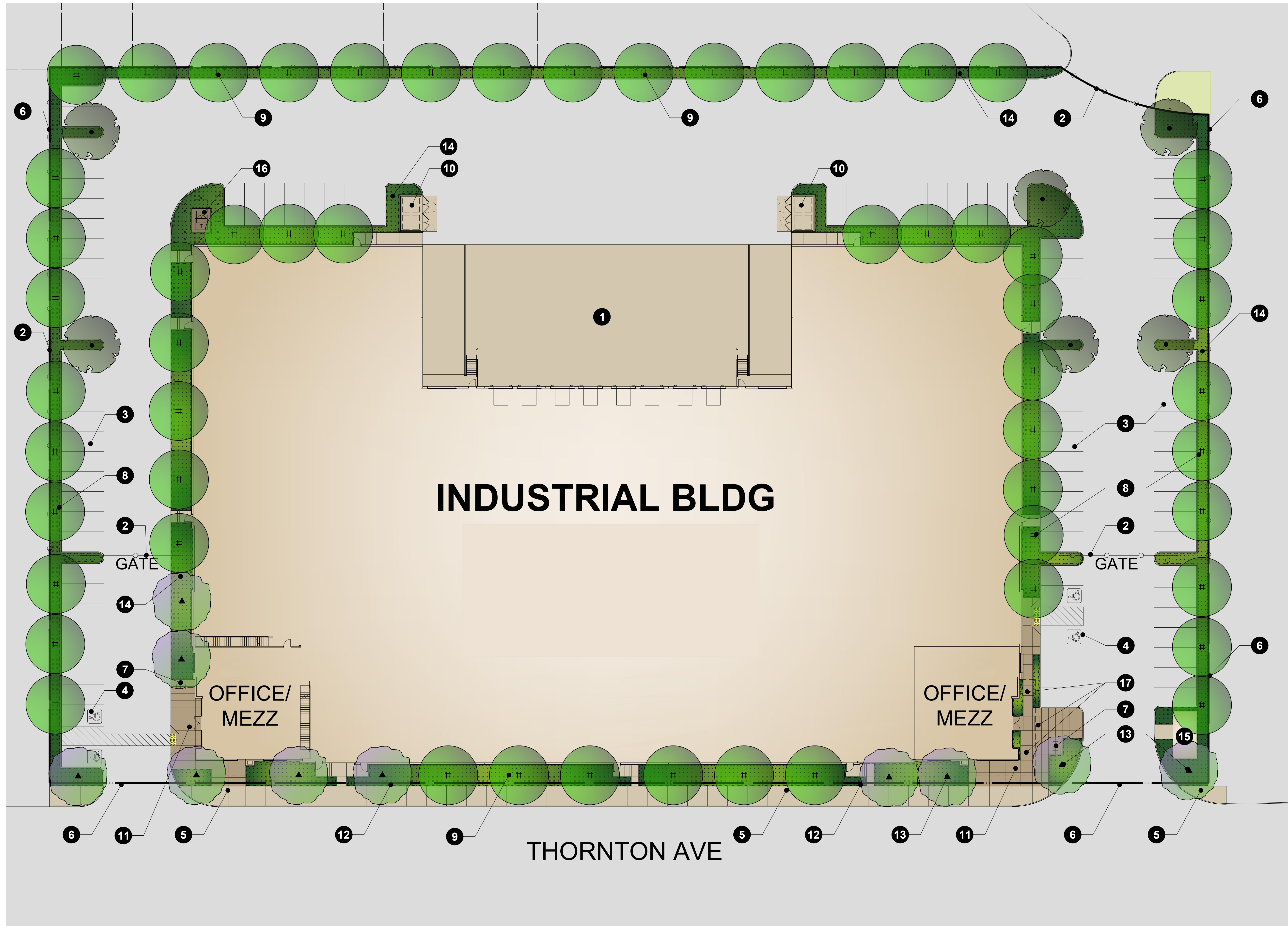


SITE DETAILS	
DATE	REMARKS
12/09/2022	Planning Package
07/16/2024	Planning Resubmittal

P.A.P.M.:	M. DANNENBERG
DRAWN BY:	M.I.E.S.
JOB NO.:	LAX21-0108-00







**LEGEND**

- 1 LOADING AREA
- 2 METAL FENCE & GATE
- 3 PARKING STALLS
- 4 ADA PARKING STALLS
- 5 EXISTING PUBLIC SIDEWALK TO REMAIN
- 6 PROPERTY LINE
- 7 BIKE RACK
- 8 PROPOSED PARKING SHADE TREES
- 9 PROPOSED SCREEN TREES
- 10 TRASH ENCLOSURE
- 11 OFFICE ENTRY - DECORATIVE CONCRETE PAVING
- 12 RIGHT OF WAY
- 13 PROPOSED ACCENT TREES
- 14 DROUGHT TOLERANT SHRUB PLANTING
- 15 GUARD SHACK
- 16 TRANSFORMER
- 17 RAMP & STEP

**PROPOSED PLANT PALETTE**

TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	HT. X SPRD. X CAL. (MIN.)	WATER USE	DESCRIPTION
	LAGERSTROEMIA FAUERI 'TUSCARORA'	TUSCARORA CREPE MYRTLE	36" BOX STD.	8'H X 5'W X3"C	L	FLOWERING TREE
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX STD.	14'H X 5'W	M	VERTICAL EVERGREEN
	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX STD.	14' X 5' X 2.5" C	L	CANOPY TREE

SHRUBS, GRASSES, & GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL.	48" O.C.	L	LARGE SHRUB
	CARISSA M. 'GREEN CARPET'	DWARF NATAL PLUM	1 GAL.	30" O.C.	L	EVERGREEN LOW SHRUB
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL.	24" O.C.	L	ORNAMENTAL GRASS
	DIANELLA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL.	24" O.C.	L	UPRIGHT ACCENT
	DIANELLA T. 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL.	36" O.C.	L	UPRIGHT ACCENT
	HESPERALOE 'BRAKELIGHTS'	BRAKELIGHTS YUCCA	5 GAL.	36" O.C.	L	UPRIGHT ACCENT
	LANTANA MONTEVIDENSIS	PURPLE LANTANA	5 GAL.	36" O.C.	L	FLOWERING SHRUB
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	36" O.C.	L	FLOWERING LOW SHRUB
	OLEA 'MONTRA'	LITTLE OLLIE	5 GAL.	48" O.C.	L	LARGE SHRUB
	RHAMPHILEPIS INDICA 'CLARA'	INDIAN HAWTHORN	5 GAL.	36" O.C.	L	EVERGREEN SHRUB
	WESTRINGIA 'WYNYABBIE GEM'	COAST ROSEMARY	5 GAL.	36" O.C.	L	EVERGREEN HEDGE

WATER USE KEY:  
 VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF BURBANK.

NOTE:  
 ALL INTERIOR PARKING LOT LANDSCAPING, EXCLUSIVE OF REQUIRED FRONT AND EXPOSED SIDE YARD SETBACKS, SHALL BE LOCATED WITHIN A PLANTER BOUNDED BY A CONCRETE CURB AT LEAST SIX INCHES HIGH. NO PLANTER SHALL HAVE A MINIMUM DIMENSION OF LESS THAN SIX FEET BY SIX FEET, OR IF NO TREE IS LOCATED IN THE PLANTER, FOUR FEET BY FOUR FEET, EXCLUDING CURBING. EACH PLANTER SHALL INCLUDE A PERMANENT AUTOMATIC IRRIGATION SYSTEM APPROPRIATE FOR THE TYPE OF LANDSCAPING INSTALLED. EACH PLANTING AREA SHALL BE OF ADEQUATE SIZE FOR THE LANDSCAPING PROVIDED.

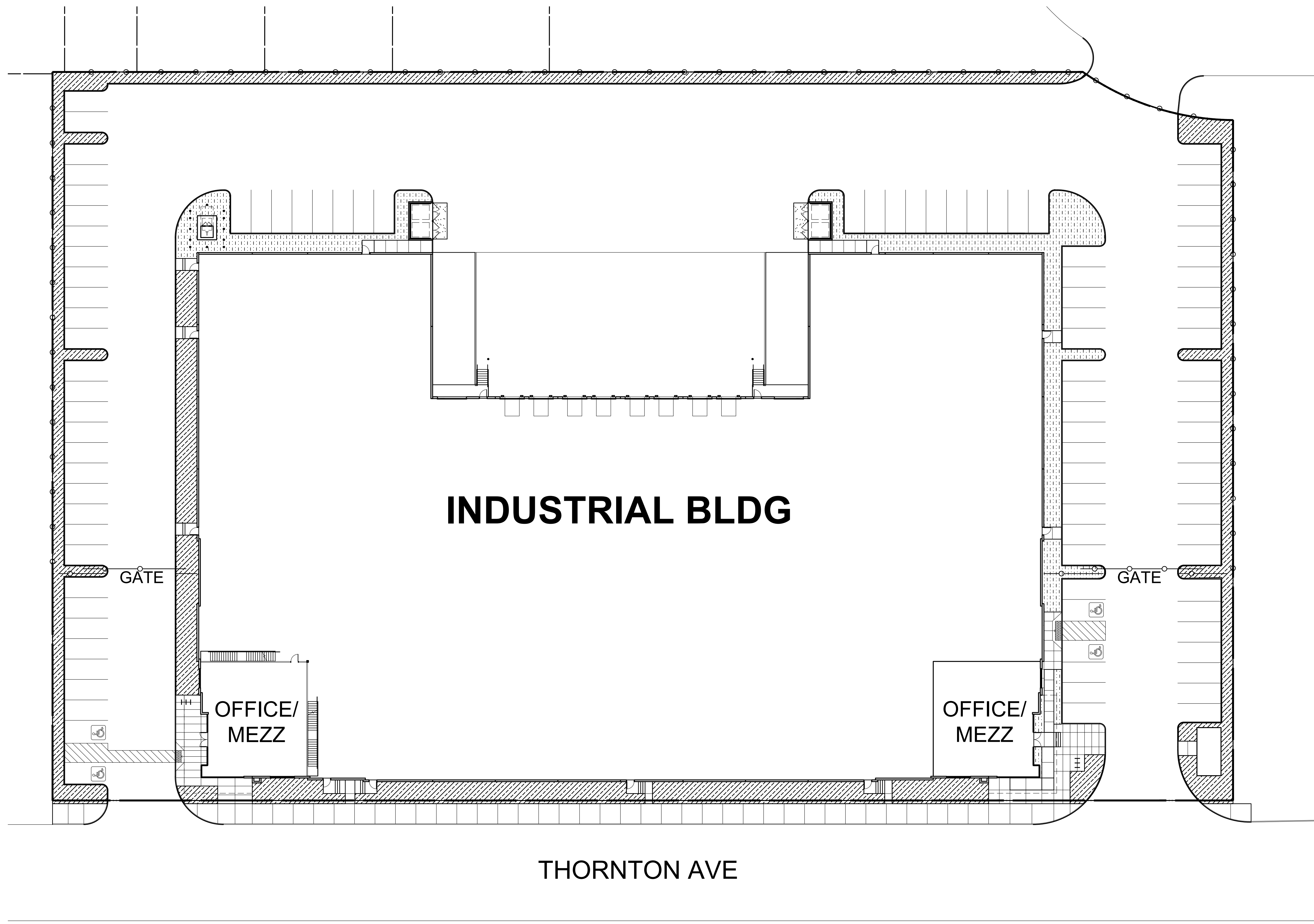


SCHMATIC DESIGN PRELIMINARY LANDSCAPE PLAN

3311 THORNTON AVE INDUSTRIAL BUILDING  
 3311 THORNTON AVE, BURBANK, CA







**IRRIGATION ZONES**

- HYDROZONE 1 (TYPICAL SYMBOL)**  
 LOW WATER USE PLANTS  
 DRIP SYSTEM  
 FLAT SURFACE  
 FULL SUN
  
- HYDROZONE 2 (TYPICAL SYMBOL)**  
 LOW WATER USE PLANTS  
 DRIP SYSTEM  
 FLAT SURFACE  
 PARTIAL SUN

**STATEMENT OF WATER CONSERVATION**

PLEASE NOTE THE FOLLOWING PRINCIPLES OF DESIGN UTILIZED ON THIS PROJECT DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM:

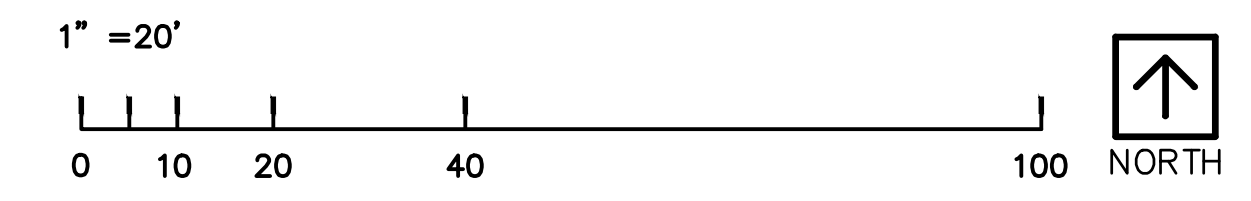
- IRRIGATION DESIGN UTILIZING DRIP IRRIGATION WITH 90% EFFICIENCY AND UP TO 40% REDUCTION IN WATER USAGE.
- ALL SPRINKLERS SPACED HEAD TO HEAD 100% OF MANUFACTURERS RECOMMENDED RADIUS.
- ALL SPRAY HEADS UTILIZE MATCHED PRECIPITATION RATE NOZZLES AND CHECK VALVES.
- ALL SPRAY HEADS UTILIZE PRESSURE REGULATION, CHECK VALVES, AND PRESSURE COMPENSATING SCREENS.
- RECOMMENDATIONS GIVEN FOR ANNUAL IRRIGATION SCHEDULE.
- IRRIGATION ZONES SEPARATED BY PLANT MATERIAL TYPES.
- IRRIGATION ZONES SEPARATED BY EXPOSURE AND ORIENTATION.
- UTILIZATION OF IRRIGATION SYSTEM MASTER VALVE.
- UTILIZATION OF IRRIGATION SYSTEM FLOW SENSOR.
- UTILIZATION OF RAIN SHUT-OFF DEVICE CONNECTED TO IRRIGATION CONTROLLER.
- UTILIZATION OF (ET) BASED "SMART" IRRIGATION CONTROLLER WITH WATER BUDGETING FEATURE.
- MULCH 3/4" - 1" SIZE UTILIZED IN THE LANDSCAPE; 3" DEPTH MIN.
- SOIL AMENDMENTS UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL.
- AUTOMATIC IRRIGATION SYSTEM ADJUSTED SEASONALLY AND WITH WATERING HOURS BETWEEN 10:00 P.M. AND 6:00 A.M.



SCHEMATIC DESIGN

HYDROZONE PLAN

3311 THORNTON AVE INDUSTRIAL BUILDING  
3311 THORNTON AVE, BURBANK, CA

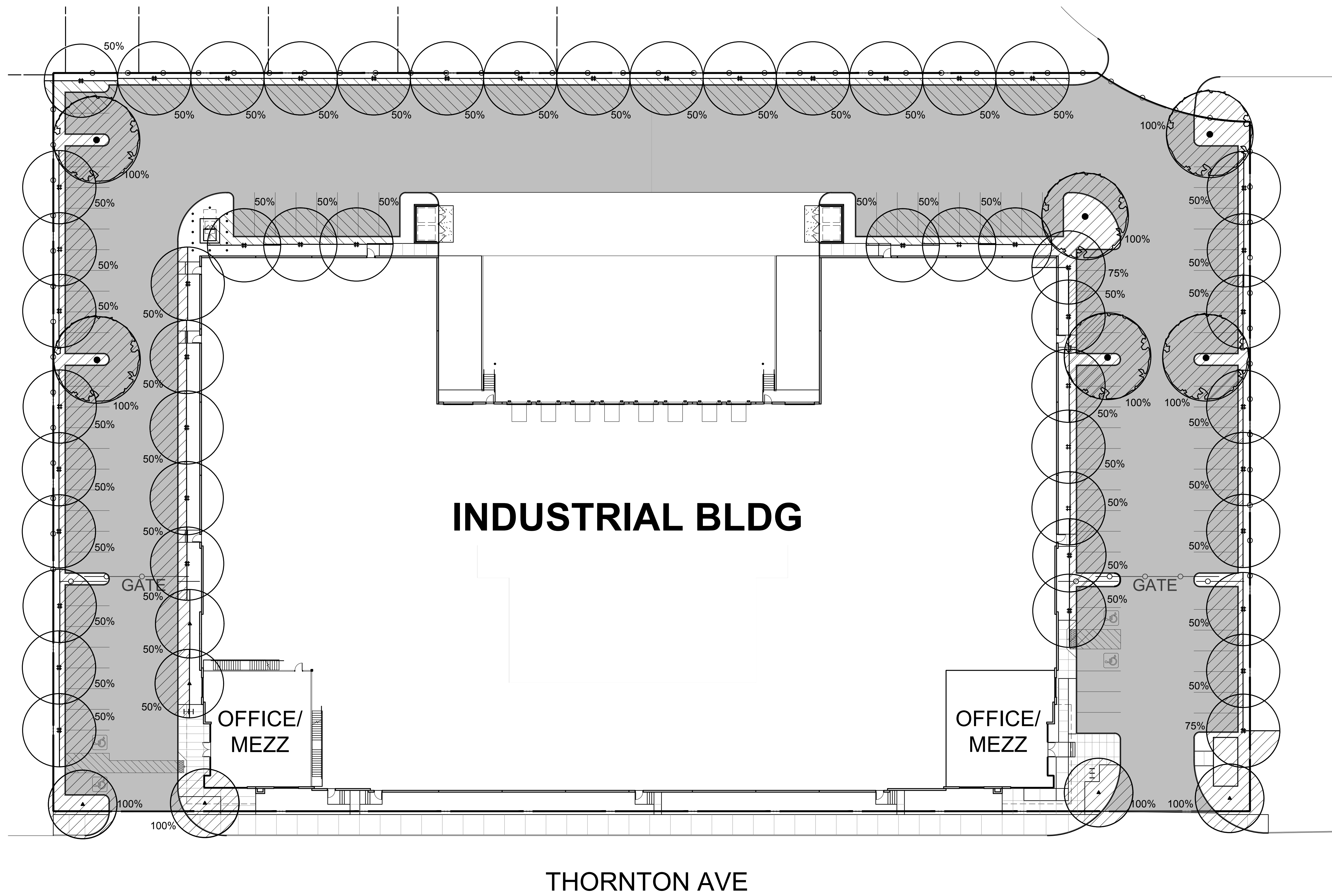


**WARE MALCOMB**

JOB# 22005  
02/25/2022  
PLANNING SUBMITTAL

SHEET  
L2.1





**SHADE AND PARKING AREA LEGEND**

	AREA OF PARKING STALLS & ASSOCIATED VEHICULAR CIRCULATION
	SHADE PROVIDED BY TREES AT 15 YEARS GROWTH

**SHADE CALCULATIONS**

TOTAL AREA OF PARKING STALLS & ASSOCIATED VEHICULAR CIRCULATION	= 49,591 S.F.
TOTAL REQUIRED SHADE AREA AT PARKING AREA & ASSOCIATED CIRCULATION	= 24,796 S.F. (50%)
TOTAL AREA OF SHADE FROM TREES (TREES AT 15 YEARS MATURITY)	= 26,630 S.F.
<b>TOTAL SHADED AREA</b>	<b>= 53.69%</b>

**TREE SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	CANOPY AT 15 YEARS	100%	75%	50%	TOTAL S.F.
	LAGERSTROEMIA FAUERI 'TUSCARORA'	TUSCARORA CREPE MYRTLE	25' DIA	4 @ 623 S.F. = 2,492 S.F.	0	2 @ 245 S.F. = 490 S.F.	2,982 S.F.
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	30' DIA	0	1 @ 530 S.F. = 530 S.F.	49 @ 354 S.F. = 17,346 S.F.	17,876 S.F.
	QUERCUS AGRIFOLIA	COAST LIVE OAK	35' DIA	6 @ 962 S.F. = 5,772 S.F.	0	0	5,772 S.F.
TOTAL TREE SHADE							26,630 S.F.
TOTAL PAVED AREA							49,591 S.F.
PERCENT SHADE							53.69%

**INDUSTRIAL BLDG**

**OFFICE/MEZZ**

**OFFICE/MEZZ**

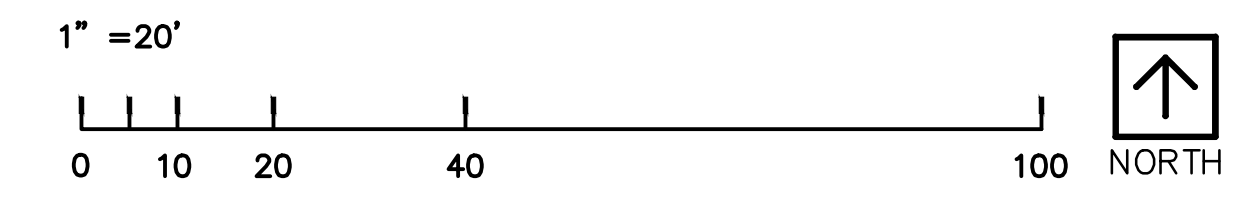
**THORNTON AVE**



SCHEMATIC DESIGN

SHADE PLAN

3311 THORNTON AVE INDUSTRIAL BUILDING  
3311 THORNTON AVE, BURBANK, CA



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JOB# 22005  
02/25/2022  
PLANNING SUBMITTAL

SHEET  
L3.1



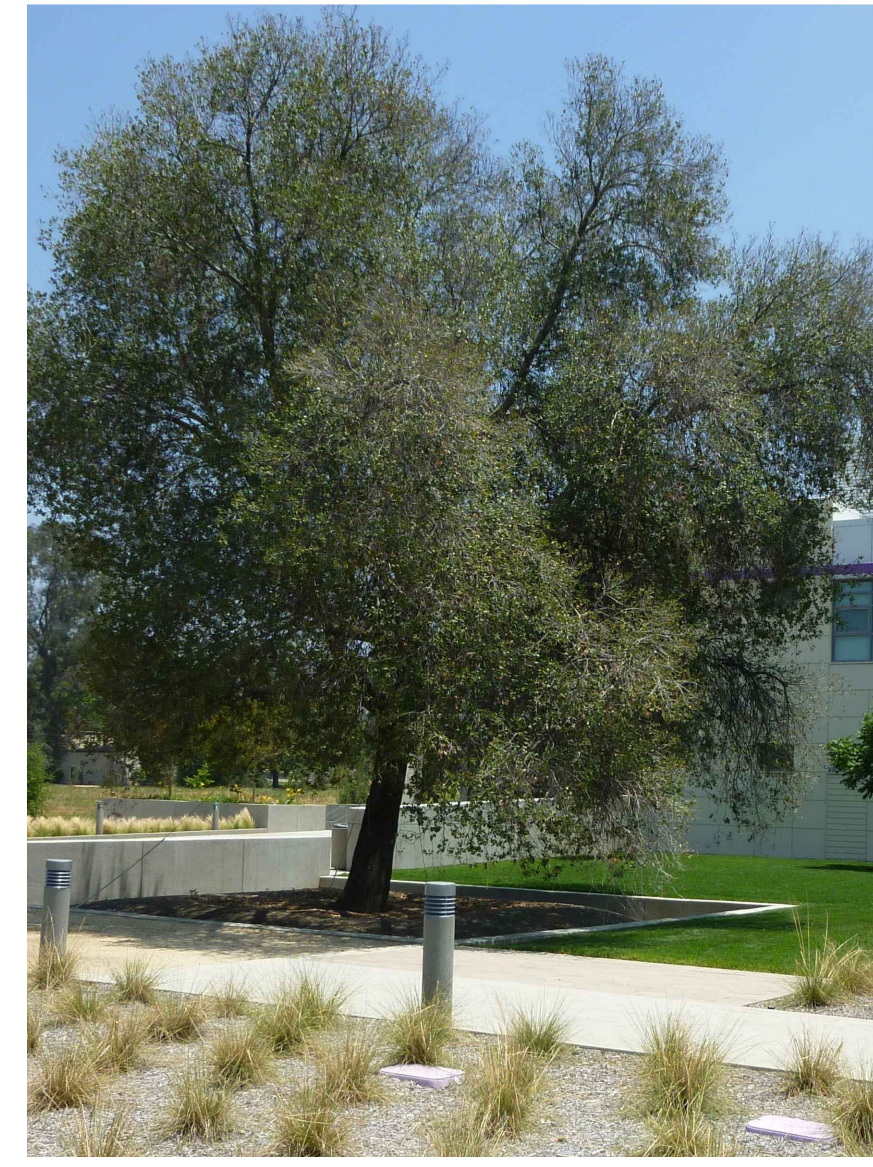
TREES



LAGERSTROEMIA F. 'TUSCARORA' /  
TUSCARORA CRAPE MYRTLE



LOPHOSTEMON CONFERTUS /  
BRISBANE BOX



QUERCUS AGRIFOLIA /  
COAST LIVE OAK

SHRUBS



ARBUTUS UNEDO 'COMPACTA' /  
DWARF STRAWBERRY TREE



CARISSA M. 'GREEN CARPET' /  
DWARF NATAL PLUM



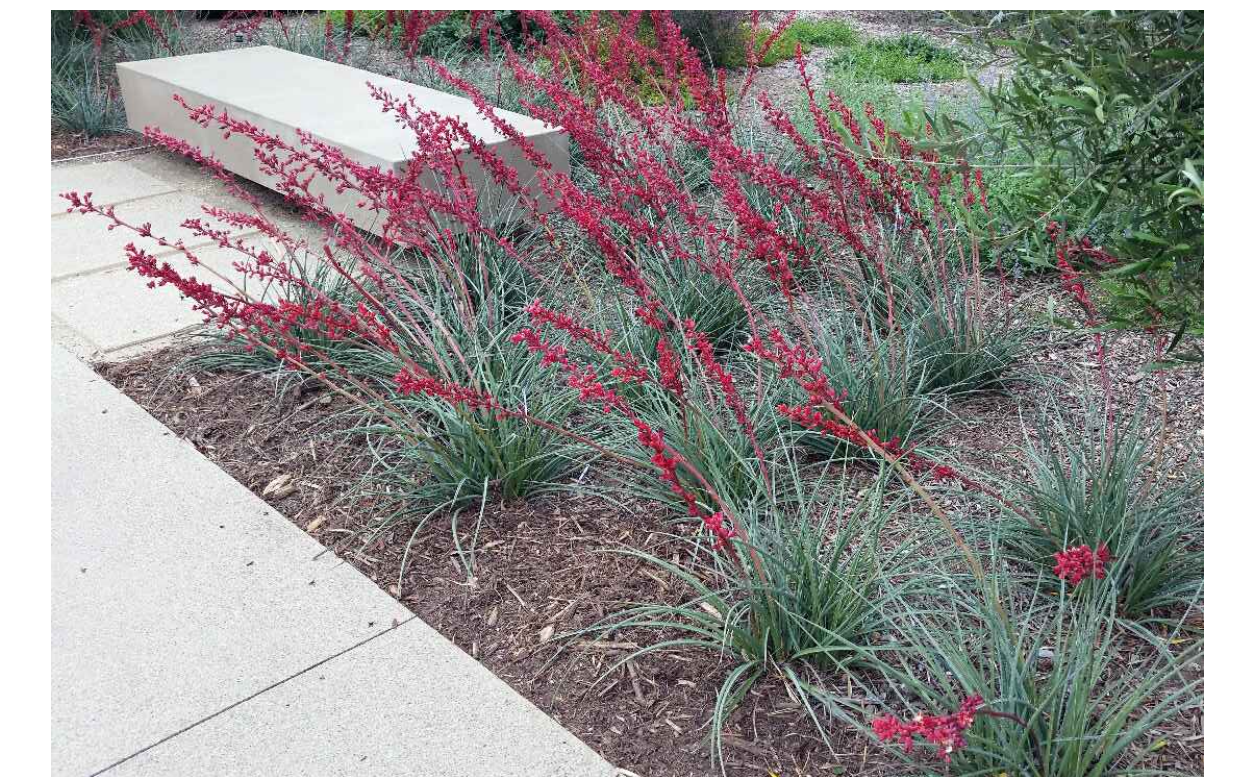
CAREX DIVULSA /  
BERKELEY SEDGE



DIANELLA 'LITTLE REV' /  
LITTLE REV FLAX LILY



DIANELLA T. 'VARIEGATA' /  
VARIEGATED FLAX LILY



HESPERALOE 'BRAKELIGHTS' /  
BRAKELIGHTS YUCCA



LANTANA MONTEVIDENSIS /  
PURPLE LANTANA



LANTANA 'NEW GOLD' /  
NEW GOLD LANTANA



OLEA 'MONTRA' /  
LITTLE OLLIE



RHAMPHOLEPIS INDICA 'CLARA' /  
INDIAN HAWTHORN



WESTRINGIA 'WYNYABBIE GEM' /  
COAST ROSEMARY



8841 RESEARCH DR  
SUITE 200  
IRVINE - CA 92618  
949.387.1323  
RIDGELA.COM

SCHEMATIC DESIGN

PLANT IMAGERY

3311 THORNTON AVE INDUSTRIAL BUILDING  
3311 THORNTON AVE, BURBANK, CA



**WARE MALCOMB**

JOB# 22005  
02/25/2022  
PLANNING SUBMITTAL

SHEET  
L4.1



N00°39'02"E 522.88' (N00°39'02"E 522.88')

HOLLYWOOD WAY

BURTON AVENUE

THORNTON AVENUE

INDUSTRIAL BUILDING  
686.00 FF

BURBANK GLENDALE PASADENA  
AIRPORT AUTHORITY  
APN: 2466-010-904

BARKMAN PROPERTIES LLC  
APN: 2466-010-019

NOSRATI, AV  
APN: 2466-010-0220

ESCOBEDO, ANGELICA  
APN: 2466-010-008

3318 BURTON AVENUE LLC  
APN: 2466-010-013

3312 3314 BURTON AVENUE LLC  
APN: 2466-010-014

BURBANK GLENDALE PASADENA  
AIRPORT AUTHORITY  
APN: 2466-010-901

ABBREVIATIONS

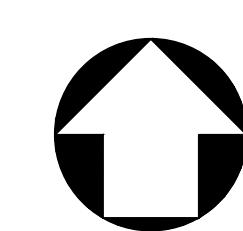
- BW - BACK OF WALK
- EG - EDGE OF GUTTER
- FF - FINISHED FLOOR
- FL - FLOW LINE
- FS - FINISHED SURFACE
- HP - HIGH POINT
- PA - PLANTING AREA
- TC - TOP OF CURB
- TG - TOP OF GRATE
- TW - TOP OF WALL

LEGEND

- (686.0) --- EXISTING CONTOUR
- 686.0 — PROPOSED CONTOUR
- STREET RIGHT OF WAY
- STREET CENTER LINE
- (686.00) EXISTING ELEVATION
- 686.00 PROPOSED ELEVATION
- EXISTING STREET ELEVATION

ESTIMATED EARTHWORK QUANTITIES

- RAW CUT: 5,000 CY
- RAW FILL: 2,800 CY
- EXPORT: 2,300 CY



20' 10' 0' 20' 40'  
GRAPHIC SCALE  
Note: For reduced sized prints, original scale is in inches

**PSOMAS**

27220 Turnberry Lane, Suite 190  
Valencia, CA 91355  
(661) 219-6000 (661) 775-2718 fax  
www.psomas.com  
PROJECT NUMBER  
1PAR540100

SCHEMATIC DESIGN - GRADING & UTILITY PLAN

THORNTON AVENUE EXPANSION  
3311 THORNTON AVE, BURBANK, CALIFORNIA

**WARE MALCOMB**

LAX21-0108-00  
02.24.2022

SHEET  
C1

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