

GENERAL NOTES

- TAKE CAREFUL NOTE OF ALL REQUIREMENTS UNDER DIVISION 1 – GENERAL REQUIREMENTS THAT ARE MADE A PART OF THE CONTRACT, INCLUDING PROJECT REQUIREMENTS, GENERAL REQUIREMENTS, PROTECTION AND SPECIAL PRECAUTIONS, AND THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSSCHECK DETAILS AND DIMENSIONS ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FLOOR OPENINGS, SLEEVES AND OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
- ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY AND STATE CODES, LOCAL REGULATIONS AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS. REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE SPECIFICATIONS AND PLANS, EXCEPT WHERE EXCEEDED HEREIN.
- ALL MATTERS OF COLOR, TEXTURE, DESIGN AND INTERPRETATION OF PLANS SHALL BE REFERRED BY THE CONTRACTOR TO THE DESIGNER, IN THE EVENT SUCH MATTERS ARE NOT ADEQUATELY COVERED IN PLANS.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES ARE TO BE CALLED TO THE ATTENTION OF THE DESIGNER.
- NUMERICAL DIMENSIONS SHALL TAKE PRIORITY OVER SCALED.
- THE CONTRACTOR SHALL FURNISH WATER, SEWER, GAS AND ELECTRIC SERVICE TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR AS NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL VERIFY LOCATION OF AFFECTED EXISTING MECHANICAL DUCTS AND ELECTRICAL SYSTEMS.
- ALL SUBSTITUTIONS OF PRODUCTS SPECIFIED OR DEVIATIONS TO THE DRAWINGS OR SPECIFICATIONS MUST BE SUBMITTED TO THE DESIGNER FOR APPROVAL.
- VERIFY EXACT LOCATION OF CEILING ACCESS PANELS WITH MECHANICAL CONTRACTOR. PROVIDE ACCESS PANELS WHERE REQUIRED.
- PATCHING AND REPAIR SHALL BE PERFORMED TO CREATE A CONTINUOUS AND UNIFORM SURFACE WHERE REQUIRED.
- CEILING HEIGHTS SHOWN ON REFLECTED CEILING PLANS ARE FROM FINISH FLOOR TO FINISH CEILING.
- PROVIDE DRYWALL SCREED OR PLASTER GROUND ON ALL END WALL CONDITIONS AND MAINTAIN SEPARATION FROM NON-COMPATIBLE MATERIAL. INFORM DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- EXCEPT AS OTHERWISE NOTED ON THE DRAWINGS, PARTITIONS SHALL BE 2X4 WOOD STUDS AT 16" O.C. WITH SILL AND PLATES AS SHOWN IN THE APPLICABLE DETAILS, OR AS REQUIRED BY LOCAL GOVERNING REGULATIONS.
- ALL DRYWALL SHALL BE 5/8" THICK GYPSUM BOARD, EXCEPT WHERE NOTED OTHERWISE.
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE REQUIREMENTS OF THE CITY OF BURBANK, BUILDING AND SAFETY LATEST CODES.
- FIRE EXTINGUISHERS (WHEN REQUIRED) SHALL BE RECESSED IN LOCATIONS APPROVED BY THE CITY OF BURBANK FIRE DEPARTMENT. ONLY APPROVED TYPE FIRE EXTINGUISHERS SHALL BE USED.
- CONTRACTOR WARRANTS THAT ALL WORK AND MATERIALS SHALL CONFORM TO THE CONTRACT DOCUMENTS AND NO SUBSTITUTION SHALL BE PERMITTED UNLESS SUBMITTED TO THE DESIGNER IN WRITING WITH THREE COPIES OF LITERATURE AND SPECIFICATIONS AND FORMALLY APPROVED BY THE DESIGNER AND OWNER.
- IF THE CONTRACTOR ENCOUNTERS ASBESTOS OR OTHER TOXIC MATERIALS, THE WORK SHALL IMMEDIATELY CEASE AND THE OWNER AND DESIGNER SHALL BE INFORMED OF THE PRESENCE OF THESE MATERIALS FOR IMMEDIATE ACTION.
- LEVERS AND LOCKSETS (ALL HARDWARE) SHALL MEET CITY OF BURBANK SECURITY REQUIREMENTS AND SELECTED BY OWNER AND HAVE DESIGNER APPROVAL PRIOR TO INSTALLATION.
- PROVIDE APPROVED FIRE DAMPERS FOR ALL DUCTS PENETRATING FIRE RATED WALLS AND FLOORS.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 5" FROM FINISH WALL TO FINISH JAMB.
- ALL WALL MOUNTED TELEPHONE AND ELECTRICAL OUTLETS SHALL BE INSTALLED AT 15" A.F.F., UNLESS OTHERWISE NOTED.
- ALL LIGHT FIXTURES SHALL BE LOCATED EXACTLY AS INDICATED ON CEILING PLANS.
- FOR PLUMBING ACCESS PANEL LOCATIONS REFER TO THE FLOOR PLAN DRAWINGS.
- FOR MECHANICAL ACCESS PANEL LOCATIONS REFER TO THE FLOOR PLAN DRAWINGS.
- ONE HOUR FIRE-RESISTIVE PARTITIONS SHALL EXTEND FROM FLOOR SLAB TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE WITH 3/4" THICK TYPE 'X' GYPSUM BOARD ON BOTH SIDES AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION.

- TEMPORARY TOILET FACILITIES TO BE PROVIDED BY G.C. PER CITY OF BURBANK MUNICIPAL CODE.
- THERE SHALL BE NO TRENCHES OR EXCAVATION 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- THE CONSTRUCTION OR DEMOLITION OF ANY BUILDING STRUCTURE, SCAFFOLDING OR FASWARK MORE THAN 3 STORIES OR 36' IN HEIGHT REQUIRES A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.



2230 N FREDERIC ST
BURBANK, CA 91504

LEGEND OF SYMBOLS

	METAL		NORTH ARROW
	PLYWOOD		SECTION
	GYPSUM WALLBOARD		GRID LINE
	CONCRETE		MATCH LINE
	FINISH WOOD		ELEVATION
	BATT INSULATION		DIRECTION OF SLOPE
	ACOUSTICAL TILE		DRAWING NUMBER
	WOOD BLOCKING		INTERIOR ELEVATION
	CONT. WOOD BLOCKING		ROOM NUMBER
	CARPET SECTION		STOREFRONT
	DETAIL NUMBER		DOOR
	SHEET ON WHICH DETAIL OCCURS		WINDOW
	ROOM FINISH NOTE		CENTERLINE
	DOOR NUMBER		
	ROOM NUMBER		

STANDARD ABBREVIATIONS

⊙	AT	EXTR.	EXTRUDED	P. LAM.	PLASTIC LAMINATE
A.B.	ANCHOR BOLT	F.D.	FLOOR DRAIN	P.B.L.	PAPER BACKED LATH
A.D.	AREA DRAIN	FDN.	FOUNDATION	P.T.	PRESSURE TREATED
ADD'L.	ADDITIONAL	FIN.	FINISH	PART'N.	PARTITION
ADJ.	ADJACENT	FL.	FLOOR	PLAST.	PLASTER
A.F.F.	ABOVE FINISH FLOOR	FLASH'G.	FLASHING	PLY.	PLYWOOD
ALUM.	ALUMINUM	F.O.C.	FACE OF CONCRETE	PAIR	PAIR
APPROX.	APPROXIMATELY	F.O.F.	FACE OF FINISH	PRPT.	PARAPET
ARCH.	ARCHITECT	F.O.M.	FACE OF MASONRY	PTD.	PAINTED
A.S.	ASPHALTIC CONCRETE	F.O.S.	FACE OF STUD	R.O.	ROUGH OPENING
ASSY.	ASSEMBLY	FRM'G.	FRAMING	R.	RADIUS
B.O.	BOTTOM OF	FT.	FOOT / FEET	R.C.P.	REFLECTED CEILING PLAN
BD.	BOARD	FTG.	FOOTING	RD.	ROOF DRAIN
BIT.	BITUMEN(OUS)	GA.	GAUGE	REF.	REFERENCE
BLDG.	BUILDING	GALV.	GALVANIZED	REINF.	REINFORCEMENT
BLKG.	BLOCKING	GYP.	GYPSUM	REQ'D.	REQUIRED
BM.	BEAM	H.B.	HOSE BIBB	RF'G.	ROOFING
CAB.	CABINET	H.C.	HOLLOW CORE	RM.	ROOM
C.B.	CATCH BASIN	H.M.	HOLLOW METAL	S.B.	SANDBLASTED
C.T.	CERAMIC TILE	HDR.	HEADER	S.D.	STORM DRAIN
CEM.	CEMENT	HORIZ.	HORIZONTAL	S.C.	SOLID CORE
CL.	CENTER LINE	HT.	HEIGHT	S.S.	STAINLESS STEEL
CLG.	CEILING	I.D.	INSIDE DIAMETER	SCHED.	SCHEDULE
CLR.	CLEAR	INFO.	INFORMATION	SHT.	SHEET
COL.	COLUMN	INSUL.	INSULATION	SIM.	SIMILAR
COMP.	COMPOSITION	INT.	INTERIOR	SPEC.	SPECIFICATION
CONC.	CONCRETE	I.S.F.W.	INSIDE OF FINISH WALL	SPEC'D.	SPECIFIED
CONSTR.	CONSTRUCTION	JOINT	JOINT	SQ.	SQUARE
CONT.	CONTINUOUS	M.O.	MASONRY OPENING	STD.	STANDARD
CONTR.	CONTRACTOR	MAX.	MAXIMUM	STRUCT.	STRUCTURAL
CPT.	CARPET	MBR.	MEMBER	SUSP.	SUSPENDED
CTR.	CENTER	MECH.	MECHANICAL	T.	TEMPERED
DBL.	DOUBLE	MEMB.	MEMBRANE	T.O.	TOP OF
D.F.	DOUGLAS FIR	MFR.	MANUFACTURER	T.C.S.	TERNE COATED STEEL
DIA.	DIAMETER	MIN.	MINIMUM	T.C.Z.	TERNE COATED ZINC
DIM.	DIMENSION	MISC.	MISCELLANEOUS	TEMP.	TEMPERED
DN.	DOWN	MTD.	MOUNTED	THK.	THICK
DR.	DOOR	MTL.	METAL	TYP.	TYPICAL
D.S.	DOWNSPOUT	N.I.C.	NOT IN CONTRACT	U.B.C.	UNIFORM BUILDING CODE
DTL.	DETAIL	N.T.S.	NOT TO SCALE	U.O.N.	UNLESS OTHERWISE NOTED
DWG.	DRAWING	NAT.	NATURAL	VERT.	VERTICAL
EA.	EACH	NOM.	NOMINAL	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
ELEC.	ELECTRICAL	O/	OVER	W.C.	WATER CLOSET
ELEV.	ELEVATION	O.C.	ON CENTER	W/O	WITHOUT
ENCL.	ENCLOSURE	O.D.	OUTSIDE DIAMETER	W/	WITH
EQ.	EQUAL	O.H.	OVER HEAD	W/I	WITHIN
EXIST.	EXISTING	OPEN'G.	OPENING	W.P.	WATER PROOF
EXP.	EXPANSION	OPP.	OPPOSITE	W.R.	WATER RESISTANT
EXT.	EXTERIOR	O.S.F.W.	OUTSIDE FACE OF FINISH WALL	WD.	WOOD
		P.L.	PROPERTY LINE	W.T.	WALL THICKNESS

SHEET INDEX

- ARCHITECTURAL:**
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 - A-0.3 AVERAGE SETBACK DIAGRAM
 - A-1.1 EXISTING SITE
 - A-1.2 PROPOSED SITE
 - A-2.1 PROPOSED FLOOR PLANS
 - A-2.2 PROPOSED ROOF PLAN
 - A-3.1 PROPOSED ELEVATION
 - A-4.1 SECTIONS
 - A-5.1 DOOR AND WINDOW SCHEDULE

- LANDSCAPE:**
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 - L-2 LANDSCAPE PLAN
 - L-3 IRRIGATION PLAN

PROJECT SUMMARY

SCOPE OF WORKS:
THE SCOPE OF WORK INCLUDES DEMOLISHING AN EXISTING 1-STORY HOUSE WITH A TOTAL AREA OF 701 SQ.FT AND CONSTRUCTING A NEW 2-STORY HOUSE WITH A TOTAL AREA OF 1,887 SQ.FT.

AREA ANALYSIS & BUILDING DATA:

LOT SIZES	50.0' x 134.61'
LOT AREA:	6,730 SQ. FT.
ZONE:	R-3
TYPE OF CONSTRUCTION:	V-B
FIRE SPRINKLER:	YES
HIGH FIRE HAZARD ZONE:	NO
ALLOWABLE HEIGHT:	2 STORIES, 35 FT.
PROPOSED HEIGHT:	22'-7"
USE:	MULTI-FAMILY RESIDENTIAL
NUMBER OF EXISTING UNITS :	2
LOT COVERAGE REQUIRED :	60% OF 6,730= 4,038
EXISTING LOT COVERAGE :	1ST UNIT 952 + 2ND UNIT 701= 1,653 SQ.FT.
PROPOSED LOT COVERAGE :	1ST UNIT 952 + 1024= 1,976 SQ.FT.< 4,038 OK
EXISTING 1ST UNIT AREA :	1,446 SQ.FT.
PROPOSED 2ND UNIT AREA :	1ST FL. 877 + 2ND FL. 808 = 1,685 SQ.FT.
PRIVATE OPEN SPACE REQUIRED:	50 S.F. PER UNIT / 200 S.F. FOR 5 OR LESS UNITES
PRIVATE OPEN SPACE PROVIDED:	802 SQ.FT. > 50 SQ.FT.
TOTAL # OF PARKING SPACES REQ.:	2 PARKING SPACES PER UNIT
TOTAL # OF PARKING SPACES PROVIDED:	EXISTING 2 CAR GARAGE FOR 1ST UNIT
LANDSCAPING AREA REQUIRED :	25% OF 6,730 = 1,682 SQ.FT.
TOTAL LANDSCAPING AREA:	500+965+248+32 =1,745 > 1,682 OK

LEGAL DESCRIPTION

PROPERTY DESCRIPTION PER L.A. COUNTY ASSESSOR'S

ASSESSOR'S ID NO: 2466-015-029
SITE ADDRESS: 2230 N FREDERIC ST BURBANK CA 91504

PROPERTY TYPE: MULTI-FAMILY RESIDENTIAL
REGION / CLUSTER: 03 / 03414
TAX RATE AREA (TRA): 02530

PROPERTY BOUNDARY DESCRIPTION: TRACT NO 4615 LOT 100

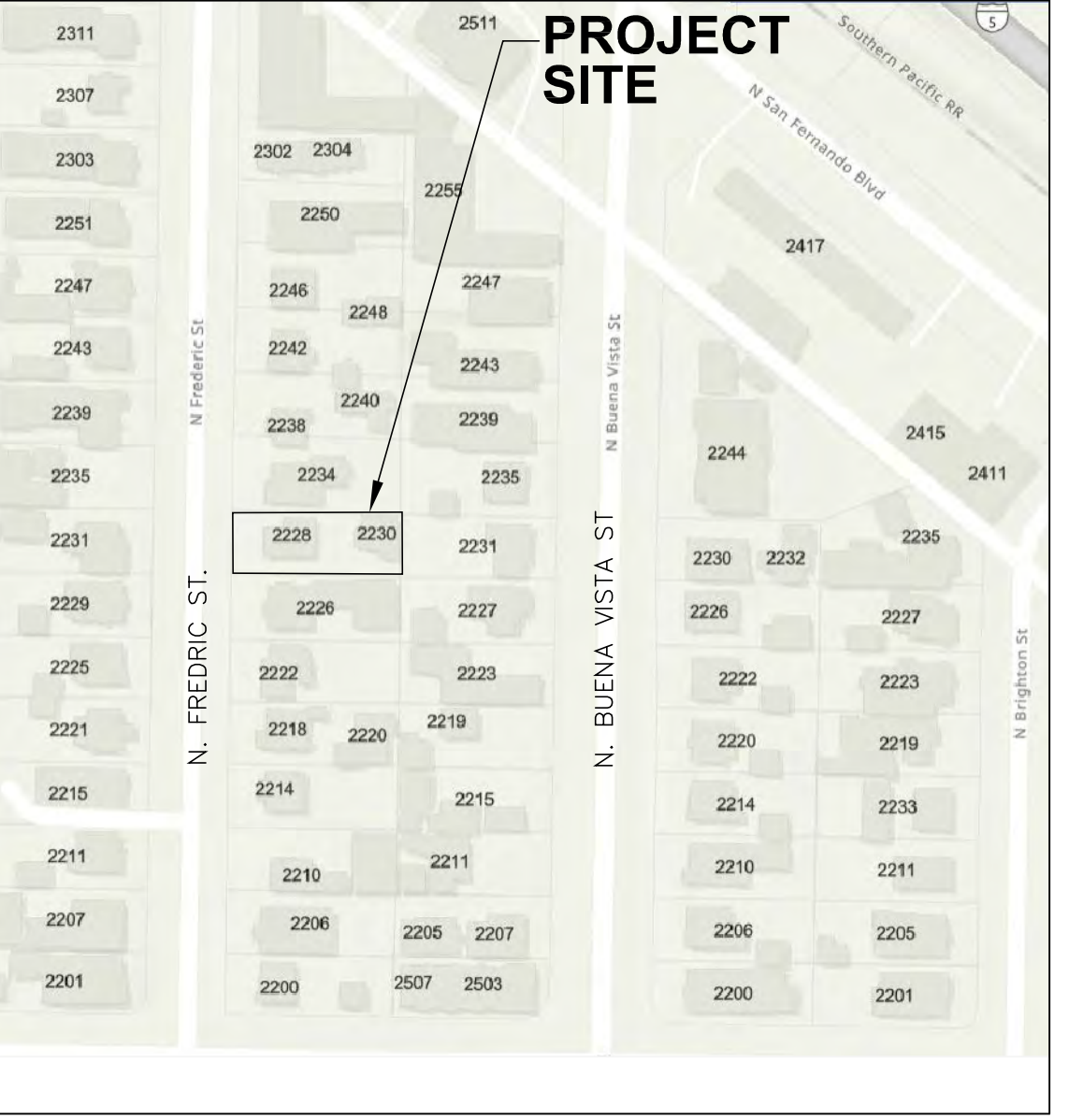
BUILDING IMPROVEMENT 1

SQUARE FOOTAGE: 701
YEAR BUILT / EFFECTIVE YEAR BUILT: 1924 / 1990
BEDROOMS / BATHROOMS: 2 / 1
UNITS: 1

BUILDING IMPROVEMENT 2

SQUARE FOOTAGE: 1,446
YEAR BUILT / EFFECTIVE YEAR BUILT: 2004 / 2004
BEDROOMS / BATHROOMS: 3 / 2
UNITS: 1

VICINITY MAP



PARALLEL BUILDING DESIGN STUDIO INC.

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OWNER:
Mr.ROGER RANJBAR

PROJECT NAME:

PROJECT ADDRESS:
**2230 N FREDERIC ST.
BURBANK CA. 91504**

COVER SHEET

Scale: N/A

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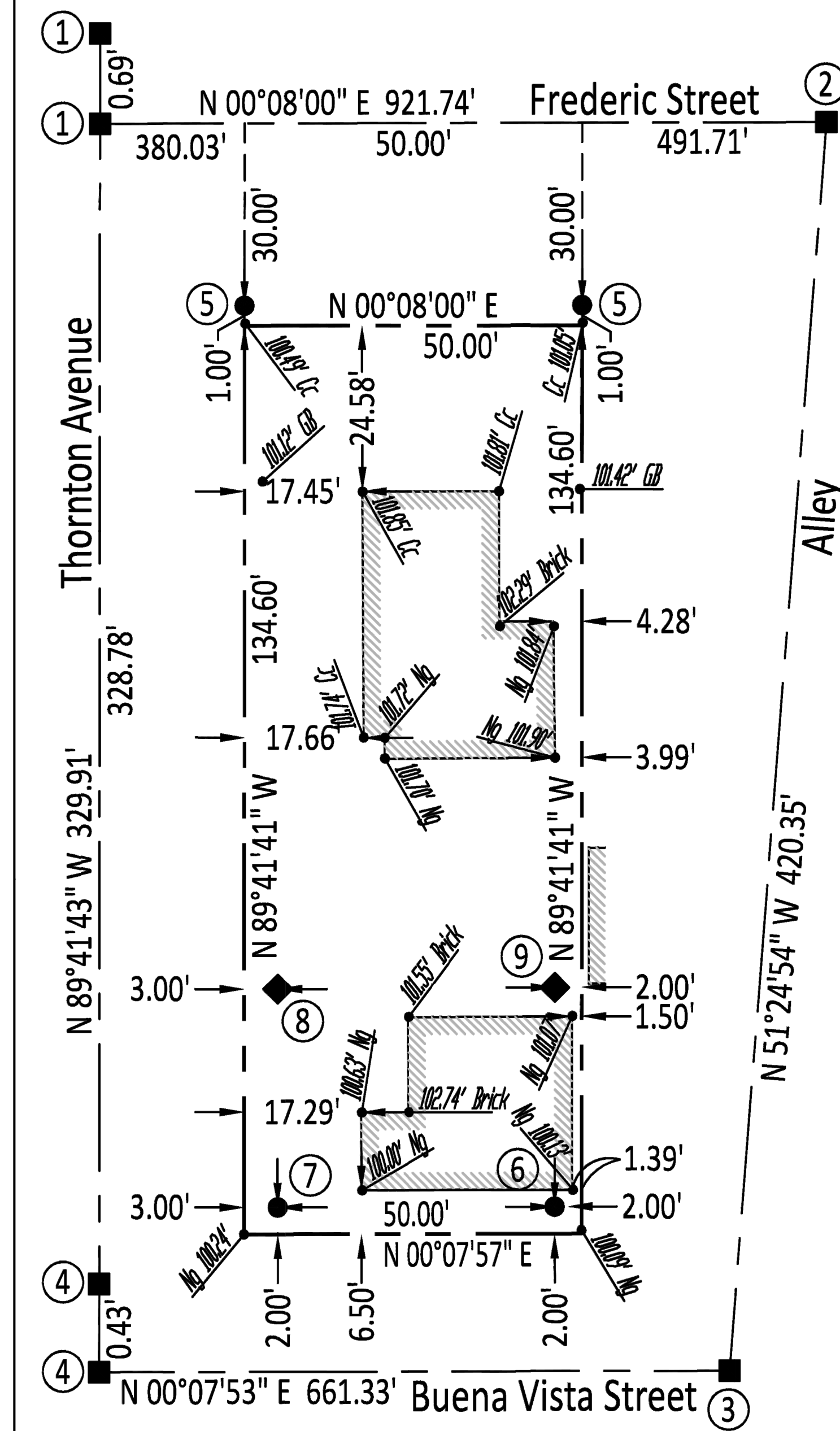
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SURVAY

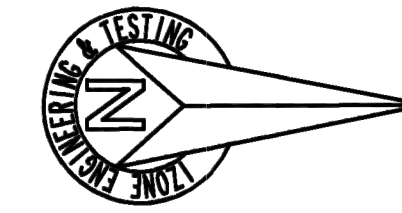
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Offset Certification



06-03-2024



References

- R1 Tract No. 4615 M.B. 91~13-14
- R2 PWFB1818~1550-1551
- R3 FB 337 P.127
- R4 FB 337 P.153-154
- R5 FB 338 P.135

Not to Scale

Monuments

- ① Found spike & LS 4016 washer per R2.
- ② Found spike & LS 4887 washer per R3.
- ③ Established by ties per R4.
- ④ Found spike & LS 4016 washer per R5.
- ⑤ Set LS 7764 tag on lot line produced 1.00' from lot corner.
- ⑥ Set 5/8" rebar with LS 7764 plug on double 2.00' offset from lot lines.
- ⑦ Set 1" iron pipe with LS 7764 plug on double offset from lot lines as shown.

Construction ◆

- ⑧ Set 1x2 hub & nail on 3.00' offset from lot line.
- ⑨ Set 1x2 hub & nail on 2.00' offset from lot line.

Offsets to monuments and staking shown herein may be exaggerated for clarity.

Boundary Survey	Project No. 21-0568	IZONE Engineering & Testing
2228-2230 N Frederic St. Burbank, CA 91504	Date 06-03-2024	13406 Saticoy St. North Hollywood, CA 91605
Lot 100 Tract No. 4615	Drawn JA	(747) 200-7722
M.B. 91 Pages 13 - 14	Approved MP	office@izone-engineering.com
APN 2466-015-029	Scale NTS	
	Sheet 1 of 1	

- = Point Found/Established
- = Point Set
- Cc = Concrete
- GB = Grade Break
- Ng = Ground



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AVERAGE SETBACK DIAGRAMS

Scale: N/A

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AVERAGE SETBACK:

NORTH $\frac{(16'-5" \times 3') + (15'-6 \frac{1}{2}" \times 7'-1 \frac{1}{2}") + (11'-7 \frac{1}{2}" \times 12'-1")}{30'-1 \frac{1}{2}"} = 49.25 + 109.4 + 140.46' = 9'-11"$

EAST $\frac{(9'-5" \times 11'-10 \frac{1}{2}") + (26'-7" \times 8'-10 \frac{1}{2}")}{36'-0"} = 111.82' + 235.92' = 9'-8"$

SOUTH $\frac{(17'-11 \frac{1}{2}" \times 7'-0") + (10' \times 12'-11")}{27'-11 \frac{1}{2}"} = 125.7' + 129.16' = 9'-1"$

PLAN BREAK OFFSET:

NORTH 5'+9'-5"=14'-5"

EAST 3'

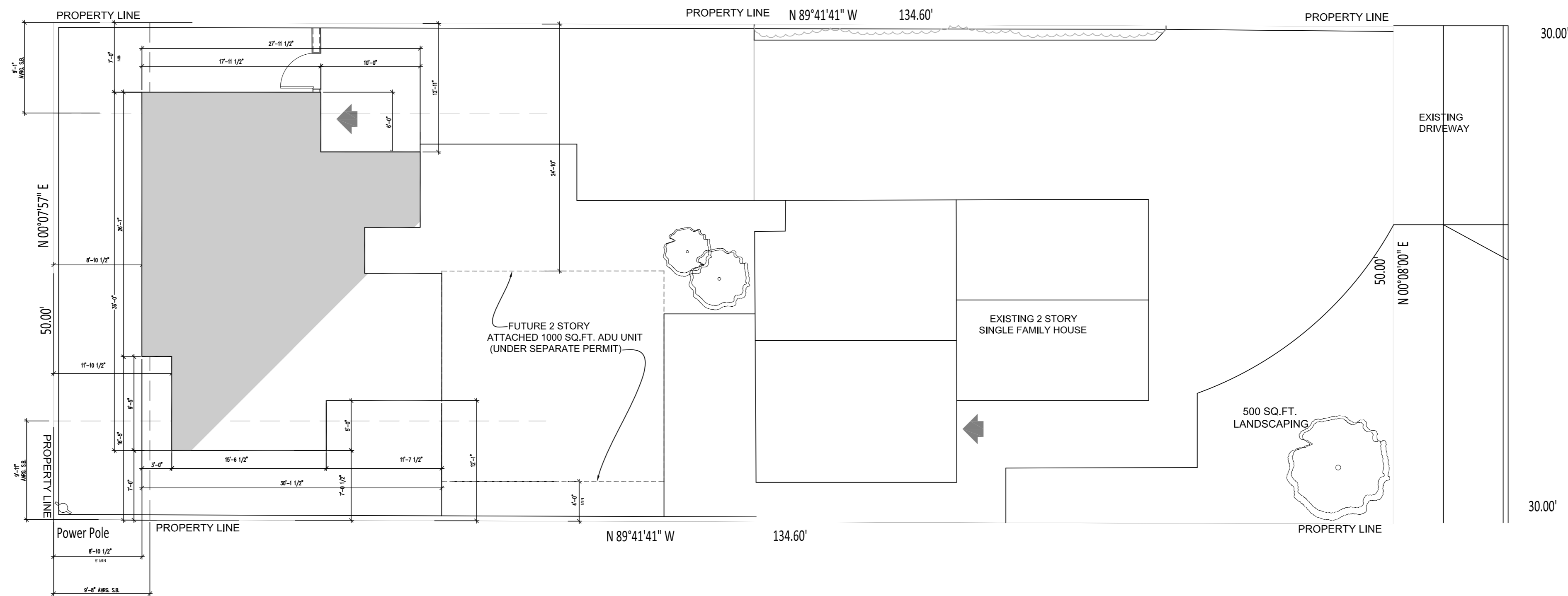
SOUTH 6'

PLAN LENGTH BEHIND AVERAGE SETBACK (MIN. 25% & MAX. 75%)

NORTH $11'-7 \frac{1}{2}" + 3' = 14'-7 \frac{1}{2}"$ of $30'-1 \frac{1}{2}" = 48.54\%$ BEHIND THE AVG. SETBACK

EAST $9'-5"$ of $36' = 26.15\%$ BEHIND THE AVG. SETBACK

SOUTH $10'$ of $27 \frac{1}{2}' = 35.71\%$



1 FIRST FLOOR - AVERAGE SETBACK DIAGRAM
SCALE: 3/16"=1'-0"

AVERAGE SETBACK:

NORTH $\frac{(16'-5" \times 3') + (15'-6 \frac{1}{2}" \times 7'-1 \frac{1}{2}") + (11'-7 \frac{1}{2}" \times 12'-1")}{30'-1 \frac{1}{2}"} = 49.25 + 109.4 + 140.46' = 9'-11"$

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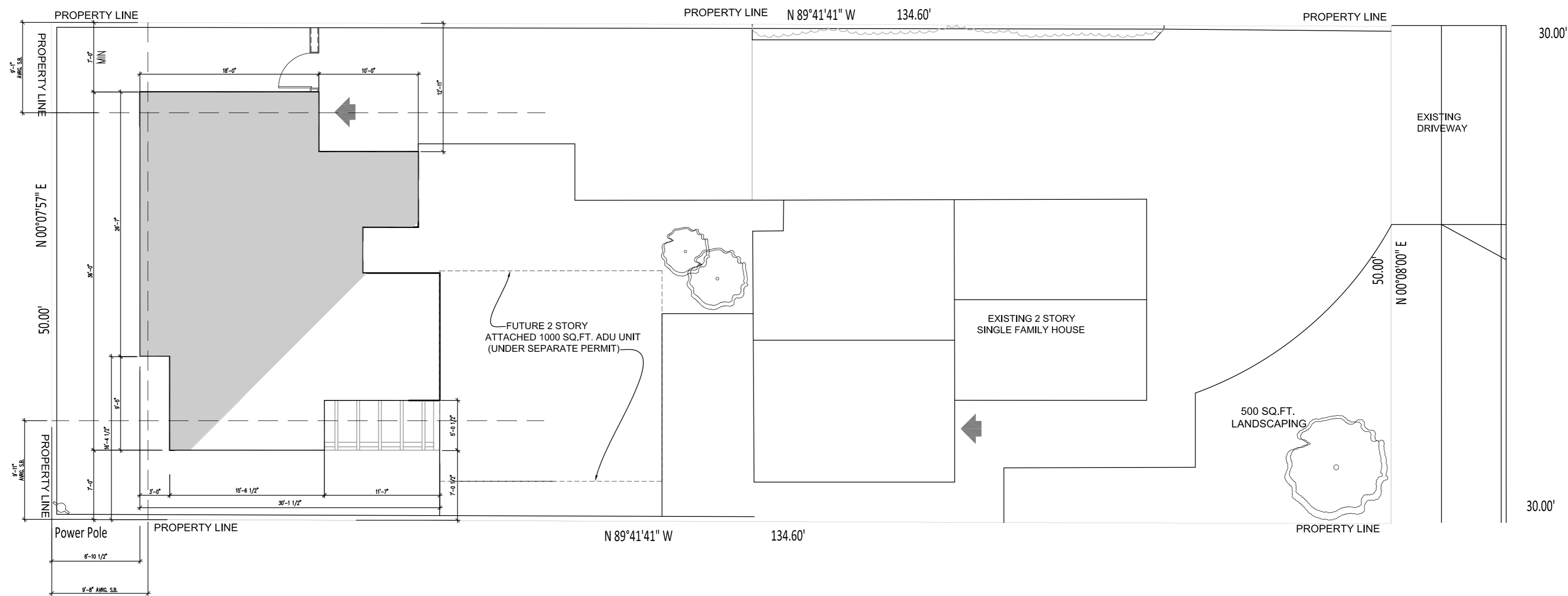
SOUTH 6'

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EAST $9'-5"$ of $36' = 26.15\%$ BEHIND THE AVG. SETBACK

SOUTH $10'$ of $27 \frac{1}{2}' = 35.71\%$



2 SECOND FLOOR - AVERAGE SETBACK DIAGRAM
SCALE: 3/16"=1'-0"



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PROJECT NAME:

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EXISTING SITE PLAN

Scale: 3/16"=1'-0"

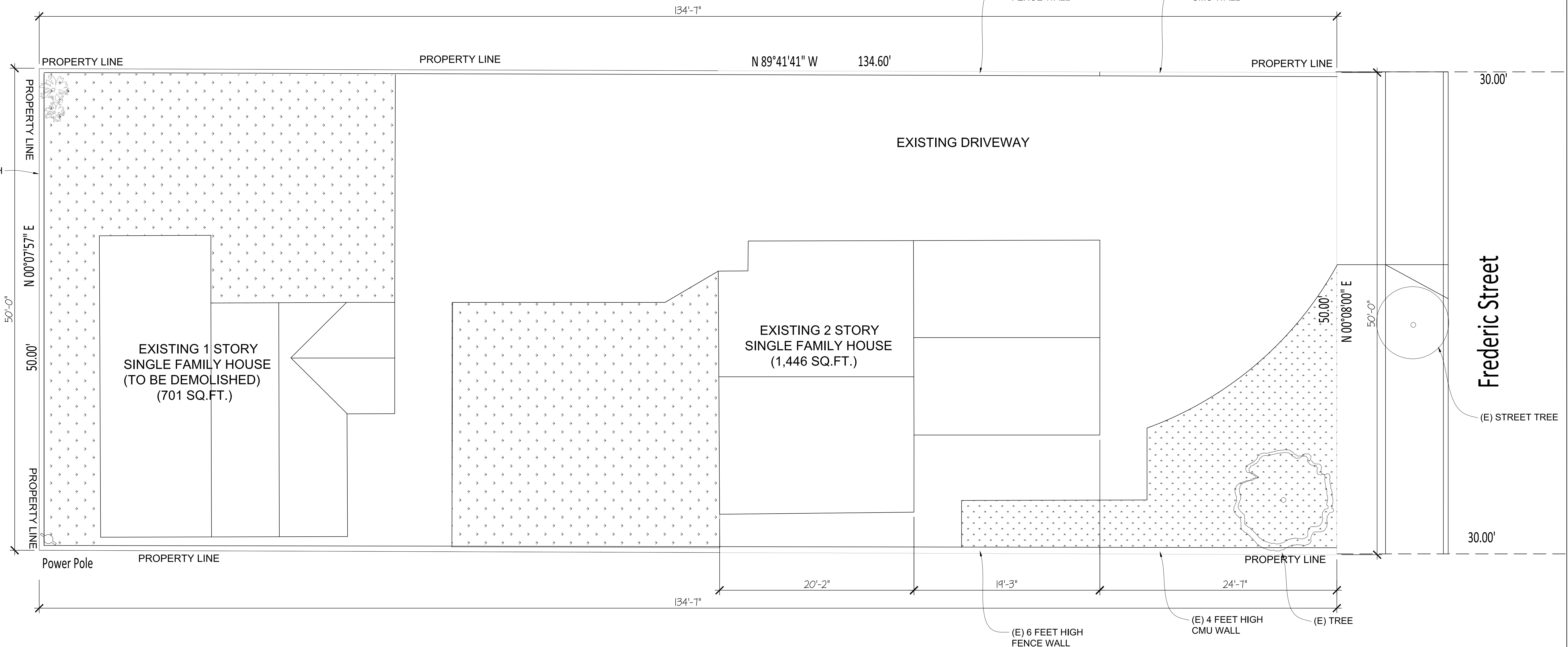
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(E) 6 FEET HIGH FENCE WALL

(E) 6 FEET HIGH FENCE WALL

(E) 4 FEET HIGH CMU WALL



1 **EXISTING SITE PLAN**
SCALE: 3/16"=1'-0"

INDIGENOUS TREE NOTE:
THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE PROPOSED SITE OR WITHIN 20 FEET OF THE PROPERTY LINES OF THE PROPOSED SITE. SEE DEMOLITION PLAN FOR FURTHER INFORMATION REGARDING TREES WITHIN PROPOSED DEVELOPMENT.



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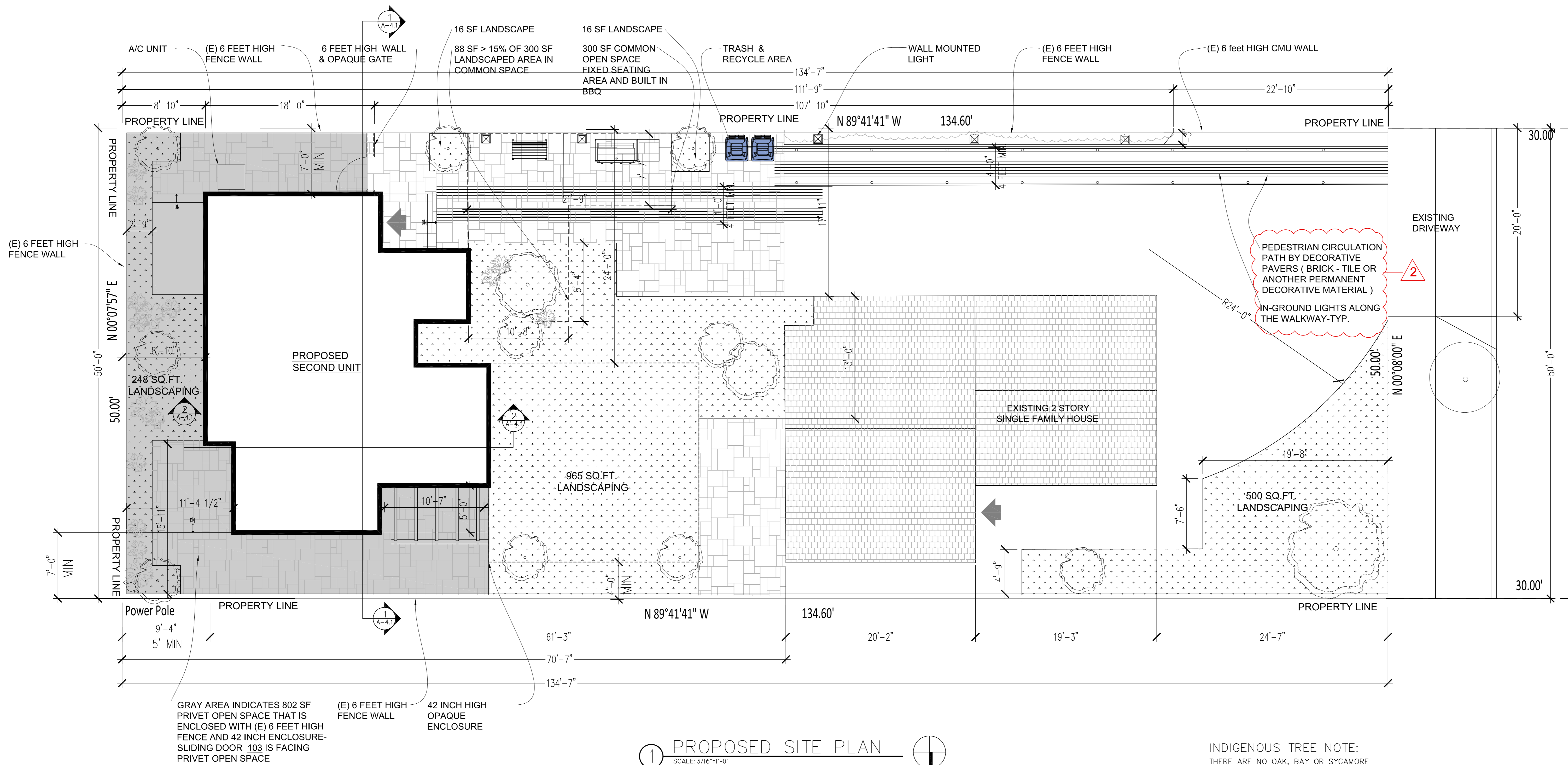
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PROPOSED SITE PLAN

Scale: 3/16"=1'-0"

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1 PROPOSED SITE PLAN

SCALE: 3/16"=1'-0"

INDIGENOUS TREE NOTE:

THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE PROPOSED SITE OR WITHIN 20 FEET OF THE PROPERTY LINES OF THE PROPOSED SITE. SEE DEMOLITION PLAN FOR FURTHER INFORMATION REGARDING TREES WITHIN PROPOSED DEVELOPMENT.

STREET NUMBER NOTE:

ALL RESIDENTIAL STRUCTURES SHALL DISPLAY A STREET NUMBER IN A PROMINENT POSITION SO THAT IT SHALL BE EASILY VISIBLE FROM THE STREET. THE NUMBERS SHALL BE AT LEAST FOUR (4) INCHES IN HEIGHT, OF A COLOR CONTRASTING TO THE BACKGROUND AND LOCATED SO THEY MAY BE CLEARLY SEEN AND READ. IF THE STRUCTURE HAS REAR VEHICLE ACCESS, NUMBERS SHALL BE PLACED THERE AS WELL. THE FIRE OR POLICE DEPARTMENTS MAY REQUIRE THE SIZE OF THE NUMBERS TO BE INCREASED OR PROVIDED IN ADDITIONAL LOCATIONS IF THE DISTANCE FROM OR ORIENTATION TO THE STREET LIMITS VISIBILITY.



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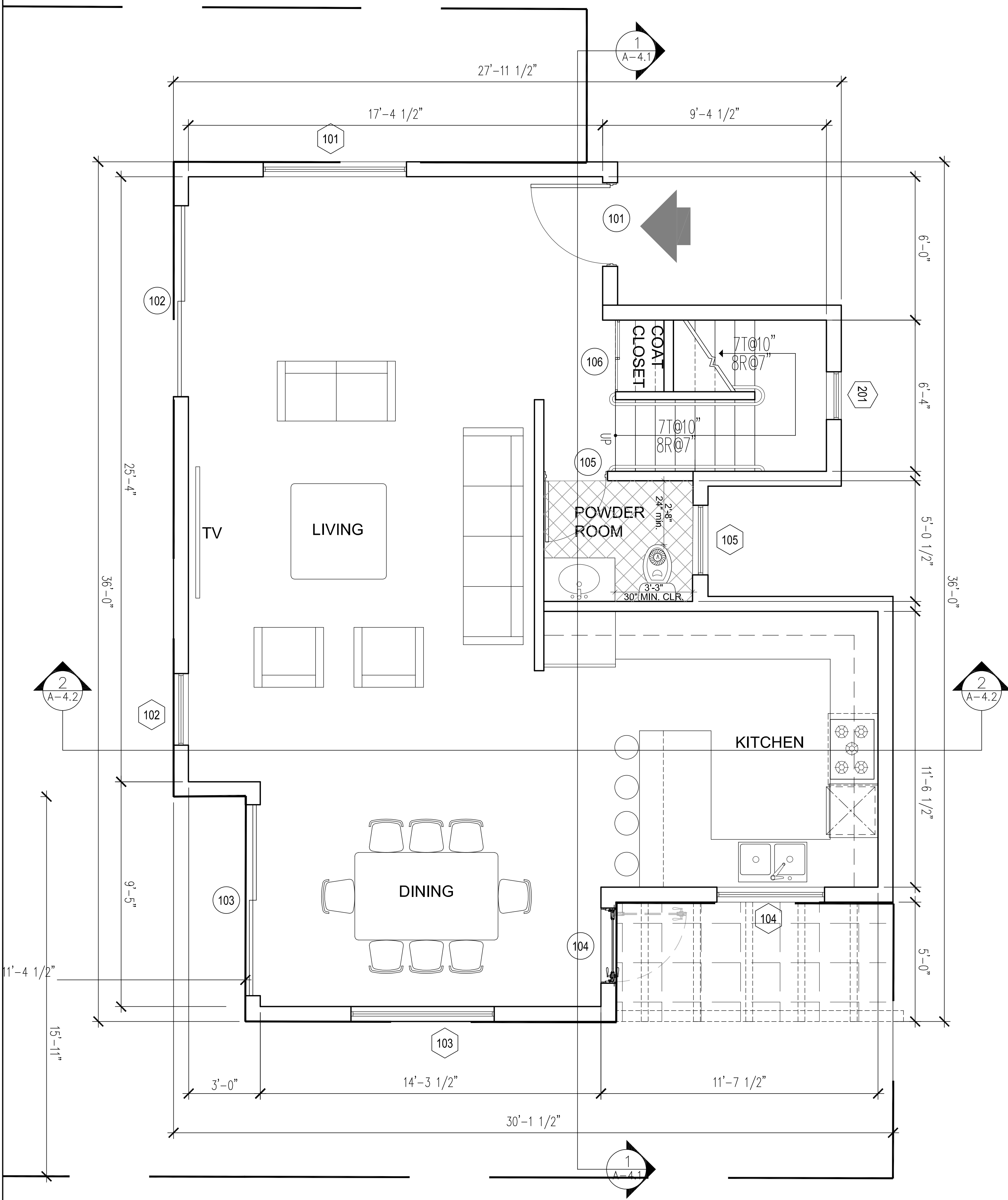
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**FIRST AND
SECOND
FLOOR PLANS**

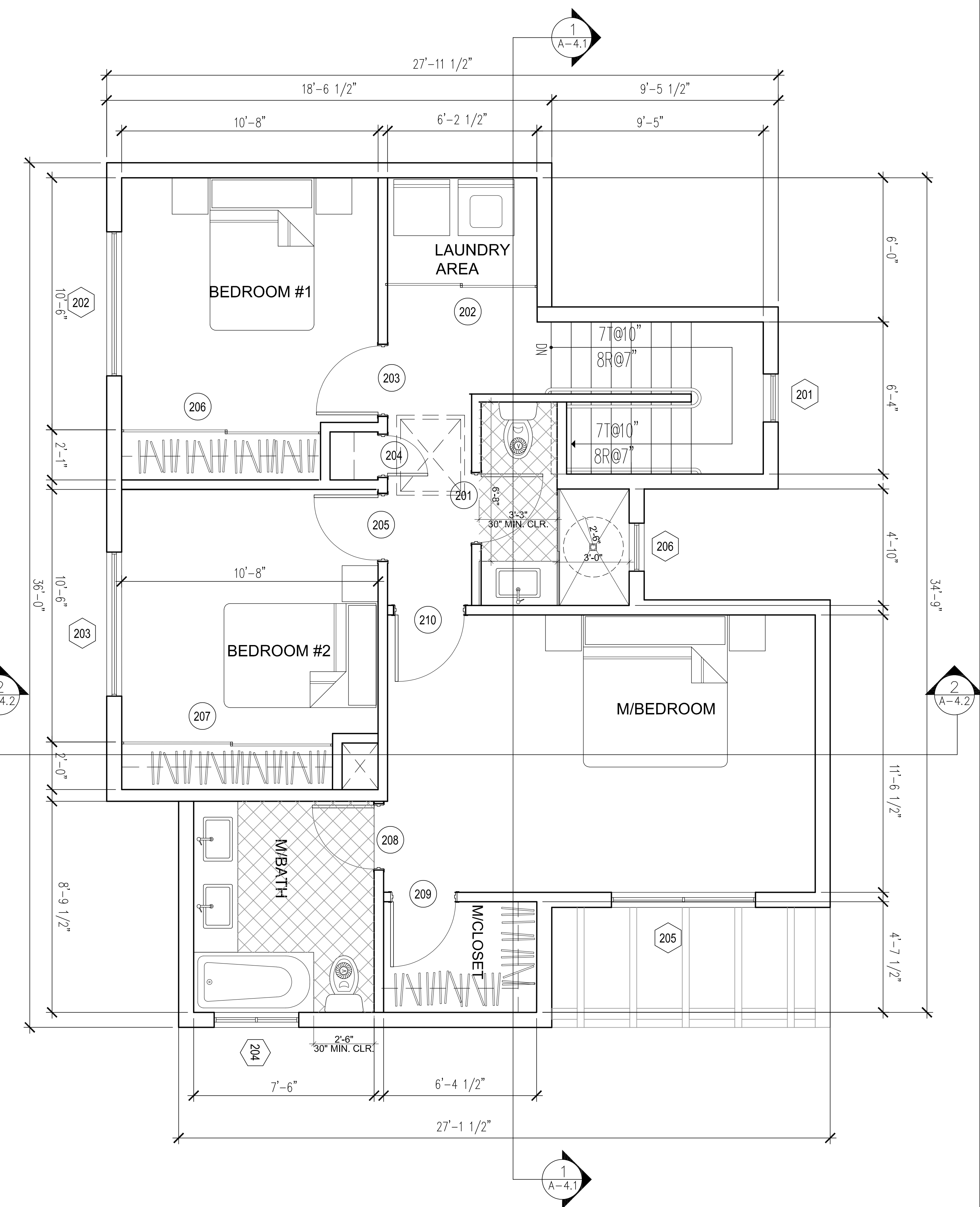
Scale: 3/8"=1'-0"

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1 PROPOSED FIRST FLOOR PLAN (877 S.F.)
SCALE: 3/8"=1'-0"



2 PROPOSED SECOND FLOOR PLAN (808 S.F.)
SCALE: 3/8"=1'-0"



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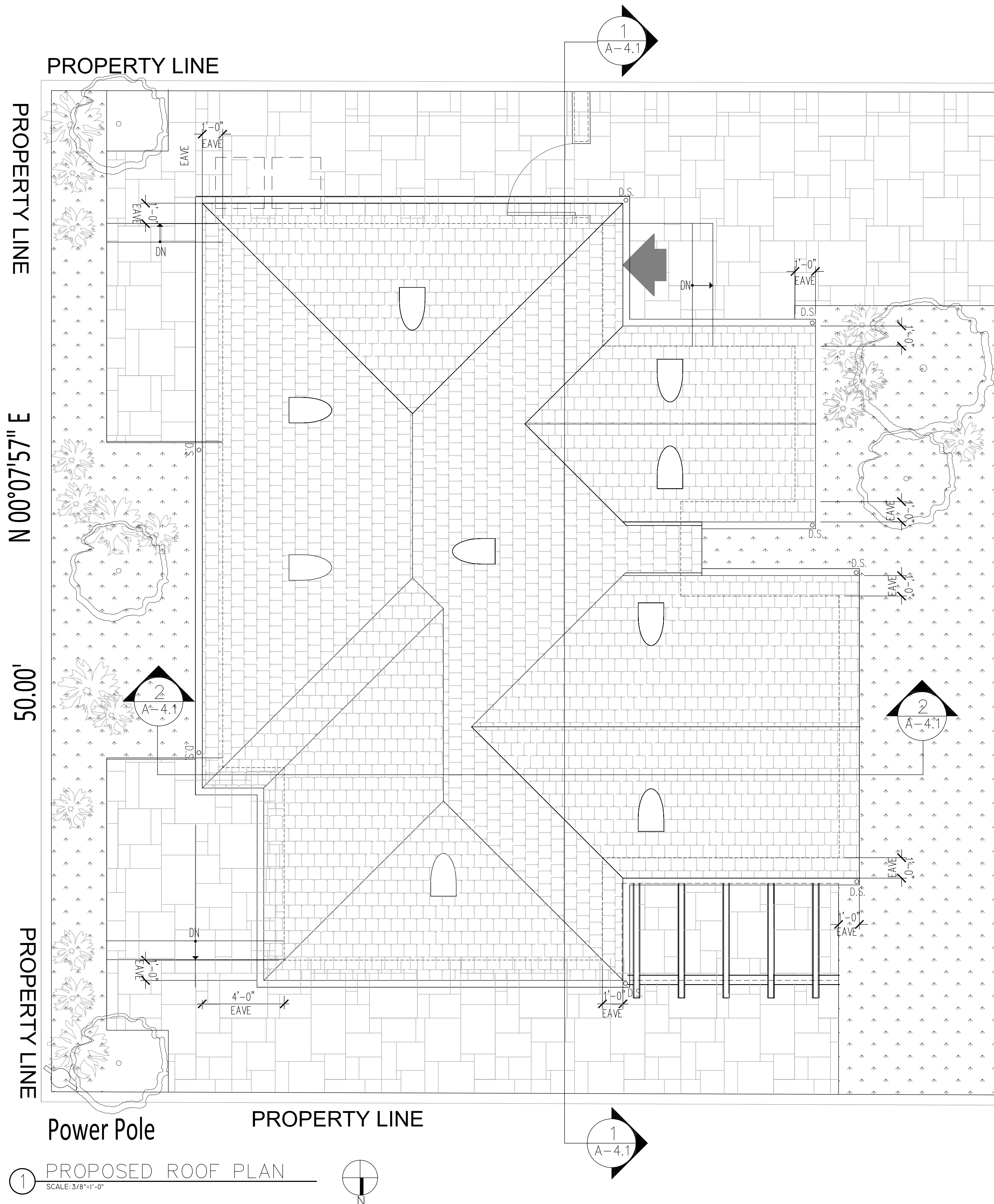
PROJECT ADDRESS:
**2230 N FREDERIC ST.
BURBANK CA. 91504**

PROPOSED ROOF PLAN

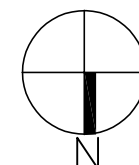
Scale: 3/8"=1'-0"

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE

A-2.2



1 PROPOSED ROOF PLAN
SCALE: 3/8"=1'-0"





PARALLEL BUILDING DESIGN STUDIO INC.

P.O. BOX 1602
Glendale, CA 91209
Phone: (818) 939-3201
Sevana@Parallelbd.com

OWNER:
Mr. ROGER RANJBAR

PROJECT NAME:

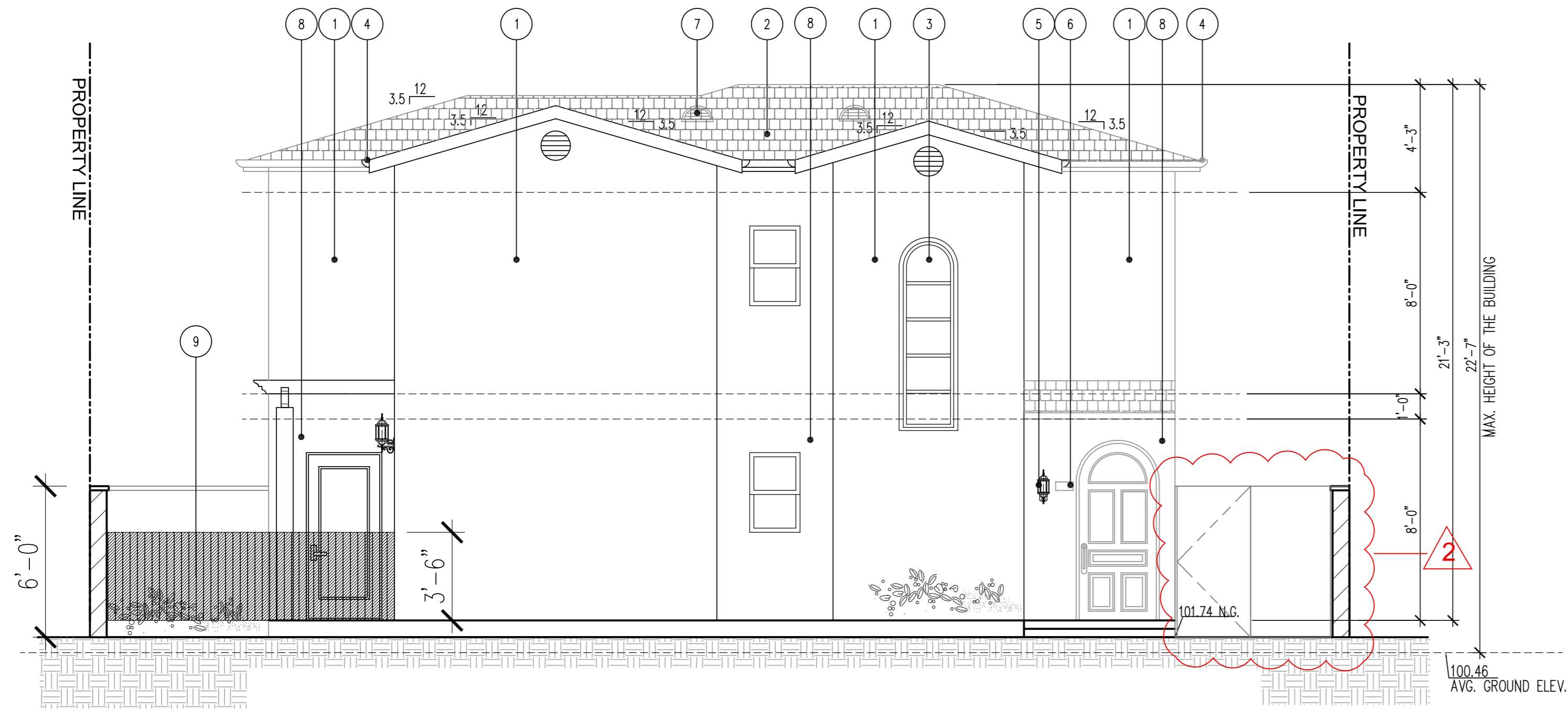
PROJECT ADDRESS:
**2230 N FREDERIC ST.
BURBANK CA. 91504**

PEOPOSED ELEVATIONS

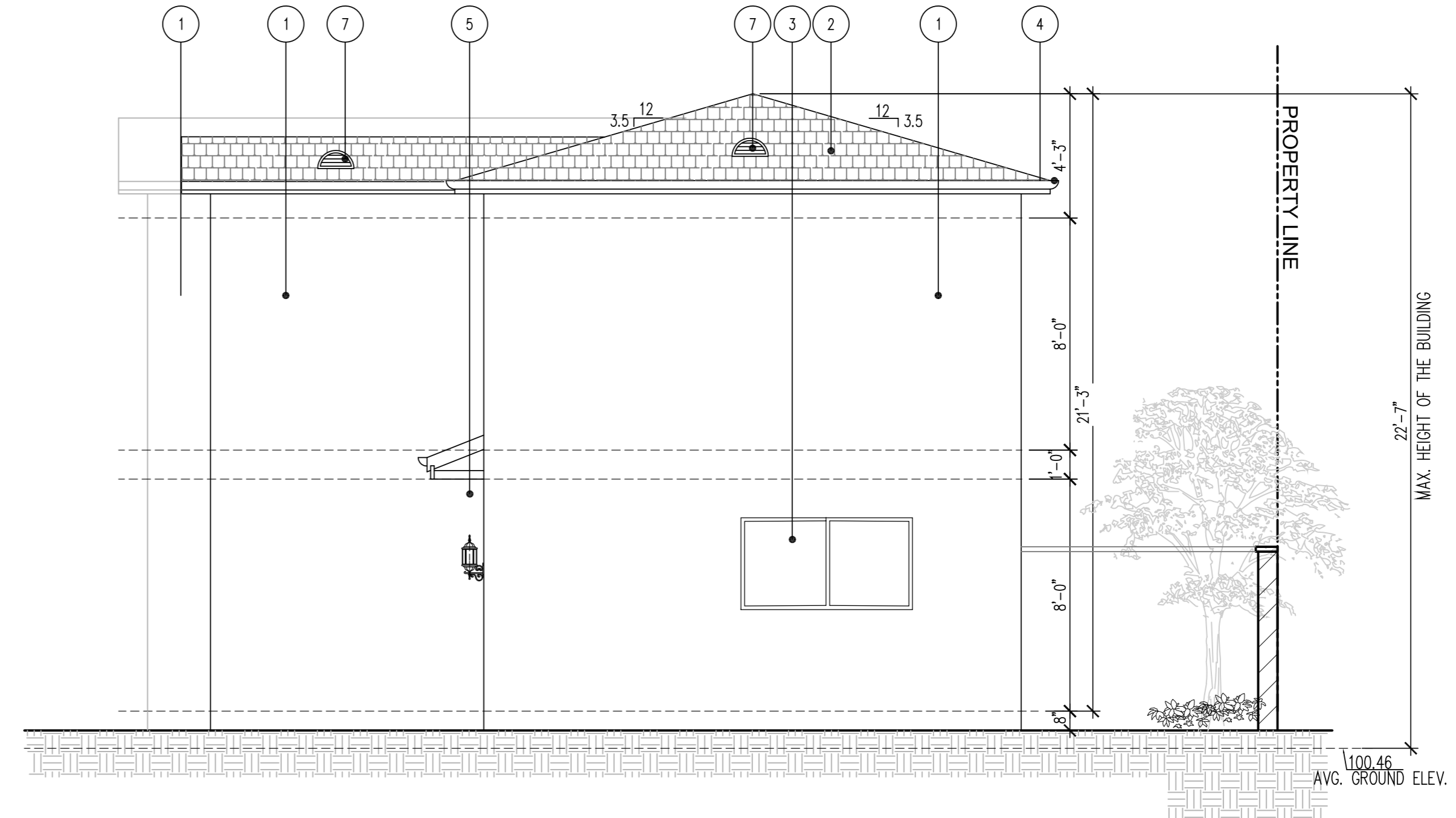
Scale: 1/4"=1'-0"

- APPROVED
- APPROVED
- REVISION
- REVISION 1/08/2025
- ▲ Respond to planning corrections
- REVISION 1/17/04/2024
- ▲ Respond to planning corrections
- DRAWN BY
- PRINT DATE

A-3.1



1 WEST ELEVATION
SCALE: 1/4"=1'-0"

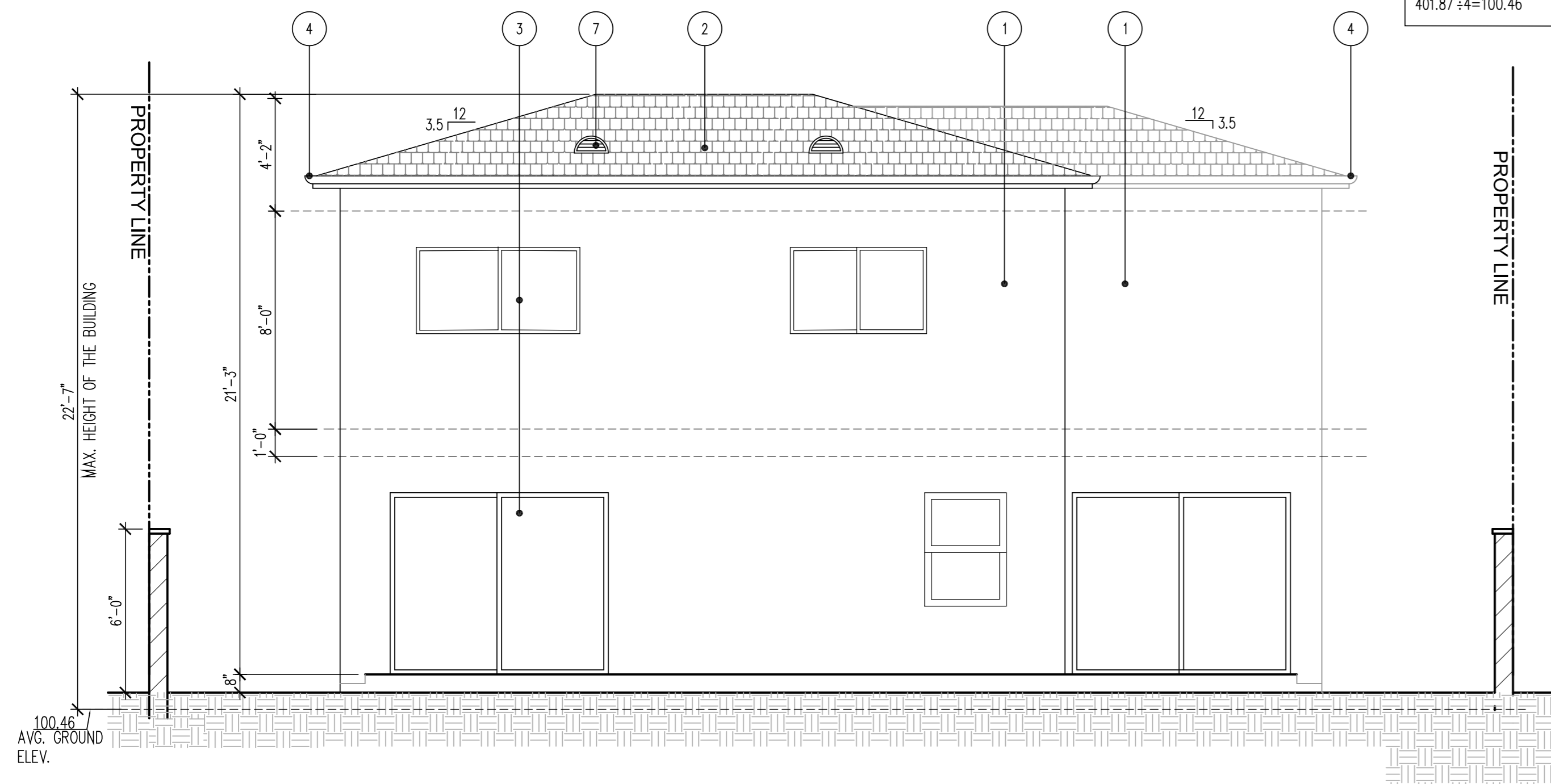


2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

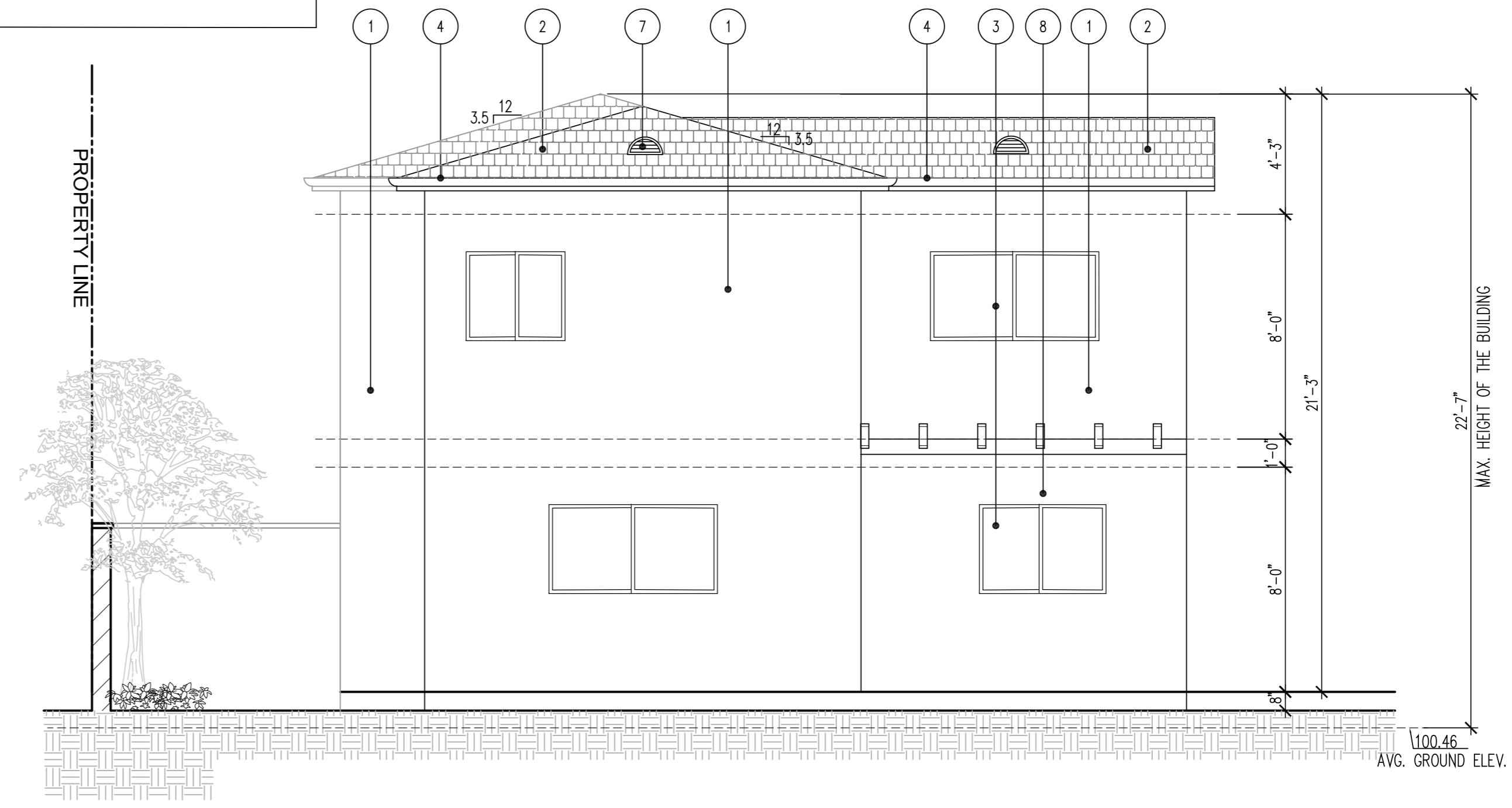
ELEVATION KEY NOTES- EXTERIOR FINISH MATERIALS:

1. NEW PLASTER- PAINTED COLOR:DEW339 BY: DUNNEDWARDS OR APRVD.EQ.TO MATCH EXISTING HOUSE(V.I.F.)
2. CERTAINTEDD ASPHALT SHINGLES, CLASS "A" (ICC# ESR-1389) COLOR: MATCH TO EXISTING
3. VINYL DOORS AND WINDOWS (MATCH EXISTING HOUSE)
4. ALUMINUM GUTTER NONCOMBUSTIBLE (TYP) PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER(705A.4)
5. ORNAMENTAL LIGHT FIXTURE
6. BUILDING ADDRESS (MIN. 4" HIGH A MINIMUM STROKE OF 1/2" PER CR319.1 CRC)
7. ATTIC VENT
8. NEW PLASTER-PAINTED COLOR:DE192 BY: DUNNEDWARDS OR APRVD.EQ.
9. 42" HIGH OPAQUE ENCLOSURE FOR PRIVET OPEN SPACE

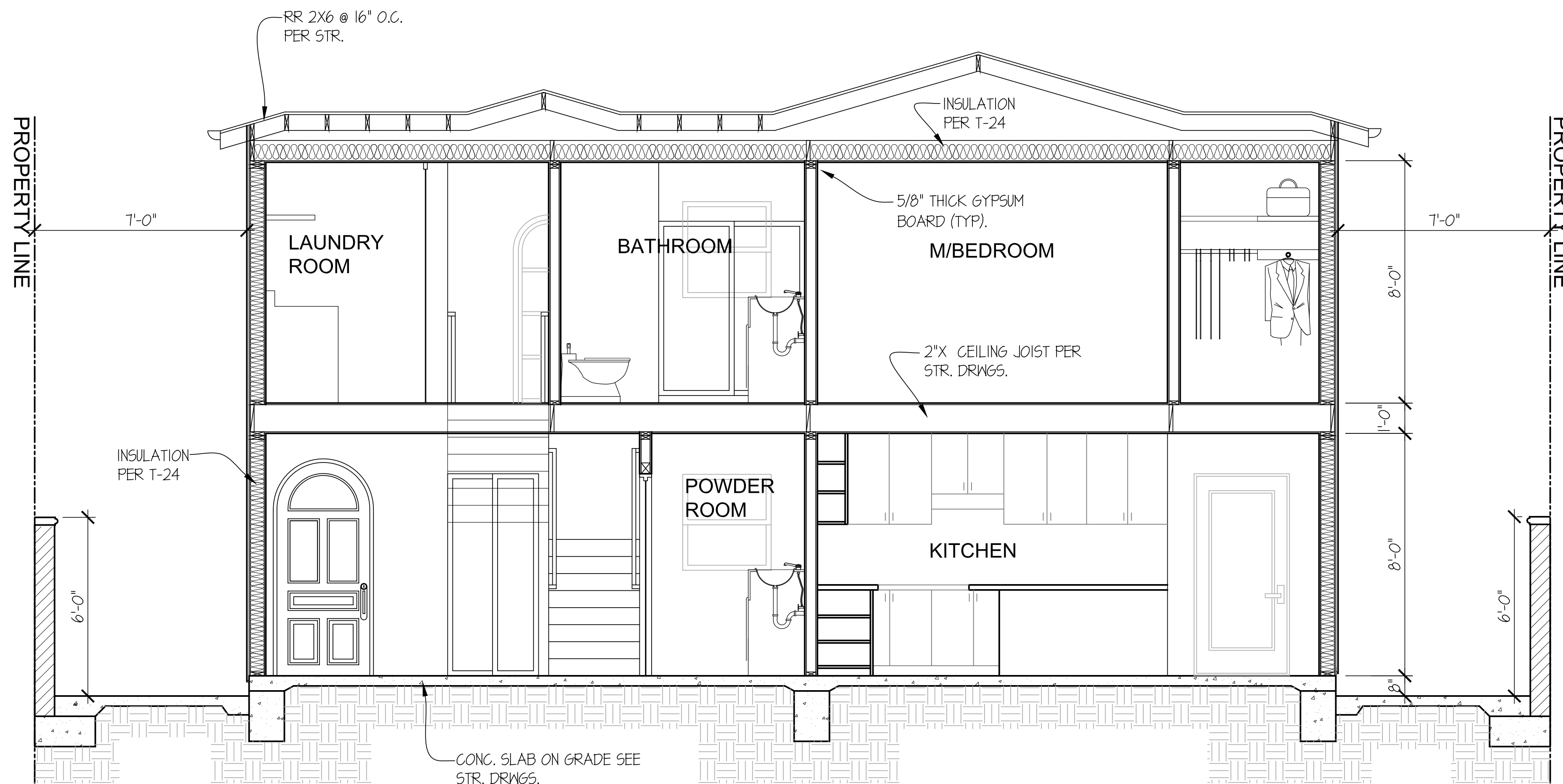
CALCULATION OF AVERAGE ELEVATION OF GROUND:
 $101.05' + 100.49' + 100.24' + 100.09' = 401.87'$ (Per Survey)
 $401.87' / 4 = 100.46'$



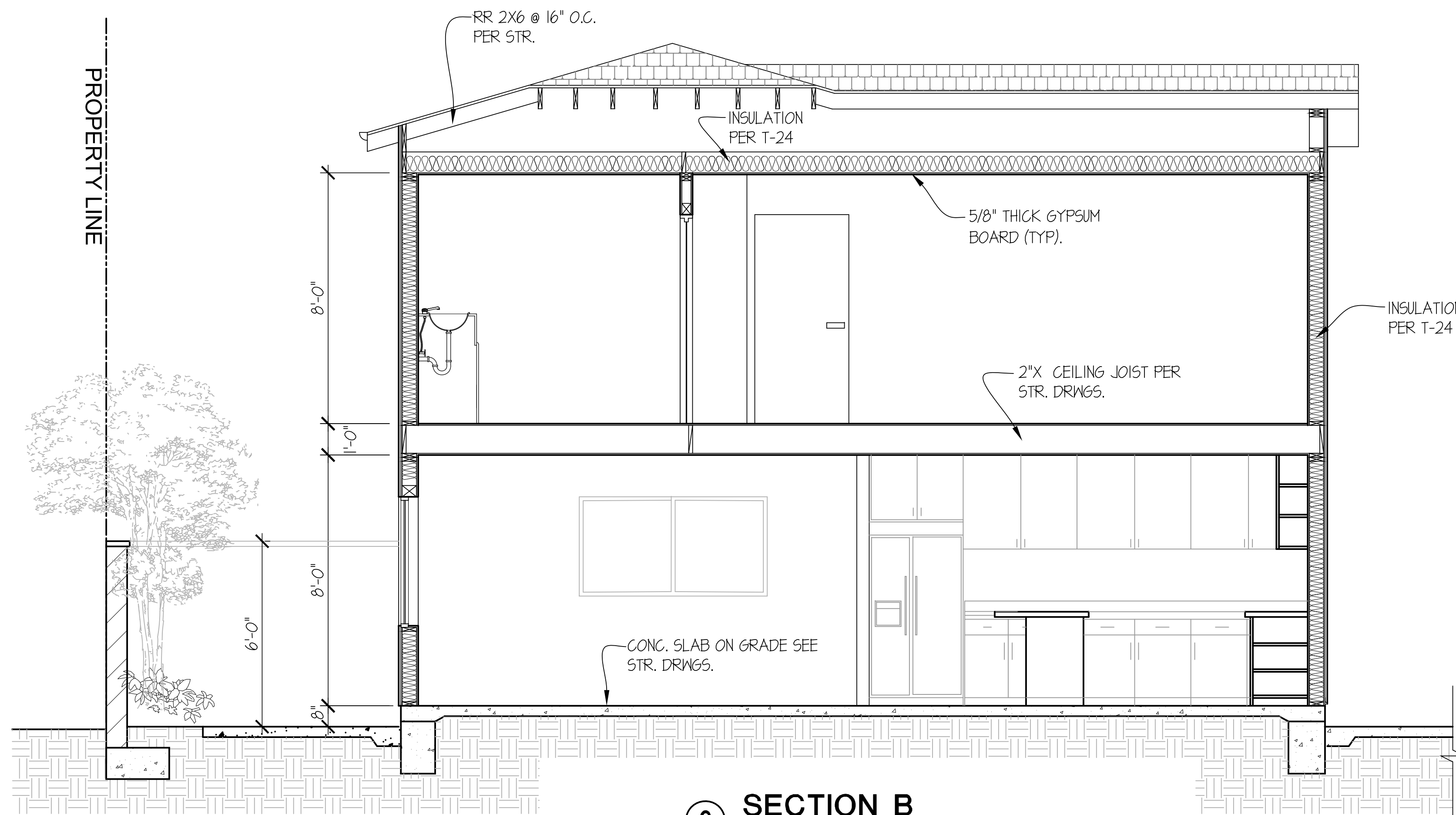
3 EAST ELEVATION
SCALE: 1/4"=1'-0"



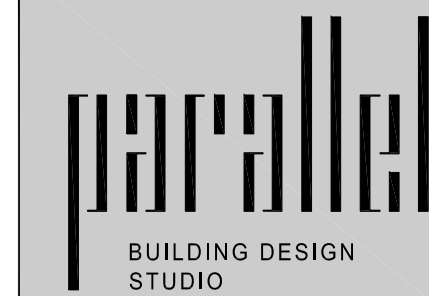
4 NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 SECTION A
SCALE: 1/4"=1'-0"



2 SECTION B
SCALE: 1/4"=1'-0"



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OWNER:
Mr. ROGER RANJBAR

PROJECT NAME:

PROJECT ADDRESS:
2230 N FREDERIC ST.
BURBANK CA. 91504

SECTIONS

Scale: 3/8"=1'-0"

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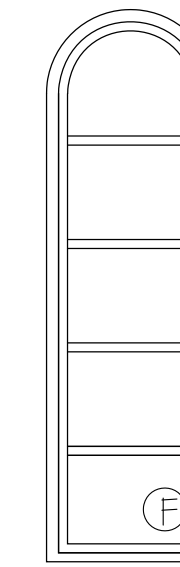
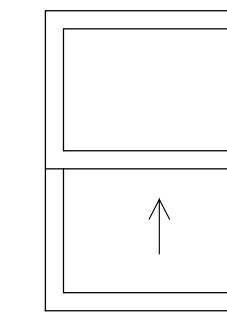
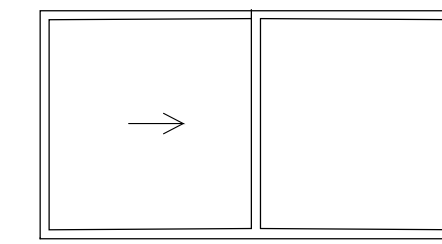
DOOR AND WINDOW SCHEDULE

Scale: 3/8"=1'-0"

- APPROVED
- APPROVED
- REVISION
- REVISION
- REVISION
- DRAWN BY
- PRINT DATE

WINDOW SYMBOL		PUBLIC SPACES											WINDOW SCHEDULE										
WINDOW NUMBER	WIN. TYPE	LOCATION	WINDOW SIZE			SILL HT.	OPENING AREA sq. FT.	MATERIAL		GLAZING		DETAIL			U FACTOR	SHGC ²		REMARKS					
			WIDTH	HEIGHT	THICK.			FRAME	WINDOW	SINGLE DUAL	TEMP. PLATE	SILL	JMB.	HD.									
101	B	LIVINGROOM	6'-0"	3'-2"		3'-6"	9	VINYL	GLASS	DUAL				0.34	NFRC	0.34	NFRC	SLIDING					
102	C	LIVINGROOM	3'-0"	4'-2"		2'-6"	6	VINYL	GLASS									SINGLE HANG					
103	B	DININGROOM	6'-0"	3'-2"		3'-6"	9	VINYL	GLASS									SLIDING					
104	B	KITCHEN	4'-6"	3'-2"		3'-6"	7	VINYL	GLASS									SLIDING					
105	C	POWDER ROOM	2'-0"	3'-2"		3'-6"	3	VINYL	GLASS									SINGLE HANG					
201	A	STAIRS	2'-4"	7'-8"		3'-6"	0	VINYL	GLASS									FIX					
202	B	BEDROOM#1	6'-0"	3'-2"		3'-6"	9	VINYL	GLASS									SLIDING					
203	B	BEDROOM#2	6'-0"	3'-2"		3'-6"	9	VINYL	GLASS									SLIDING					
204	B	M/BATHROOM	3'-6"	3'-2"		3'-6"	9	VINYL	GLASS									SLIDING					
205	B	M/BEDROOM	6'-0"	3'-2"		3'-6"	9	VINYL	GLASS									SLIDING					
206	C	BATHROOM	2'-0"	3'-2"		3'-6"	3	VINYL	GLASS	↓			↓	↓	↓	↓	↓	SINGLE HANG					

WINDOW TYPES



1ST FIN. FLR.

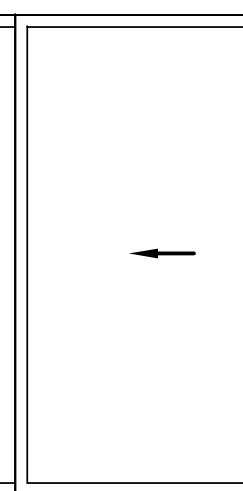
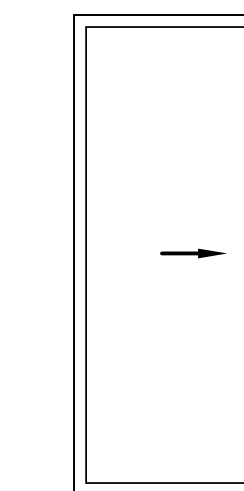
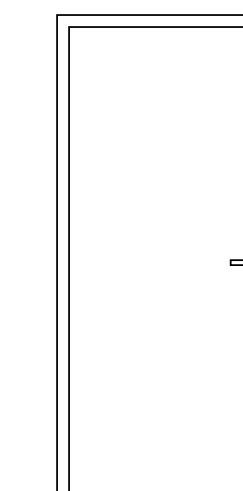
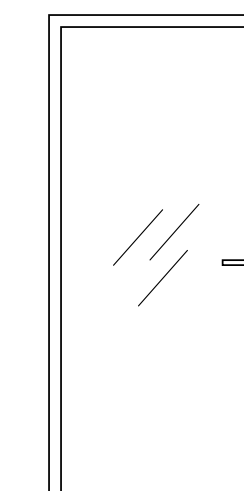
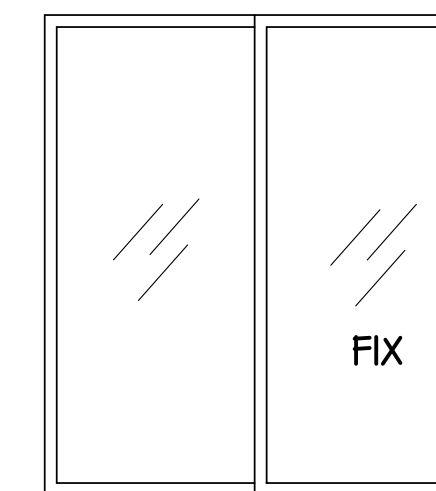
LANDING

WIN.TYPE B

WIN.TYPE C

WIN.TYPE A AT STAIRS

DOOR TYPES



1ST FIN. FLR.

DOOR TYPE A DOOR TYPE B DOOR TYPE C DOOR TYPE D DOOR TYPE E

DOOR SYMBOL		DOOR SCHEDULE															
DOOR NUMBER	DOOR TYPE	LOCATION	DOOR SIZE			FIRE RATING			MATERIAL		GLASS		DETAIL			HNSSET	REMARKS
			WIDTH	HEIGHT	THK.	1-1/2 HR	1-0 HR	20 MIN	FRAME	DOOR	SINGLE DUAL	TEMP. FLOAT	SILL	JMB.	HD.		
101	A	ENTRY	3'-6"	7'-0"	1 3/4"				WOOD	S.C.W							
102	B	LIVING ROOM	6'-0"	6'-8"	1 3/4"				VINYL	GLASS							
103	B	DINING	8'-0"	6'-8"	1 3/4"				VINYL	GLASS							
104	C	PATIO	3'-0"	6'-8"	1 3/4"				VINYL	GLASS							
105	D	POWDER ROOM	2'-8"	6'-8"	1 3/4"				WOOD	H.C.W							
106	E	C/L DOOR	3'-0"	6'-8"	1 3/4"				WOOD	H.C.W							
201	D	BATHROOM	3'-0"	6'-8"	1 3/4"				WOOD	H.C.W							
202	E	LAUNDRY	6'-4 1/2"	6'-8"	1 3/4"				WOOD	H.C.W							
203	D	BEDROOM#1	3'-0"	6'-8"	1 3/4"				WOOD	H.C.W							
204	D	C/L DOOR	1'-9 1/2"	6'-8"	1 3/4"				WOOD	H.C.W							
205	D	BEDROOM#2	3'-0"	6'-8"	1 3/4"				WOOD	H.C.W							
206	E	CLOSET	8'-2"	6'-8"	1 3/4"				WOOD	H.C.W							
207	E	CLOSET	8'-2"	6'-8"	1 3/4"				WOOD	H.C.W							
208	D	M/BATH	3'-0"	6'-8"	1 3/4"				WOOD	H.C.W							
209	D	C/L DOOR	2'-10"	6'-8"	1 3/4"				WOOD	H.C.W							
210	D	M/BEDROOM	3'-0"	6'-8"	1 3/4"				WOOD	H.C.W							

S.C.W: SOLID CORE WOOD
H.C.W: HOLLOW CORE WOOD

DOOR NOTE:

Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. All locking devices

RANJBAR RESIDENCE

2230 N FREDERIC ST.
BURBANK, CA 91504

PROJECT INFORMATION:

CONTACT INFORMATION:

LANDSCAPE ARCHITECT - AD DESIGN INC.
EMAIL - anthony@addesigninc.net
PHONE - 3 2 3 . 4 5 9 . 5 2 5 7

TOTAL LANDSCAPE AREA - 1,685 SQ. FT. (NOTE: PRESCRIPTIVE SUBMITTAL)

PROJECT TYPE - NEW CONSTRUCTION

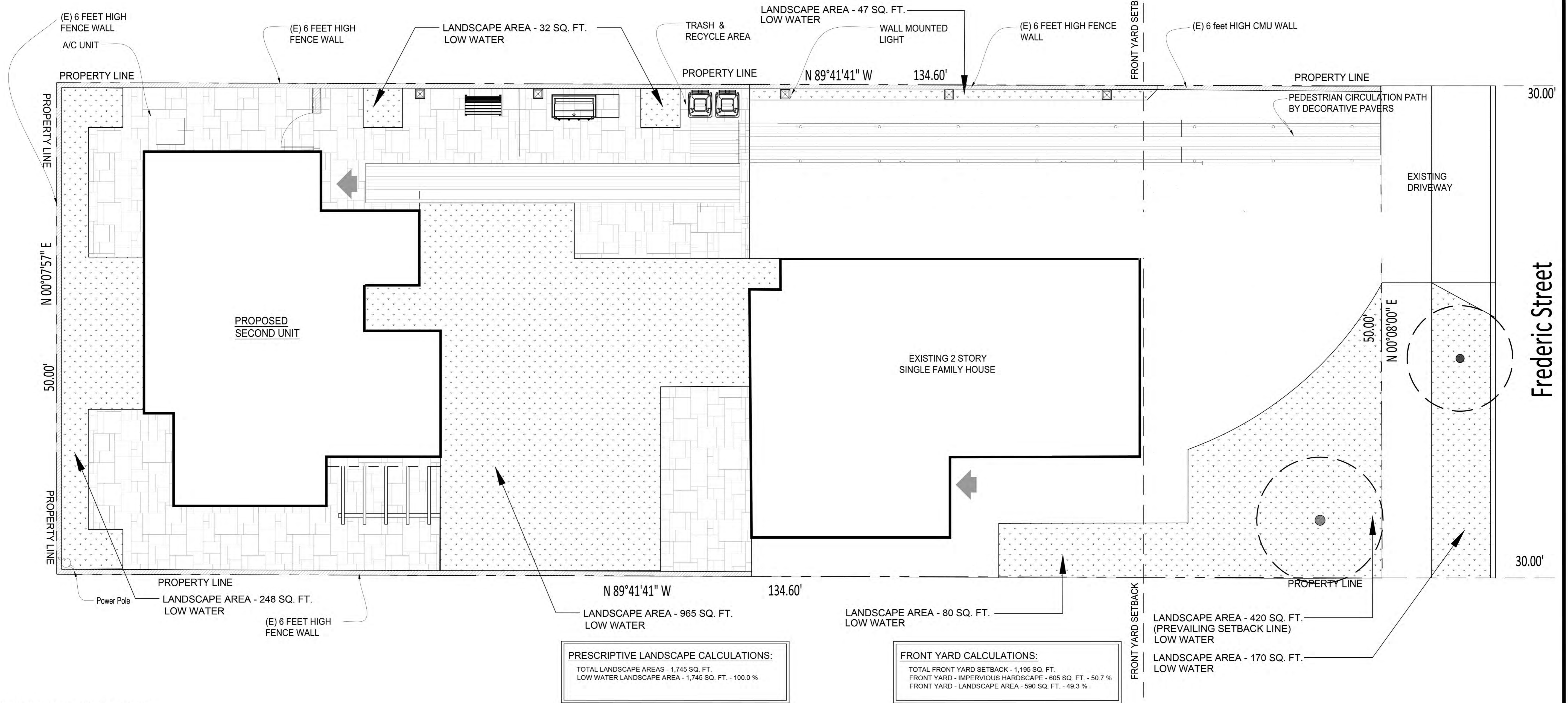
WATER SUPPLY - POTABLE WATER

SHEET INDEX:

L-1	WELO CALCULATIONS
L-2	LANDSCAPE PLAN
L-3	IRRIGATION PLAN



Date: 5-6-24



PRESCRIPTIVE LANDSCAPE CALCULATIONS:
 TOTAL LANDSCAPE AREAS - 1,745 SQ. FT.
 LOW WATER LANDSCAPE AREA - 1,745 SQ. FT. - 100.0 %

FRONT YARD CALCULATIONS:
 TOTAL FRONT YARD SETBACK - 1,195 SQ. FT.
 FRONT YARD - IMPERVIOUS HARDSCAPE - 605 SQ. FT. - 50.7 %
 FRONT YARD - LANDSCAPE AREA - 590 SQ. FT. - 49.3 %

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

(1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.

(2) The landscape design and water use calculations for the property located at 2230 N FREDERIC ST., BURBANK, CA 91504 (provide street address or parcel number(s)) were prepared by me or under my supervision.

(3) The landscape design and water use calculations for the identified property comply with the requirements of the City of BURBANK Water Efficient Landscape Ordinance (Municipal Code Sections 9-3-500) and the City of BURBANK Guidelines for Implementation of the City of BURBANK Water Efficient Landscape Ordinance.

(4) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of BURBANK Guidelines for Implementation of the City of BURBANK Water Efficient Landscape Ordinance.

Anthony Dornian 5.6.24
 Print Name Date

[Signature] 6409
 Signature License Number

Address _____

323.459.5257 anthony@addesigninc.net
 Telephone E-mail Address



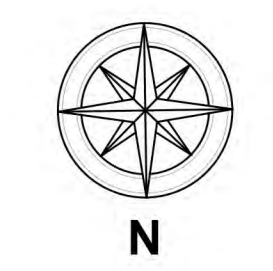
- NOTES:**
- For residential areas, 75% of landscape, excluding edibles and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3. WUCOLS plants database can be found online at: <http://ucanr.edu/sites/WUCOLS>
 - A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
 - Turf shall not exceed 25% of the landscape area in residential areas.
 - No turf permitted in non-residential areas
 - Turf not permitted on slopes greater than 25%
 - Turf is prohibited in parkways less than 10 feet wide.
 - Automatic weather-based or soil-moisture based Irrigation controllers shall be installed on the irrigation system.
 - Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
 - Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply.
 - Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
 - At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
 - Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.

A D DESIGN INC
 anthony@addesigninc.net
 P. 323.459.5257
 www.addesigninc.net



Project Name
RANJBAR RESIDENCE
 2230 N FREDERIC ST
 BURBANK, CA 91504

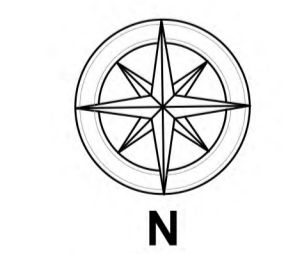
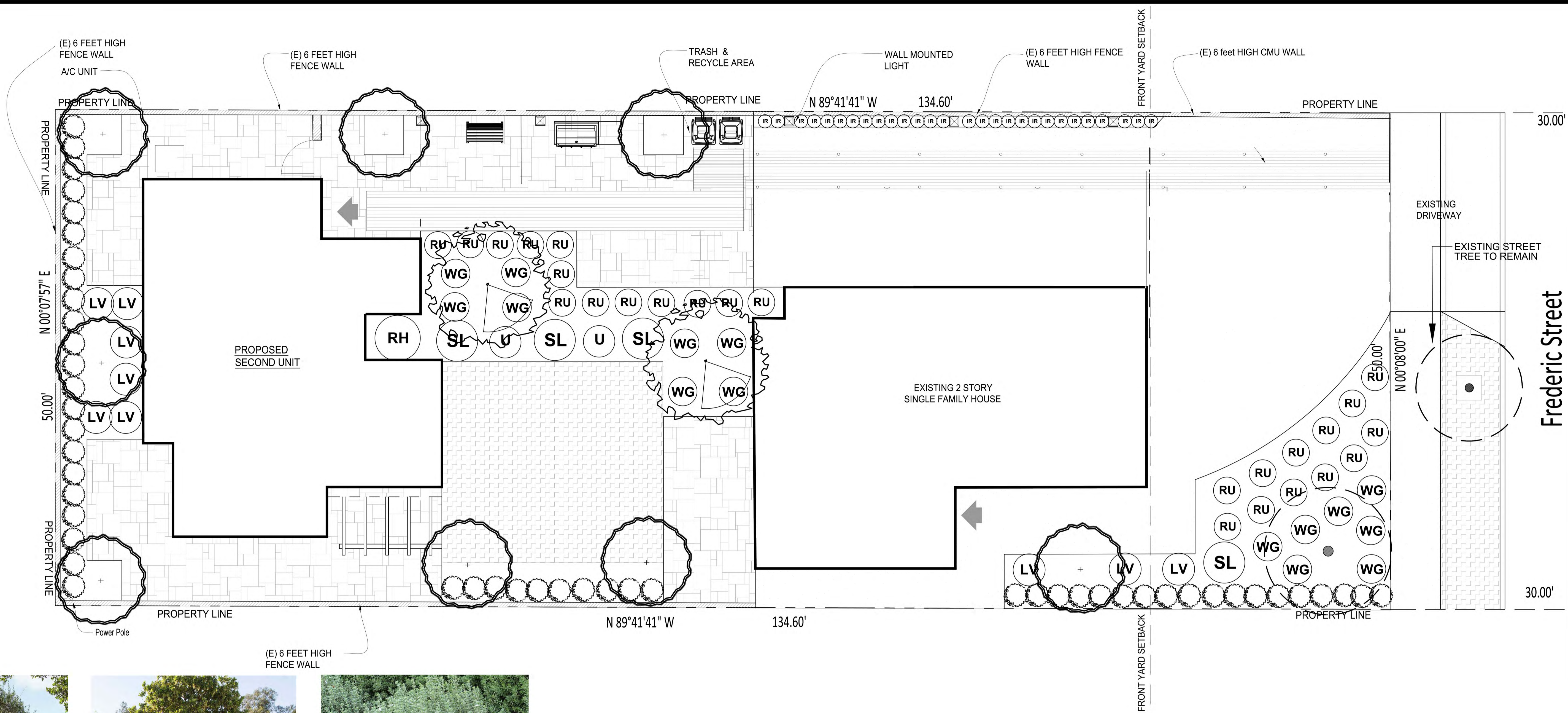
Sheet Title
WELO CALCULATION PLAN



Project No. _____

Date: 10-29-24
 Scale: 3/16" = 1'-0"

Revision No.	Description



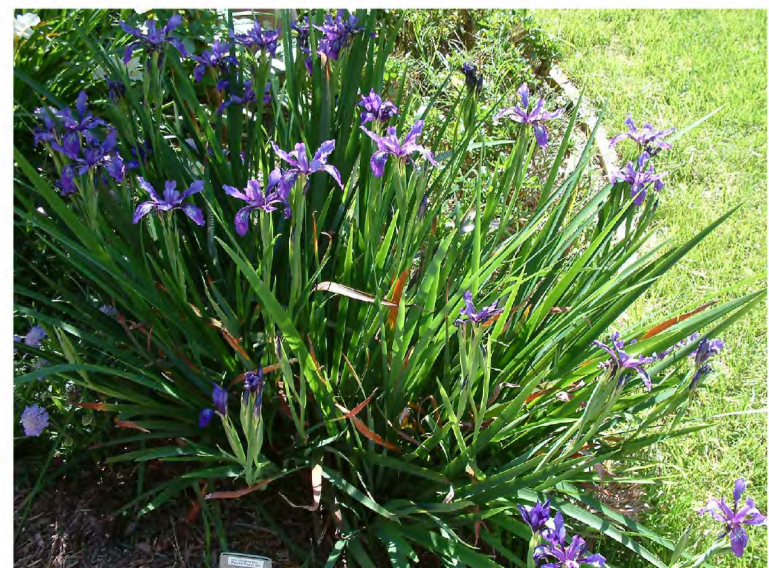
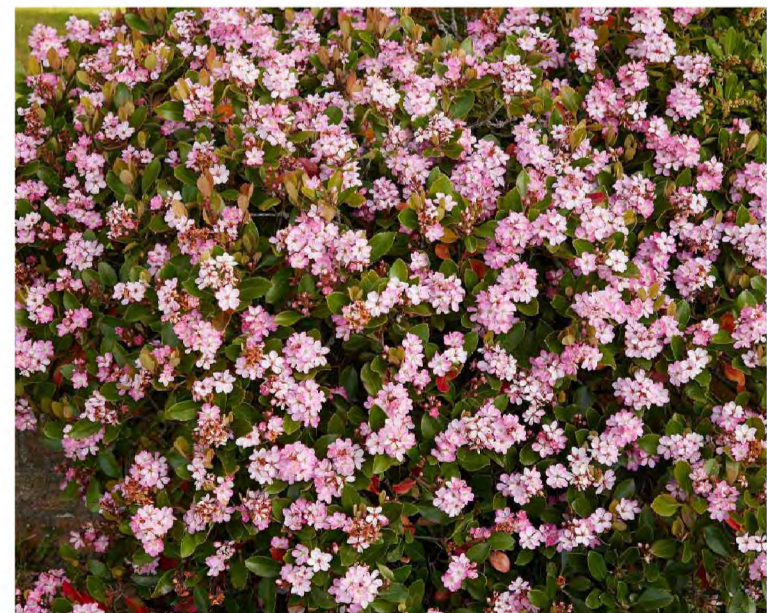
Project No. _____

Date: 10-29-24

Scale: 3/16" = 1'-0"

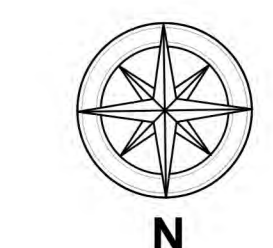
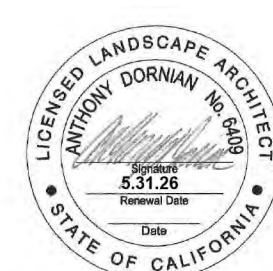
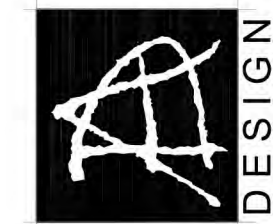
Revision No. _____ Description _____

Sheet No. _____

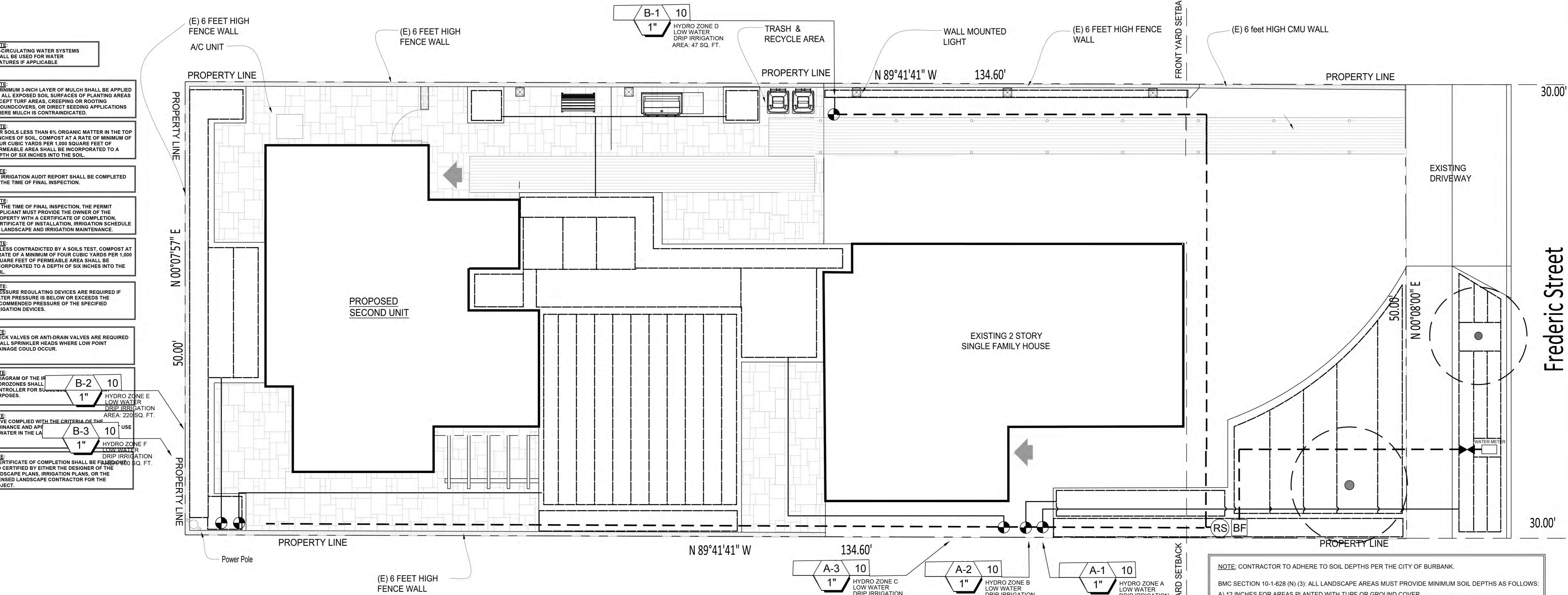


PLANTING LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARK
	OLEA EUROPEA 'SWAN HILL'	FRUITLESS OLIVE	36" BOX	2	MULTI- TRUNK LOW WATER USE
	ARBUS MARINIA	STRAWBERRY TREE	24" BOX	8	SINGLE TRUNK LOW WATER USE
	WESTRINGIA FRUTICOSA 'GRAY BOX'	DWARF COAST ROSEMARY	5 GAL.	15	LOW WATER USE
	SALVIA LEUCANTHA	MEXICAN PURPLE SAGE	5 GAL.	4	LOW WATER USE
	ROSMARIUS OFFICINALIS	UPRIGHT ROSEMARY	5 GAL.	2	LOW WATER USE
	RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY'	INDIAN HAWTHORNE	5 GAL.	1	LOW WATER USE SHRUB FORM
	RHAPHIOLEPIS UMBELLATA	DWARF YEDDO HAWTHORNE	5 GAL.	25	LOW WATER USE
	IRIS DOUGLASIANA 'PURPLE'	PURPLE IRIS	5 GAL.	28	LOW WATER USE
	LAVANDULA X HETEROPHYLLA	SWEET LAVENDER	5 GAL.	12	LOW WATER USE
	LAURUS NOBILIS	BAY LAUREL	15 GAL.	24" o.c. (50)	LOW WATER USE HEDGE FORM
	THYMUS PRAECOX	MOTHER OF THYME	1 GAL.	24" o.c.	LOW WATER USE



Project No.	
Date:	10-29-24
Scale:	3/16" = 1'-0"
Revision No.	Description



- NOTE: RE-CIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES IF APPLICABLE.
- NOTE: MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- NOTE: FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- NOTE: AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- NOTE: AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- NOTE: UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- NOTE: PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- NOTE: CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- NOTE: A DIAGRAM OF THE HYDROZONES SHALL BE PROVIDED FOR THE CONTROLLER FOR PURPOSES.
- NOTE: HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED TO THE USE OF WATER IN THE LANDSCAPE.
- NOTE: A CERTIFICATE OF COMPLETION SHALL BE PROVIDED TO THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

GENERAL IRRIGATION NOTES:

1. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, SLOPES, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
2. THIS DESIGN IS DIAGNOMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
3. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
4. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
5. IN ADDITION TO THE CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.
6. INSTALL ALL PIPE MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL PVC MALE PIPE THREADS ON ALL SPRINKLER SWING JOINT AND VALVE ASSEMBLIES.
7. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB OR GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS 1" ABOVE FINISH GRADE.
8. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEADS ARE FLUSH WITH ADJACENT SIDEWALK OR CURB.
9. ADJUSTING OF ALL HEADS BY THE IRRIGATION CONTRACTOR, SO THAT THE TOP OF THE SPRINKLER HEAD IS 1/4" ABOVE FINISH GRADE, SHALL BE ACCOMPLISHED WITHIN TEN (10) DAYS AFTER NOTIFICATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
10. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

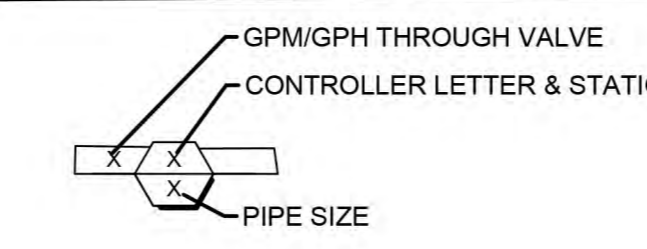
- NOTE: 1. CONTRACTOR SHALL INSTALL PRESSURE COMPENSATING NOZZLE SCREENS IN ALL SPRINKLER HEADS REQUIRING ADJUSTMENT OF RADIUS. REFER TO MANUFACTURERS LITERATURE.
2. INSTALL AQUAPORE BETWEEN ALL STEPPERS AND OR PAVING W/ TURF BORDERS. INSTALL PER MFG. SPECS USE WITH SENNINGER PRESSURE REDUCERS. INSTALL PER MAUFACTURERS SPECIFICATIONS
3. CONTRACTOR TO LOCATE AND VERIFY POINT OF CONNECTION IN THE FIELD AND APPROVED WITH OWNER/LANDSCAPE ARCHITECT.
4. CONTRACTOR TO CONNECT NEW IRRIGATION MAINLINE TO EXISTING MAINLINE IRRIGATION SYSTEM.

1" WATER METER INFORMATION

Address: 3040 N BUENA VISTA BLVD., BURBANK, CA

Area served (acres or sq./ft.)	1,745 Sq./ft.
Est. annual water use:	.032 ac./ft. yr.
Max. GPM:	35
Static Pressure:	75
Design Pressure:	60

LC/NOTE:
THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE, WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE SELECTING THE COMPENSATING SCREEN TO FIT EXISTING SITE CONDITIONS.



IRRIGATION LEGEND (Equipment)

SYMBOL	MANUF. / ITEM	MODEL NO. / DESCRIPTION
	HUNTER VALVE	Model No: ICV-101G-FS REMOTE CONTROL VALVE
	HUNTER CONTROLLER	Model No: X-CORE OUTDOOR WI-FI CONTROLLER - B6-IGXC800 - 8 STATION IRRIGATION CONTROLLER-WALL MOUNT-VERIFY ACTUAL LOCATION AND POWER HOOK-UP WITH OWNER'S REP.
	HUNTER - SOLAR SYNC - RAIN SENSOR	
	APPROVED GATE VALVE	Model No: NIBCO BRONZE- LINE SIZE
	HUNTER QUICK COUPLER 3/4" ON PURPLE CAP	
	STRAINER - WILKINS 80	
	PRESSURE REGULATOR - WILKINS	
	BACKFLOW PREVENTATION DEVICE - LEAD FREE - REDUCED PRESSURE - DOMESTIC ONLY	
	APPROVED LATERAL LINE	Model No: SCHEDULE 40 PVC PURPLE PIPE SIZE AS NOTED ON PLAN - 12" MIN. COVER
	HUNTER 0.9 GPH, 12" SPACED, 500' COIL, HDL. DRIP LINE - PER MANUFACTURERS SPECIFICATIONS	
	APPROVED MAIN LINE	Model No: 1 1/2" OR SMALLER (SCH 40 PVC PIPE), 2" AND LARGER (CL. 315 PVC PIPE) SIZE AS NOTED ON PLAN - 18" MIN. COVER WITH PURPLE PIPE
	APPROVED PIPE SLEEVE	Model No: SCH. 40 PVC PIPE 4" MIN., INSTALL 18" BELOW GRADE, EXTEND 12" PAST EDGE OF HARDSCAPE.

NOTE:
All Hose Bibs shall be connected to the potable water system per Water Districts Standards

PIPE SIZING LEGEND:
(To be used for all lateral line pipe - see plan for mainline and sleeve sizing)

0-10 GPM	=	3/4"
11-16 GPM	=	1"
17-28 GPM	=	1 1/4"
29-35 GPM	=	1 1/2"
36-55 GPM	=	2"
56-75 GPM	=	2 1/2"

NOTES:
1. ALL LATERAL LINE PIPE TO BE 3/4" UNLESS OTHERWISE NOTED.
2. ALL PIPE SIZING CALLOUTS ARE IN INCHES, OR REFERENCE THE PIPE SIZING LEGEND ABOVE.
3. PIPE SIZING CALLOUTS ARE SHOWN ONLY AT THE END OF RUNS. ALL PIPE SIZED BETWEEN THESE CALLOUTS ARE SIZED THE SAME.
4. ALL LATERAL LINE PIPE DOWNSTREAM OF A 3/4" SIZED PIPE IS ALSO 3/4".

- Appendix D - Prescriptive Compliance Option**
- (a) This appendix contains prescriptive requirements which may be used as a compliance option to the Model Water Efficient Landscape Ordinance.
- (b) Compliance with the following items is mandatory and must be documented on a landscape plan in order to use the prescriptive compliance option:
1. Submit a Landscape Documentation Package which includes the following elements:
 - A. date
 - B. project applicant
 - C. project address (if available, parcel and/or lot number(s))
 - D. total landscape area (square feet), including a breakdown of turf and plant material (E) project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
 - E. water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - F. contact information for the project applicant and property owner
 - G. applicant signature and date with statement, "I agree to comply with the requirements of the prescriptive compliance option to the MWLO".
 2. Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless contra-indicated by a soil test);
 3. Plant material shall comply with all of the following:
 - A. For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water; For non-residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water;
 - B. A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
 4. Turf shall comply with all of the following:
 - A. Turf shall not exceed 25% of the landscape area in residential areas, and there shall be no turf in non-residential areas;
 - B. Turf shall not be planted on sloped areas which exceed a slope of 1 foot vertical elevation change for every 4 feet of horizontal length;
 - C. Turf is prohibited in parkways less than 10 feet wide, unless the parkway is adjacent to a parking strip and used to enter and exit vehicles. Any turf in parkways must be irrigated by sub-surface irrigation or by other technology that creates no overspray or runoff.
 5. Irrigation systems shall comply with the following:
 - A. Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain

- sensor.
 - B. Irrigation controllers shall be of a type which does not lose programming data in the event the primary power source is interrupted.
 - C. Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturers recommended pressure range.
 - D. Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
 - E. All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/CC 802-2014, "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/CC 802-2014.
 - F. Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff overspray.
 - G. For non-residential projects with landscape areas of 1,000 sq. ft. or more, a private submeter(s) to measure landscape water use shall be installed.
- (c) At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.