

**PROJECT SUMMARY**

ZONING: PD 89-1  
 GENERAL PLAN DESIGNATION: REGIONAL COMMERCIAL  
 LOT SIZE: 512,265 SF. (11.76 ACRES)  
 ASSESSORS PARCEL NUMBER: 246-004-015

EXISTING HOTEL: 9 STORIES - CONSTRUCTED BETWEEN 1981 AND 1991  
 EXISTING CONFERENCE CENTER: 1 STORY - CONSTRUCTED 1991

ALLOWED HEIGHT: 118' - 8 STORIES  
 PERMITTED USES: GENERAL OFFICES, BANK, HOTEL, CONFERENCE CENTER  
 ALLOWED SIZE: 183,200 SF.  
 DENSITY: 488 GUESTROOMS

PROPOSED USES: HOTEL, PARKING GARAGE  
 PROPOSED DENSITY INCREASE: 420 GUESTROOMS (ALOFT = 203, RESIDENCE INN = 217)

PROPOSED BUILDING HEIGHT: 83'-1" (MEASURED FROM AVERAGE GRADE TO THE CEILING OF THE HIGHEST ROOM PERMITTED FOR HUMAN OCCUPANCY).  
 HOTEL: 44'-5" (MEASURED FROM AVERAGE GRADE TO THE CEILING OF THE HIGHEST ROOM PERMITTED FOR HUMAN OCCUPANCY)

PARKING STRUCTURE:

PROPOSED NUMBER OF STORIES: 7 STORIES  
 HOTEL:  
 PARKING GARAGE: 4 STORIES

BUILDING AREAS:	GROSS	ADJUSTED GROSS
EXISTING HOTEL:	277,600 S.F.	
(E) CONFERENCE CENTER:	39,000 S.F.	
TOTAL (E) BUILDING AREA:	316,600 S.F.	316,600 S.F.
PROPOSED HOTEL:	262,338 S.F.	231,898 S.F.
PROPOSED PARKING GARAGE:	208,040 S.F.	198,700 S.F.
ACCESSORY STRUCTURE:	2,760 S.F. (PORTE COCHERE)	2,760 S.F.
TOTAL PROPOSED AREA:	473,138 S.F.	433,358 S.F.
TOTAL BUILDING AREA:	789,938 S.F.	750,158 S.F.

FLOOR AREA RATIO (F.A.R.): MAX ALLOWED PER REGIONAL COMMERCIAL = 1.25  
 SITE AREA = 512,265 S.F. X 1.25 = 640,331 S.F. (ADJUSTED GROSS AREA ALLOWED)  
 ADJUSTED GROSS AREA = 551,458 S.F. (GARAGE NOT INCLUDED)

BUILDING SETBACKS: REQ. FRONT = 5' MIN. OR 20% OF BUILDING HEIGHT WHICHEVER IS GREATER (PER ADJACENT ZONING OF M-2).  
 HOTEL = 20% X 83' = 17'. SETBACK PROVIDED = 64'  
 GARAGE = 20% X 41' = 8.2'. SETBACK PROVIDED = 10'

REQUIRED PARKING: EXISTING MARRIOTT HOTEL AND CONFERENCE CENTER = 763 SPACES  
 PROPOSED HOTEL: 1 SPACE / GUESTROOM = 420 SPACES  
 TOTAL REQUIRED PER ZONING: 1,183 SPACES.  
 TOTAL REQUIRED PER PARKING STUDY: 1,025 SPACES

PARKING PROVIDED 1,051 SPACES (SEE SUMMARY ON SHEET DR2.0 FOR ADDITIONAL INFORMATION)

LOADING SPACES REQUIRED: 3 SPACES (FOR HOTELS OVER 100,000 S.F.)

LOADING SPACES PROVIDED: 3 SPACES

BICYCLE PARKING PROVIDED: 62 SPACES 6% (EVENT PARKING NOT INCL.)

SITE AREA TO BE IMPROVED:  
 PAVED AREA: 184,030 S.F. (APPROX.) 59.6%  
 BUILDING COVERAGE: 85,590 S.F. 27.7%  
 LANDSCAPE AREA: 39,000 S.F. (APPROX.) 12.7%  
 TOTAL AREA OF IMPROVEMENTS: 308,620 S.F. (APPROX.)

**PROJECT TEAM**

<b>OWNER</b> AWH PARTNERS 1040 AVE. OF THE AMERICAS 9TH FLOOR NEW YORK, NY 10018 (646) 681-2348 TIMOTHY OSIECKI TOSIECKI@AWHPARTNERS.COM	<b>ARCHITECT</b> ARCHITECTURAL DIMENSIONS 801 YGNACIO VALLEY ROAD SUITE 230 WALNUT CREEK, CA 94596 (510) 463-8300 JAMES HEILBRONNER JAMESH@ARCHDIM.COM	<b>CIVIL ENGINEER</b> FUSCOE ENGINEERING 600 WILSHIRE BLVD. SUITE 1470 LOS ANGELES, CA 90017 (805) 298-2999 ANDREW WILLDROOD AWILLDROOD@FUSCOE.COM
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<b>LANDSCAPE ARCHITECT</b> BRIGHT VIEW 9 HUGES IRVINE, CA 92618 (949) 238-4900 WADE GANESI WADE.GANESI@BRIGHTVIEW.COM	<b>M.E.P. ENGINEER</b> ROBISON ENGINEERING 19410 40TH AVENUE W SUITE 302 LYNNWOOD, WA 98036 (206) 364-3343 JON ROBISON JROBISON@ROBISONENGINEERING.COM
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# MARRIOTT ALOFT AND RESIDENCE INN HOTELS

## 2500 NORTH HOLLYWOOD WAY BURBANK, CA 91505

OWNER:  
**AWH PARTNERS**  
 1040 AVENUE OF THE AMERICAS, 9TH FLOOR, NEW YORK, NY 10018  
 TIM OSIECKI, PRESIDENT DEVELOPMENT  
 646.681.2348

SUBMITTED TO:  
**CITY OF BURBANK**

FOR:  
**PLANNED DEVELOPMENT REVIEW**  
 02/29/2024

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DR2.0 EXISTING SITE PLAN	C1.1 CONCEPTUAL SITE PRECISE GRADING PLAN
DR2.1 EXISTING CONDITIONS	C2.0 CONCEPTUAL SITE EARTHWORK STUDY
DR2.2 NEW SITE PLAN	C3.0 CONCEPTUAL GARAGE STRUCTURAL EXCAVATION PLAN
DR2.3 PASEO EXTENSION PLAN ENLARGED HOTEL ENTRY DROP OFF PLAN PROPOSED BWP ELECTRICAL SERVICE PLAN	C4.0 CONCEPTUAL L.I.D. PLAN
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DR4.2 HOTEL - 3RD-5TH FLOOR PLAN	C7.1 CONCEPTUAL OFFSITE IMPROVEMENT PLAN - AVON
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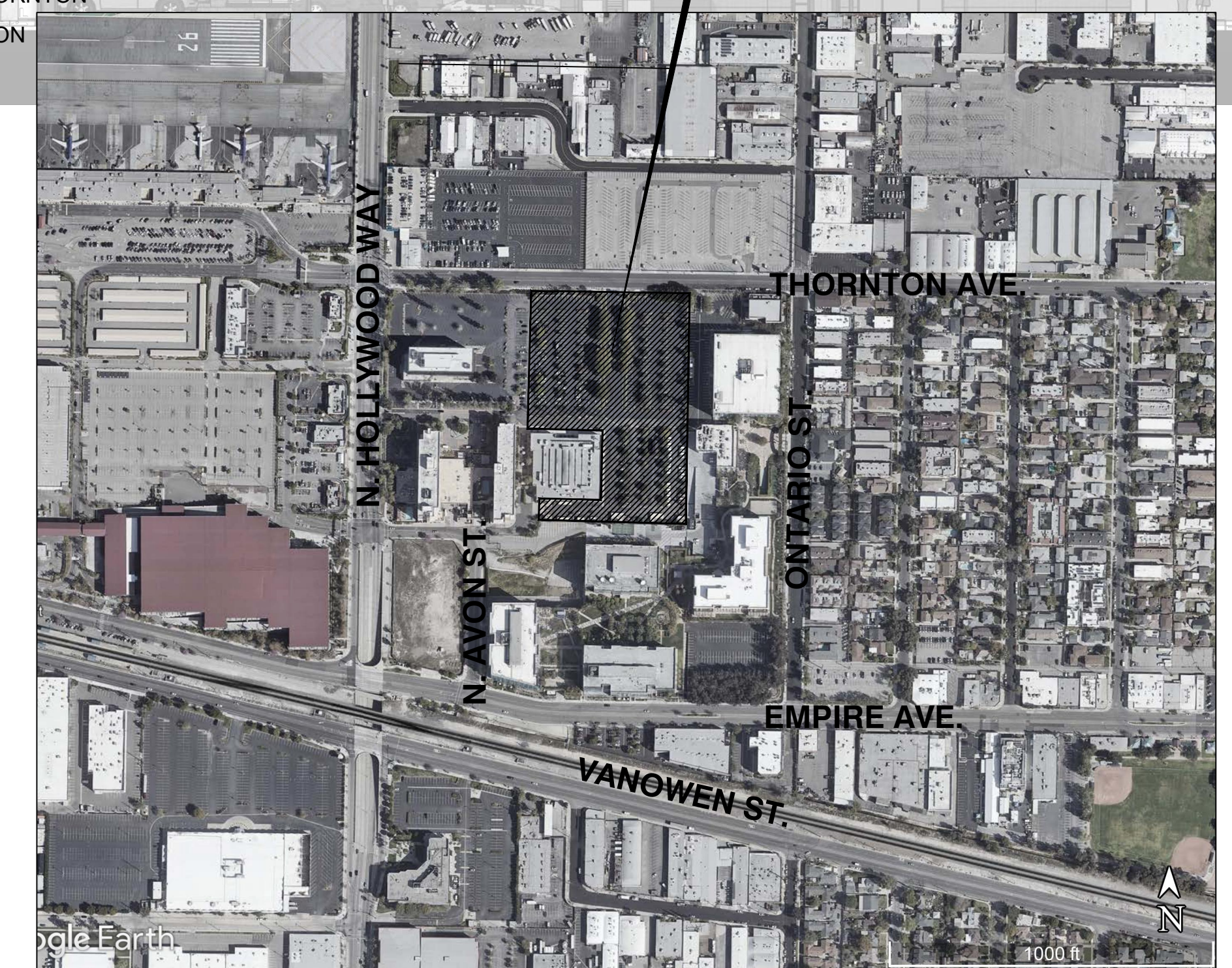
**PROJECT DESCRIPTION (SCOPE OF WORK)**

THE PROPOSED PROJECT IS A NEW 7-STORY, 262,338 SF, 420-ROOM DUAL-BRAND HOTEL AND A SEPARATE 4-STORY 208,040 SF, VALET-ONLY PARKING GARAGE PROVIDING UP TO 766 PARKING SPACES, WITH AN ADDITIONAL 250 PARKING SPACES ON GRADE. THE EXISTING HOTEL AND CONVENTION CENTER ON THE PARCEL WILL REMAIN.

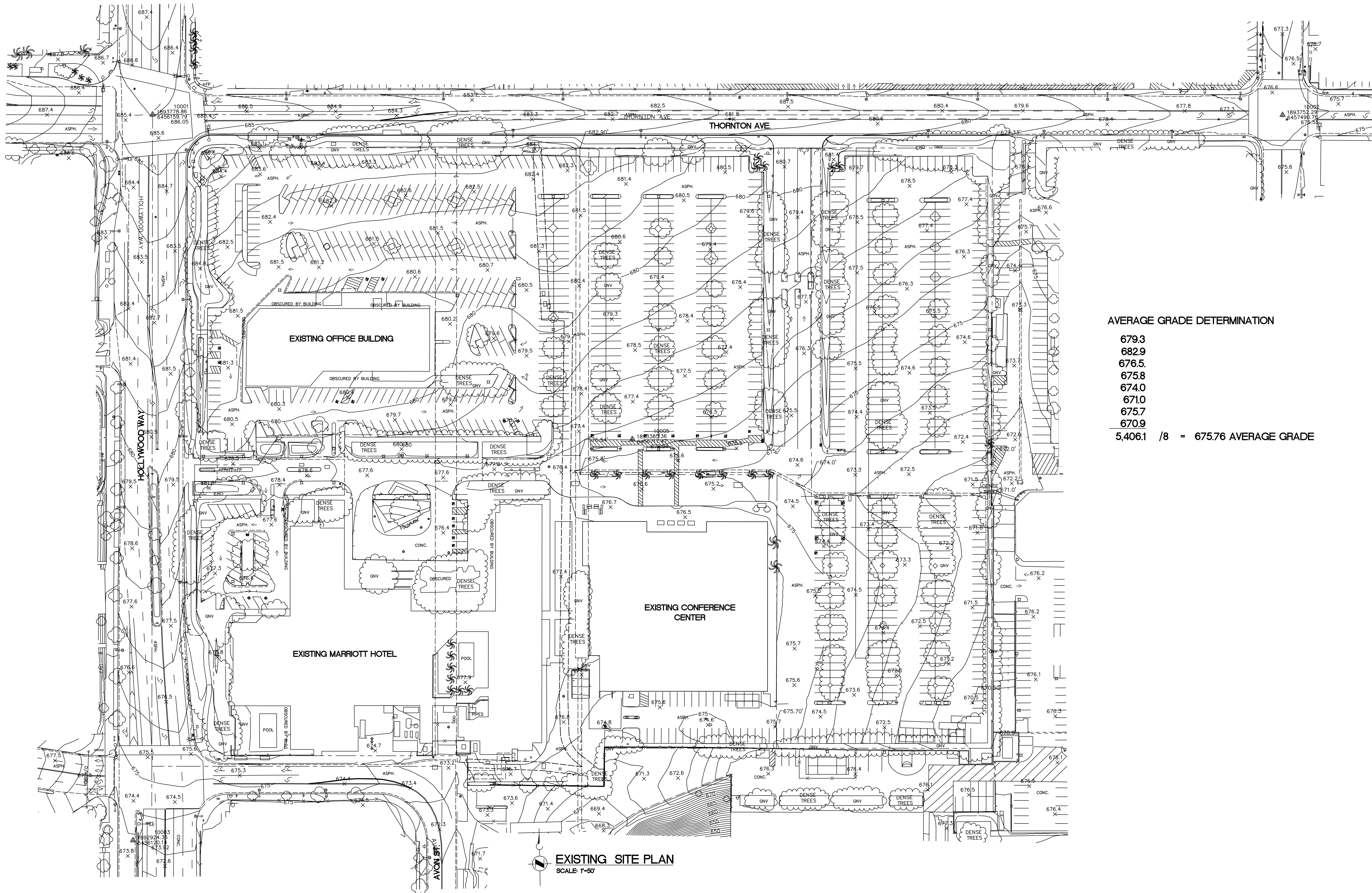
THE PRIMARY ENTRANCE IS FROM THORNTON AVE., WITH A PORTE COCHERE COVERING THE DROP-OFF AND SEPARATE ENTRANCES FOR EACH HOTEL BRAND. THE HOTEL TRASH ROOM IS ON THE EAST SIDE OF THE HOTEL, AND THERE ARE 3 LOADING SPACES SERVING THE HOTEL. THE 1ST FLOOR GUEST AMENITIES INCLUDE A 880 SF POOL IN THE CENTRAL COURTYARD WITH A LARGE DECK AREA, A 1,500 SF CONFERENCE ROOM WITH ADJOINING OUTDOOR TERRACE, A SMALLER EXECUTIVE CONFERENCE ROOM, AND GUEST DINING, SOCIALIZING AND BAR AREAS. GUEST LAUNDRY SERVICE AND A FITNESS CENTER ARE LOCATED ON THE 6<sup>TH</sup> FLOOR AND THE GUESTROOMS ARE LOCATED ON FLOORS 2-7. THERE IS ALSO 2,060 SF LEASABLE TENANT SPACE WITH A 660 SF PATIO AT THE HOTEL'S SOUTHWEST CORNER. THE SOUTH FAÇADE OF THE HOTEL OPENS UP TO THE CENTRAL COURTYARD TO PROVIDED DIRECT ACCESS FROM THE HOTEL'S SECONDARY ENTRANCES TO THE EXISTING CONFERENCE CENTER.

THE GARAGE HAS 2 VEHICULAR ACCESS POINTS, ONE FROM THE DRIVEWAY NEAR THE ENTRANCE, AND ONE AT THE GARAGE'S SOUTHEAST CORNER. BOTH ACCESS POINTS WILL HAVE PARKING CONTROL DEVICES TO PREVENT SELF-PARKING. THE GARAGE ROOF WILL BE UTILIZED FOR SOLAR PANELS. BATTERY STORAGE WILL ALSO BE PROVIDED IN THE GARAGE. THE EXISTING CONVENTION CENTER DROP-OFF AND THE SURFACE PARKING IN THE SOUTHEAST CORNER OF THE PARCEL WILL BE REPAVED AND THERE WILL BE NEW LANDSCAPING IMPROVEMENTS THROUGHOUT THE SITE.

**PROJECT LOCATION**





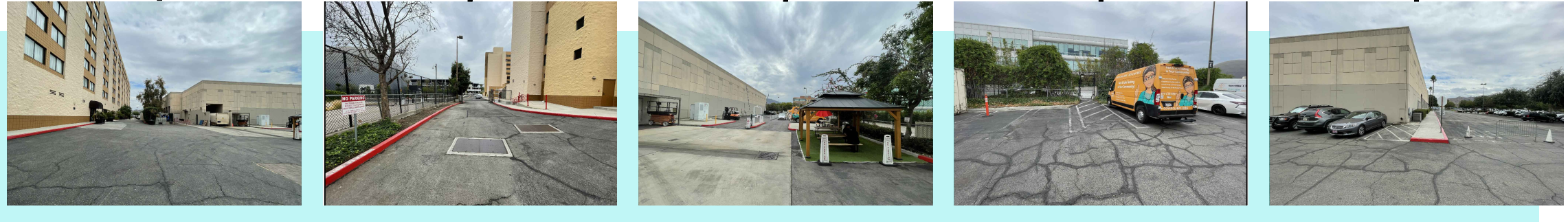
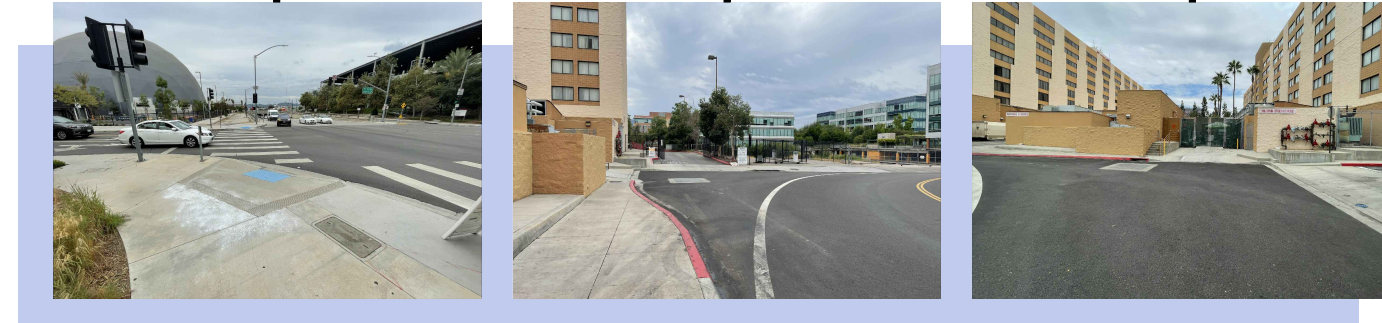
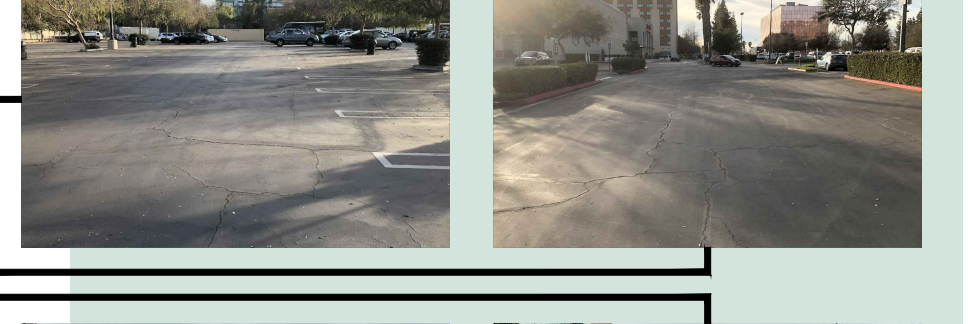
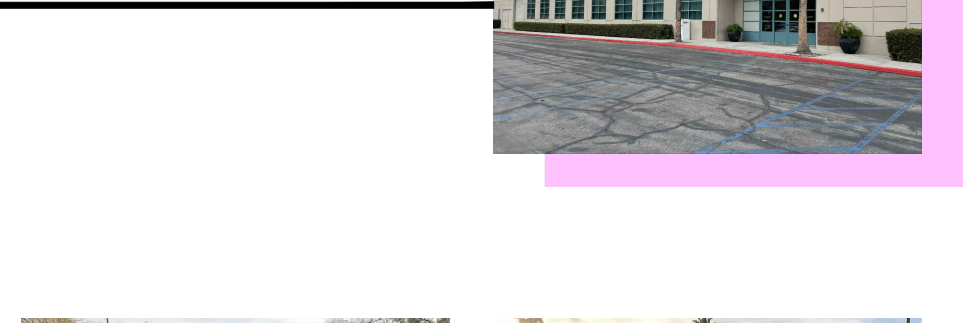
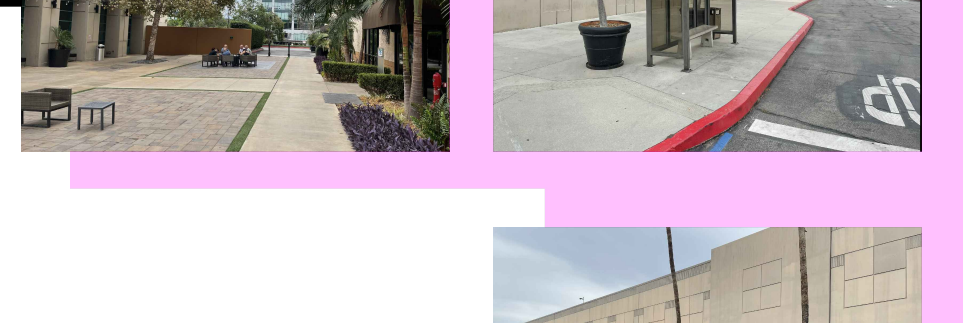
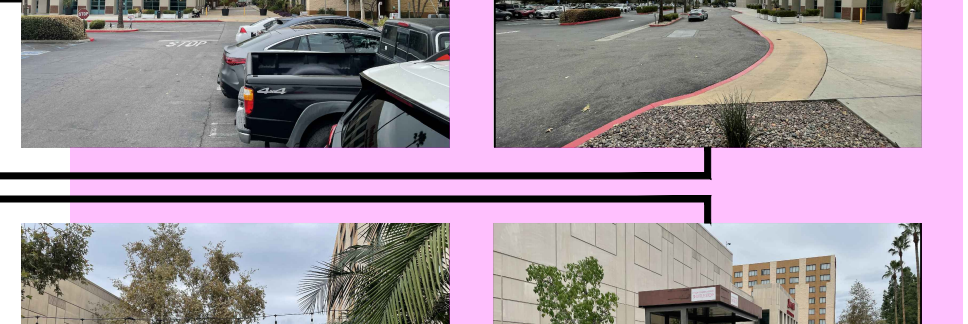
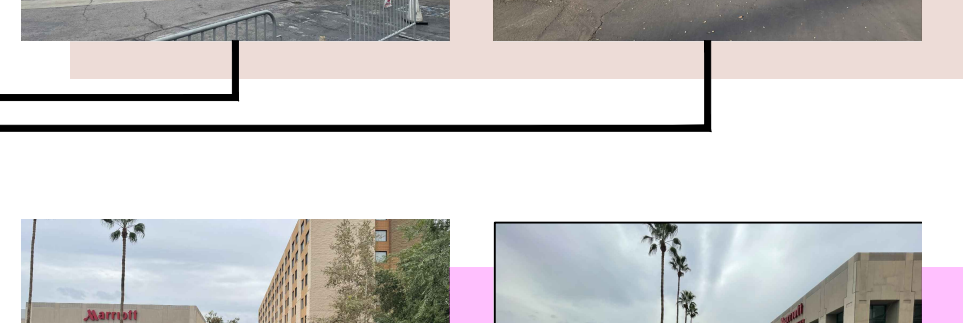
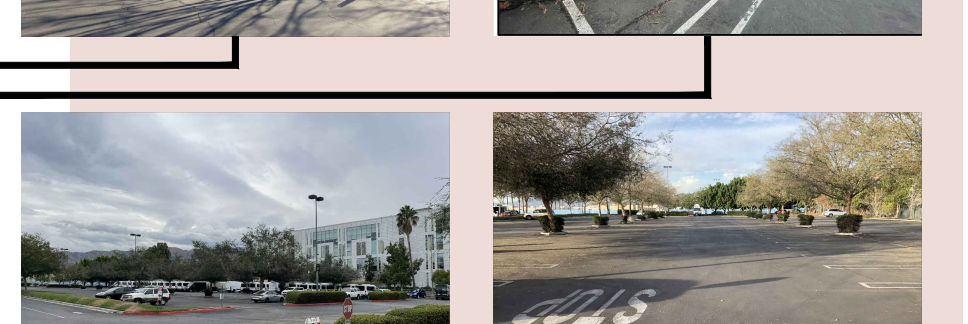
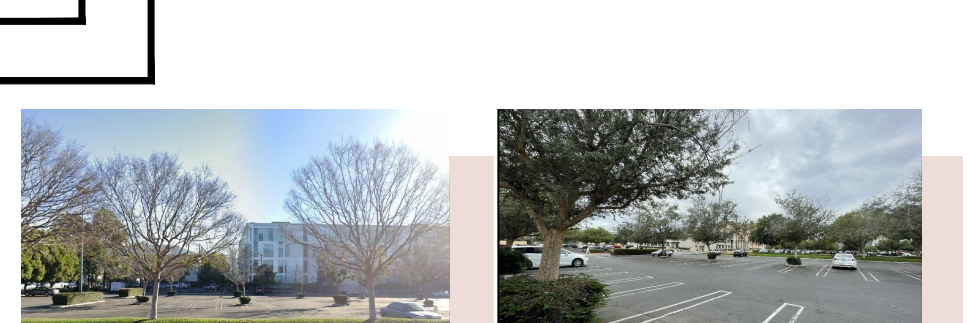
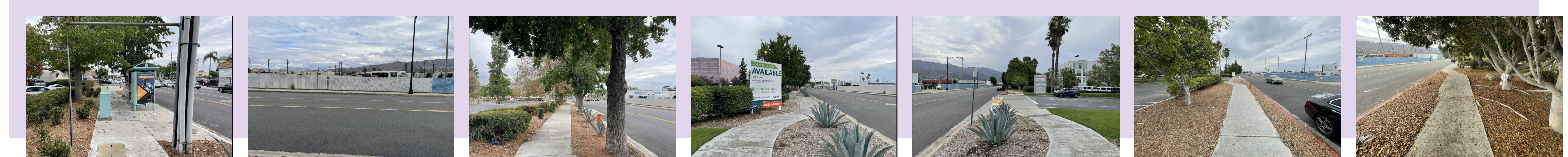
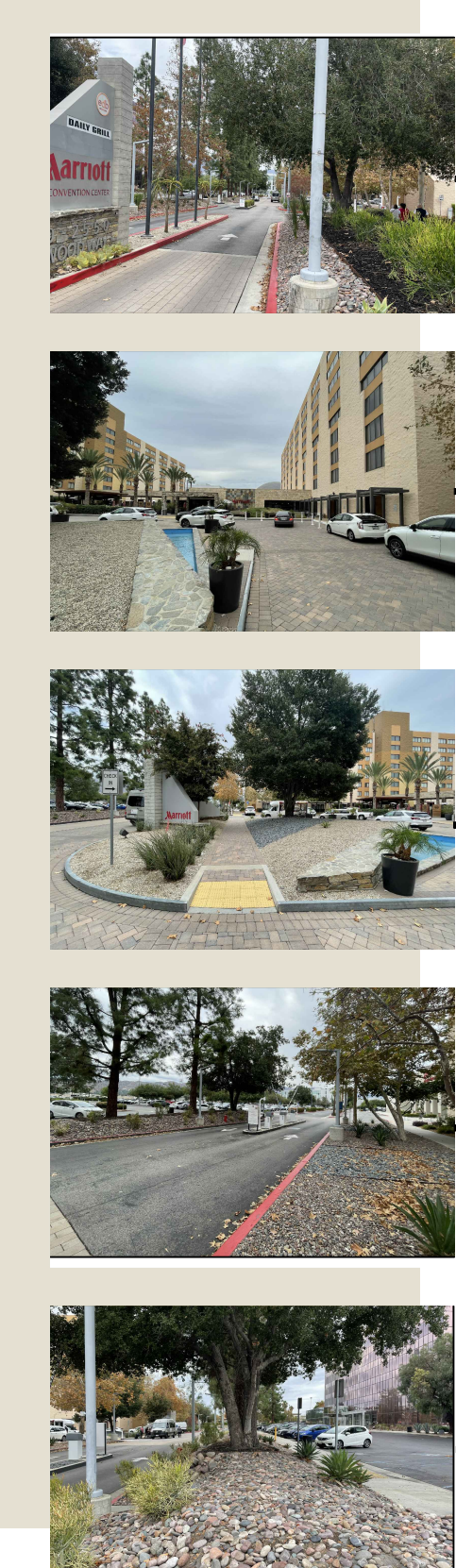
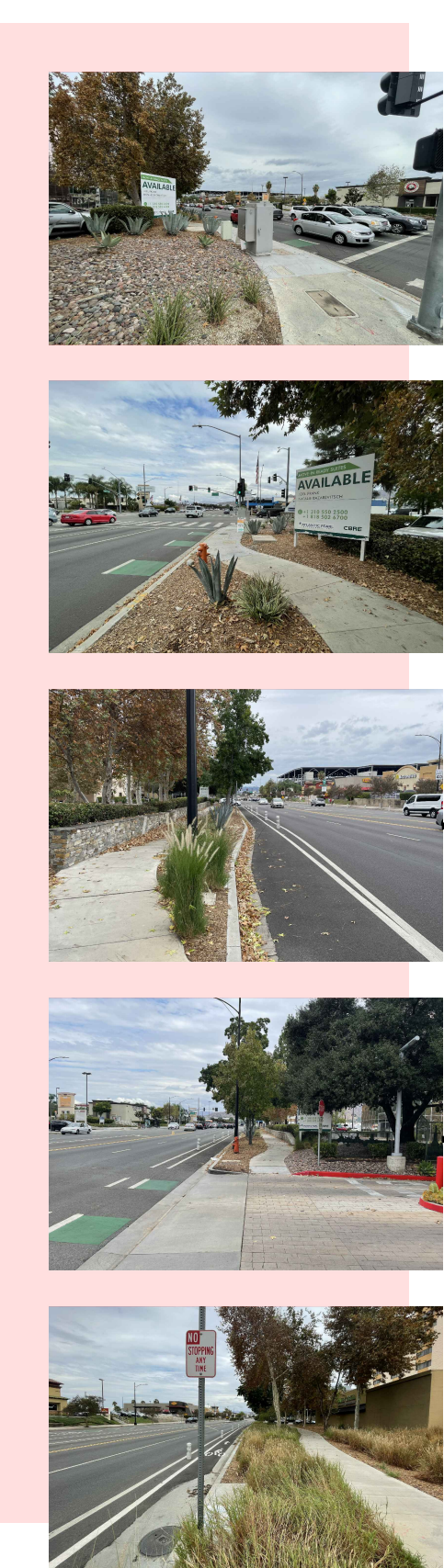
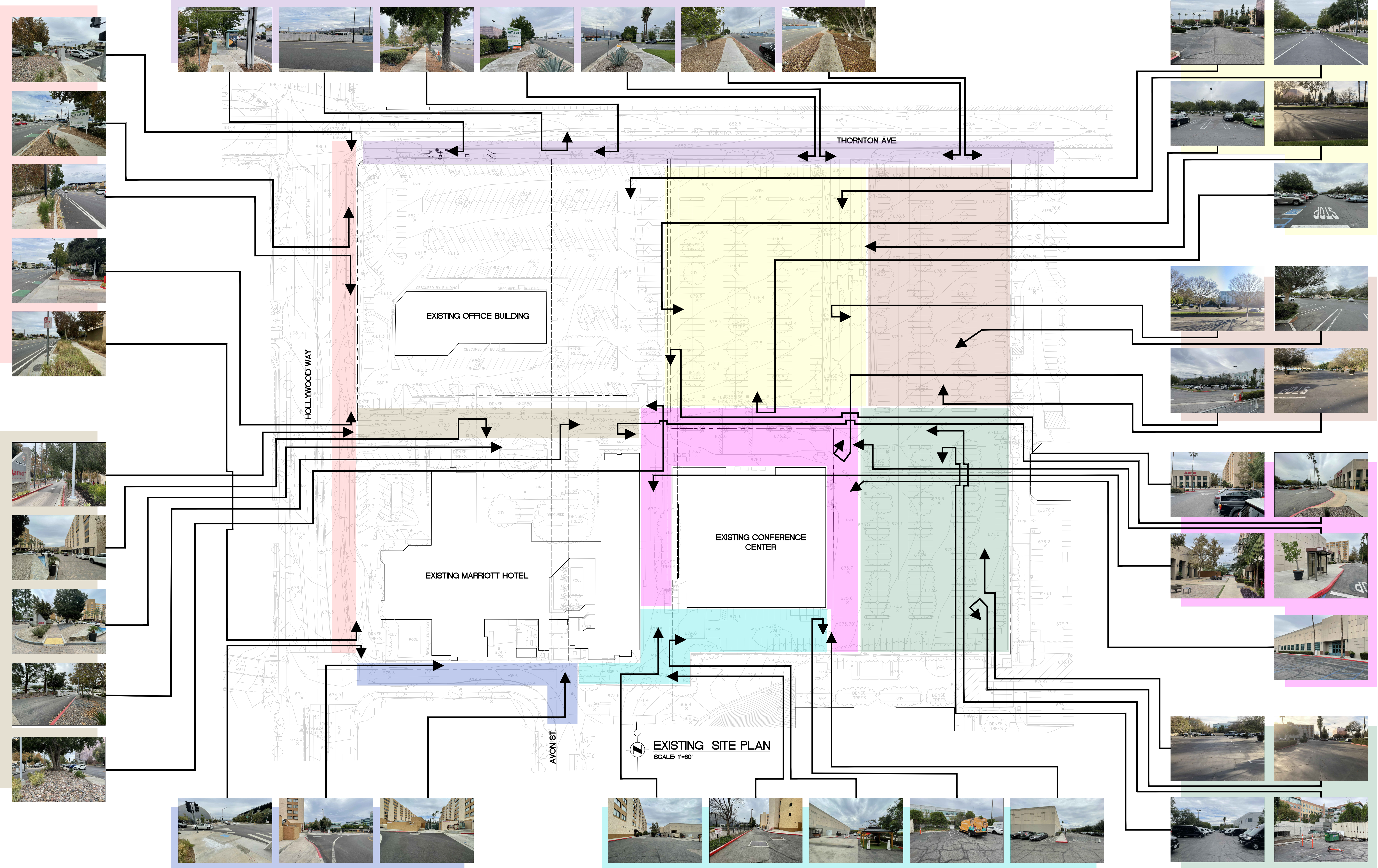


**AVERAGE GRADE DETERMINATION**

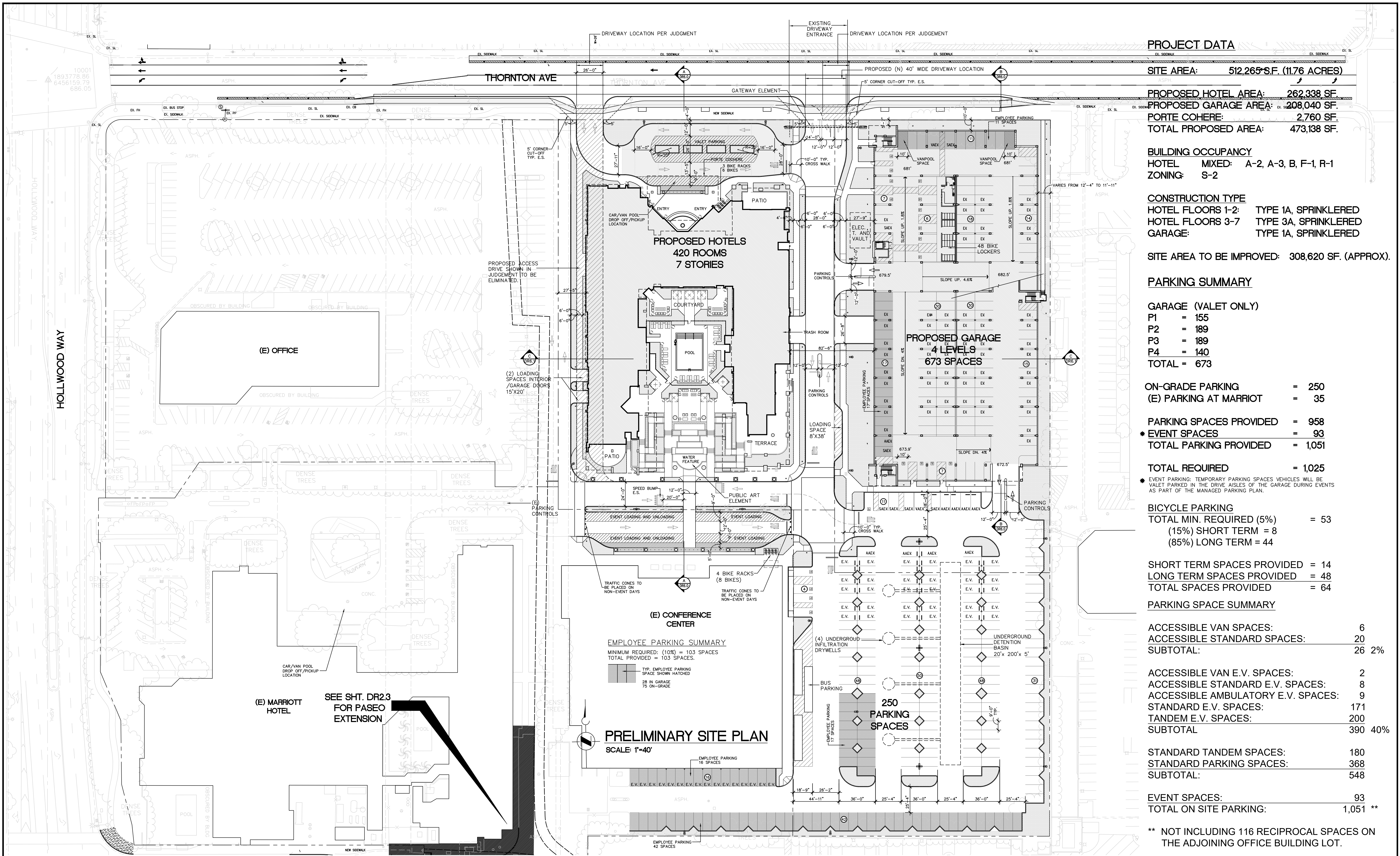
679.3  
 682.9  
 676.5  
 675.8  
 674.0  
 671.0  
 670.9  
 5,406.1 / 8 = 675.76 AVERAGE GRADE

**EXISTING SITE PLAN**  
 SCALE 1"=50'









**PROJECT DATA**

SITE AREA: 512,265 S.F. (11.76 ACRES)  
 PROPOSED HOTEL AREA: 262,938 SF  
 PROPOSED GARAGE AREA: 208,040 SF  
 PORTE COHERE: 2,760 SF  
 TOTAL PROPOSED AREA: 473,138 SF

**BUILDING OCCUPANCY**  
 HOTEL MIXED: A-2, A-3, B, F-1, R-1  
 ZONING: S-2

**CONSTRUCTION TYPE**  
 HOTEL FLOORS 1-2: TYPE 1A, SPRINKLERED  
 HOTEL FLOORS 3-7: TYPE 3A, SPRINKLERED  
 GARAGE: TYPE 1A, SPRINKLERED

SITE AREA TO BE IMPROVED: 308,620 SF. (APPROX.)

**PARKING SUMMARY**

**GARAGE (VALET ONLY)**  
 P1 = 155  
 P2 = 189  
 P3 = 189  
 P4 = 140  
 TOTAL = 673

ON-GRADE PARKING = 250  
 (E) PARKING AT MARRIOTT = 35

PARKING SPACES PROVIDED = 958  
 \* EVENT SPACES = 93  
 TOTAL PARKING PROVIDED = 1,051

TOTAL REQUIRED = 1,025  
 \* EVENT PARKING: TEMPORARY PARKING SPACES VEHICLES WILL BE VALET PARKED IN THE DRIVE AISLES OF THE GARAGE DURING EVENTS AS PART OF THE MANAGED PARKING PLAN.

**BICYCLE PARKING**  
 TOTAL MIN. REQUIRED (5%) = 53  
 (15%) SHORT TERM = 8  
 (85%) LONG TERM = 44

SHORT TERM SPACES PROVIDED = 14  
 LONG TERM SPACES PROVIDED = 48  
 TOTAL SPACES PROVIDED = 64

**PARKING SPACE SUMMARY**

ACCESSIBLE VAN SPACES: 6  
 ACCESSIBLE STANDARD SPACES: 20  
 SUBTOTAL: 26 2%

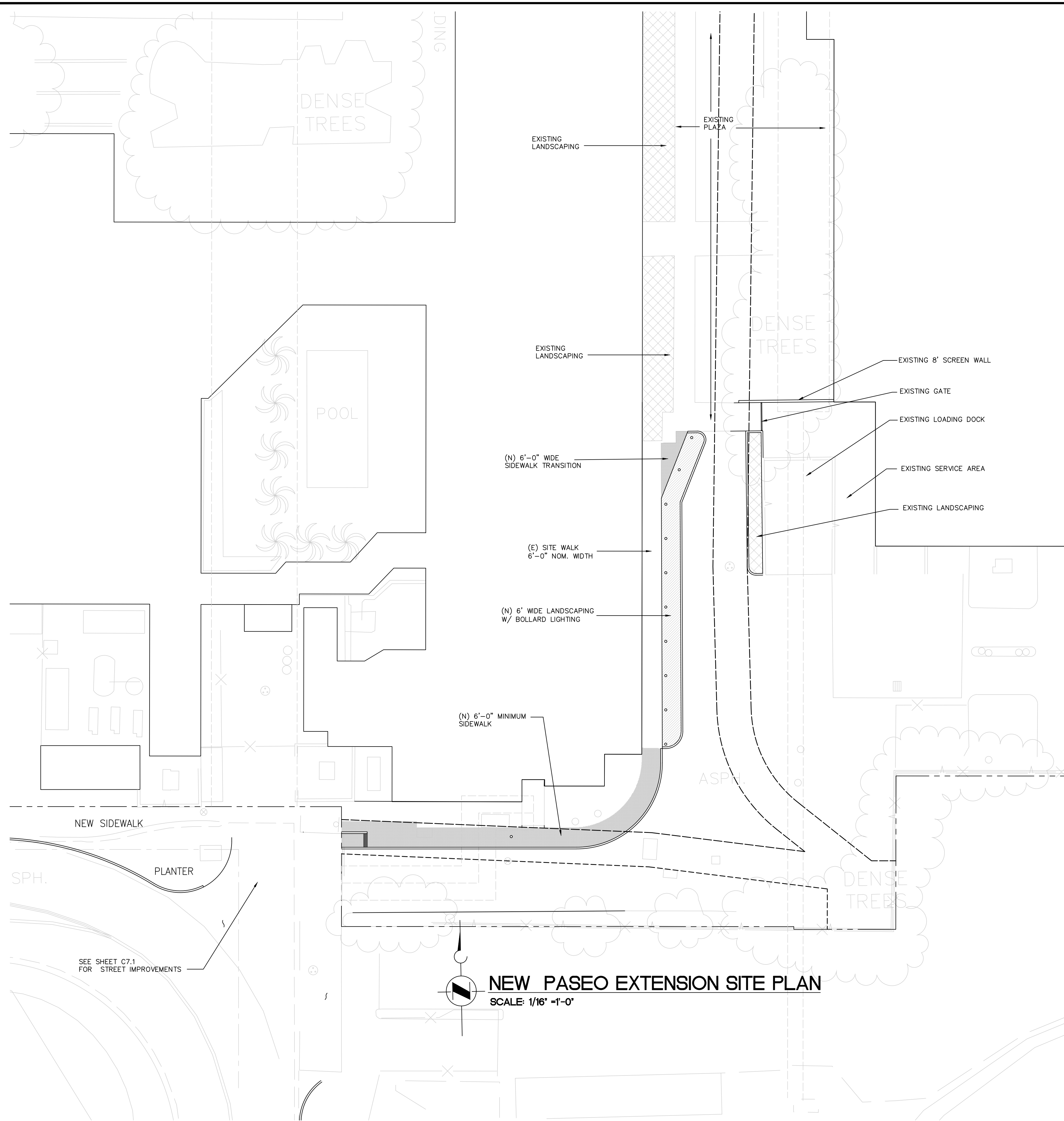
ACCESSIBLE VAN E.V. SPACES: 2  
 ACCESSIBLE STANDARD E.V. SPACES: 8  
 ACCESSIBLE AMBULATORY E.V. SPACES: 9  
 STANDARD E.V. SPACES: 171  
 TANDEM E.V. SPACES: 200  
 SUBTOTAL: 390 40%

STANDARD TANDEM SPACES: 180  
 STANDARD PARKING SPACES: 368  
 SUBTOTAL: 548

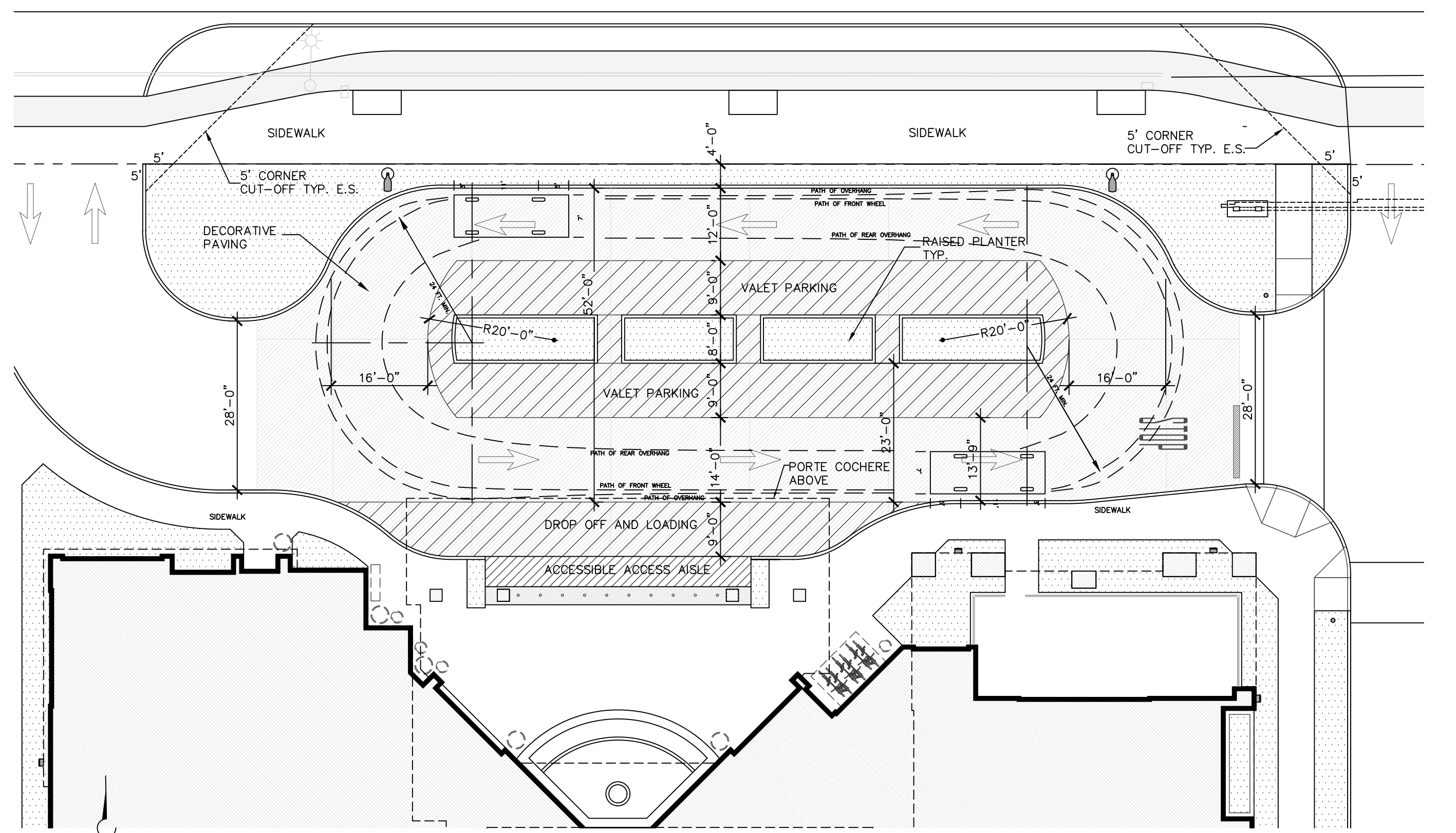
EVENT SPACES: 93  
 TOTAL ON SITE PARKING: 1,051 \*\*

\*\* NOT INCLUDING 116 RECIPROCAL SPACES ON THE ADJOINING OFFICE BUILDING LOT.

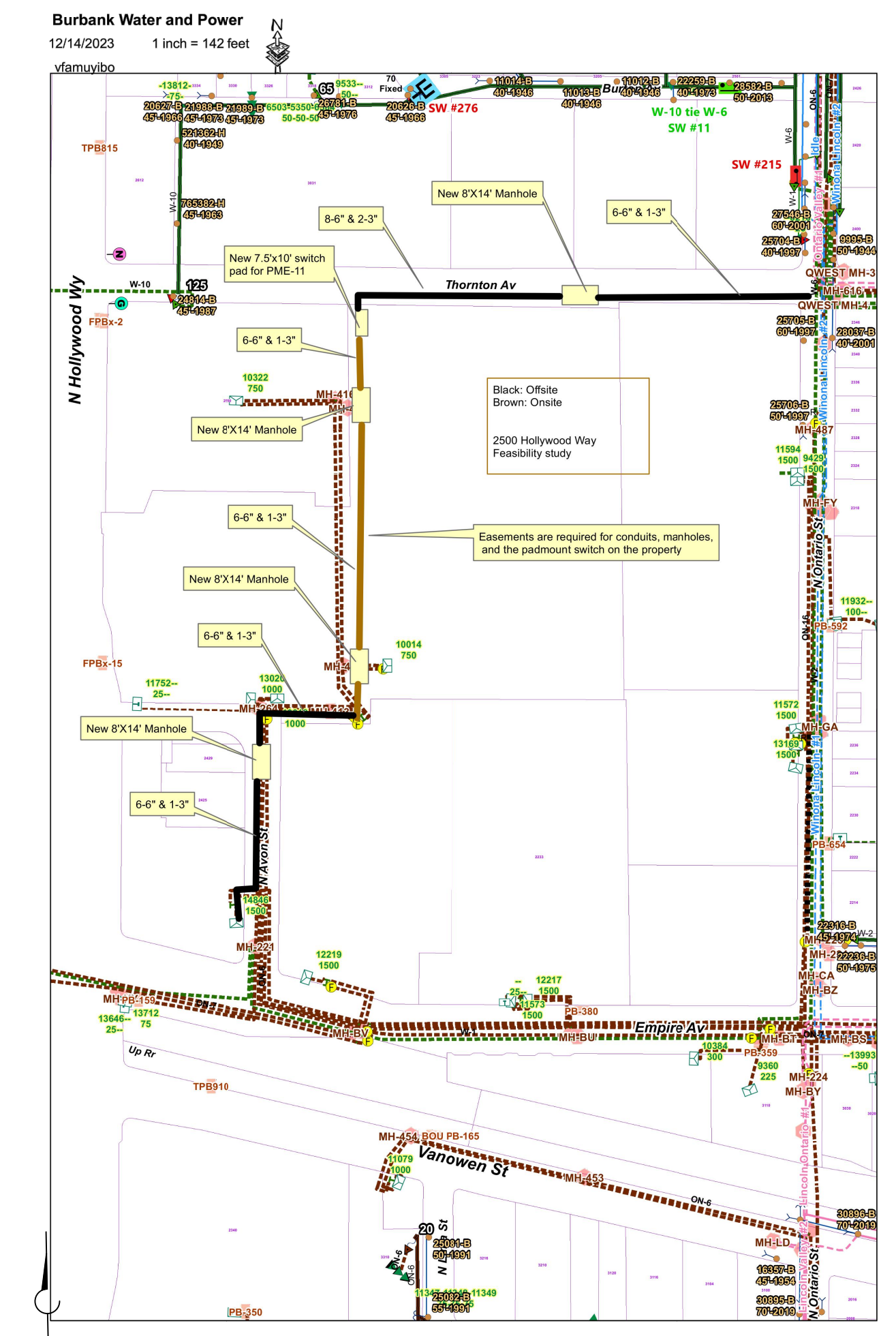




**NEW PASEO EXTENSION SITE PLAN**  
SCALE: 1/16" = 1'-0"



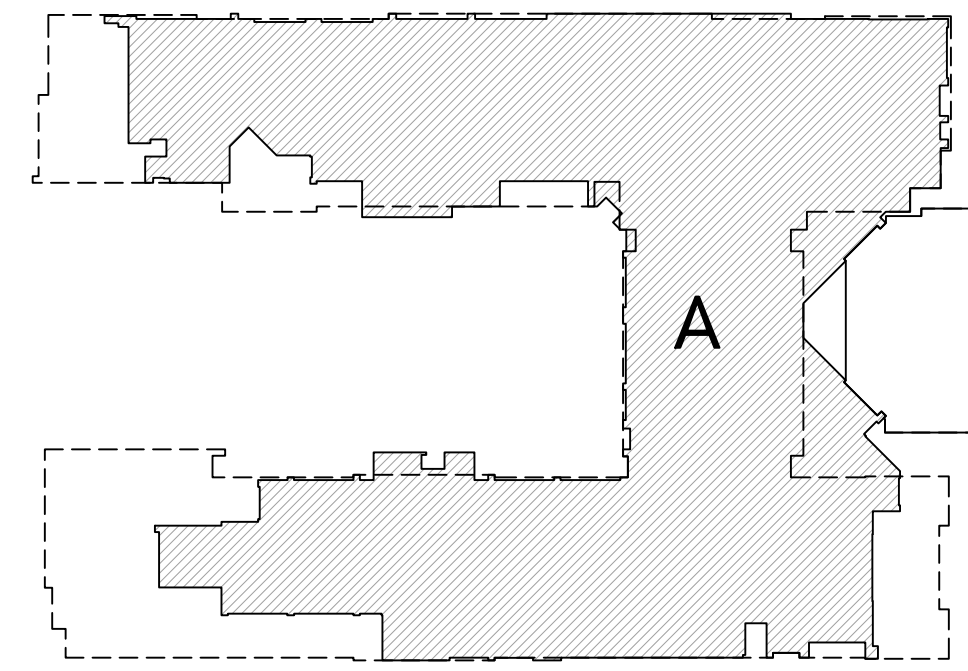
**ENLARGED PLAN AT ENTRY DROP OFF**  
SCALE: 1/16" = 1'-0"



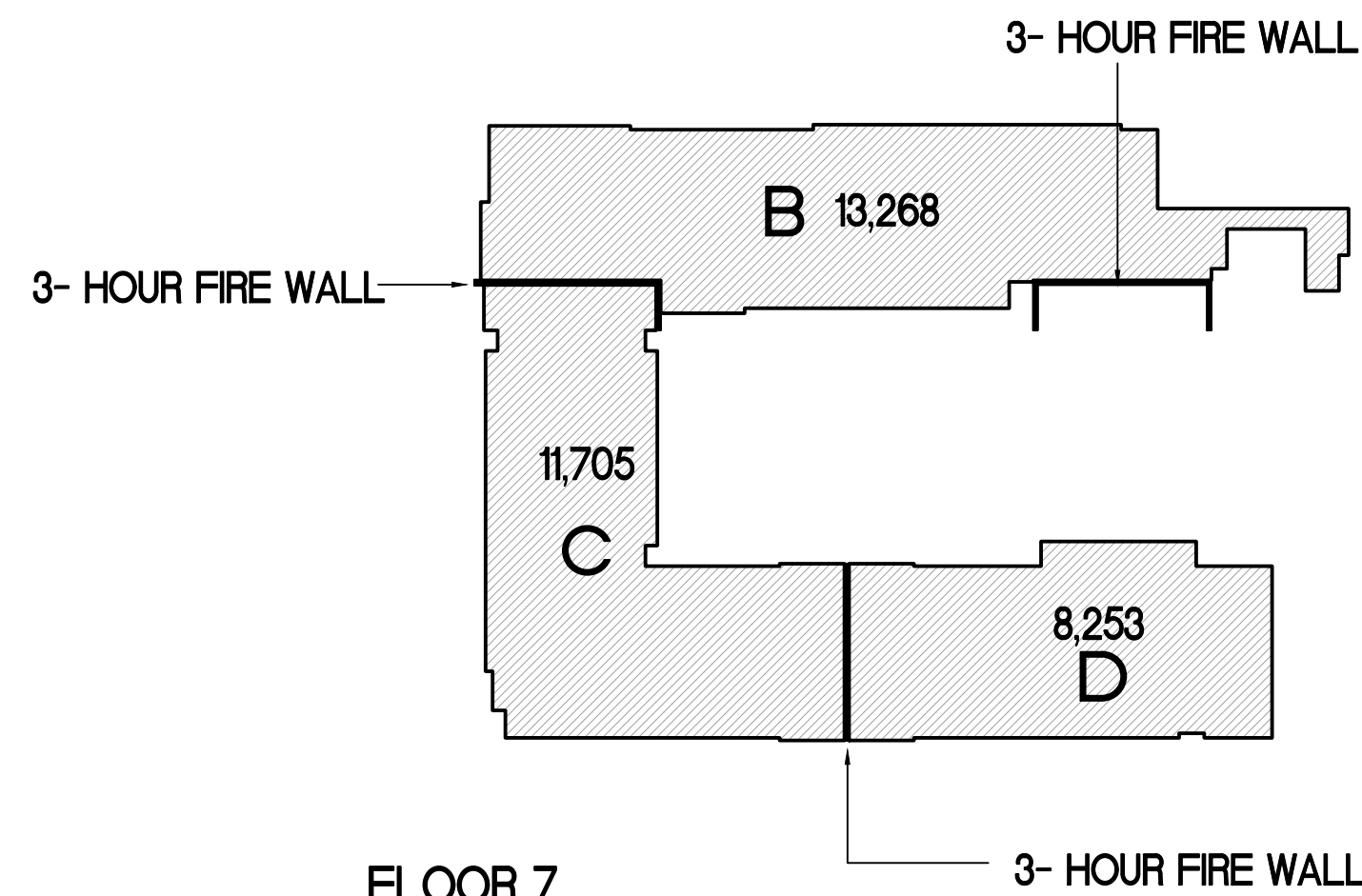
**PROPOSED BWP ELECTRICAL SERVICE PLAN**  
SCALE: N.T.S.



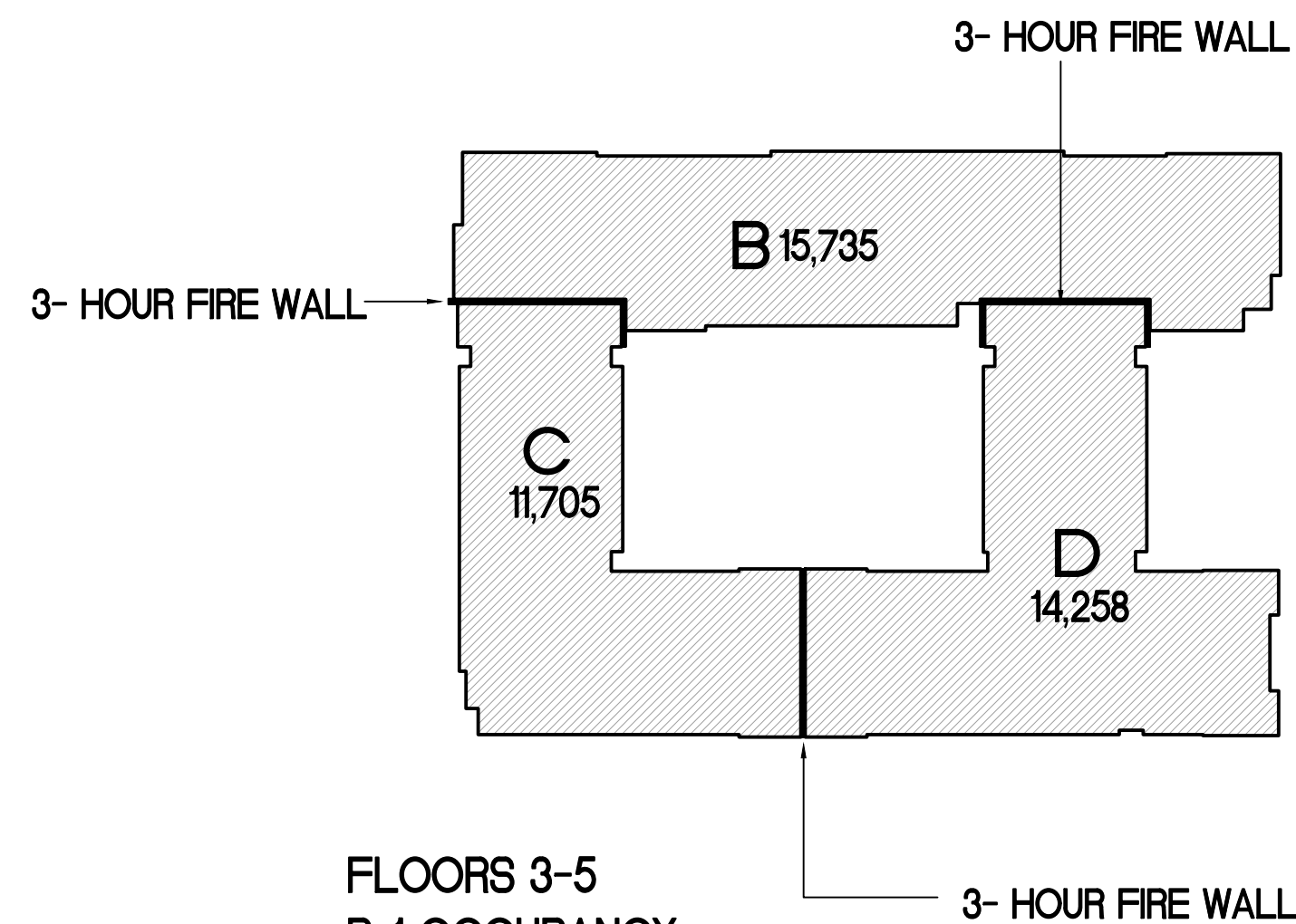
# BUILDING CODE SUMMARY AND DIAGRAMS



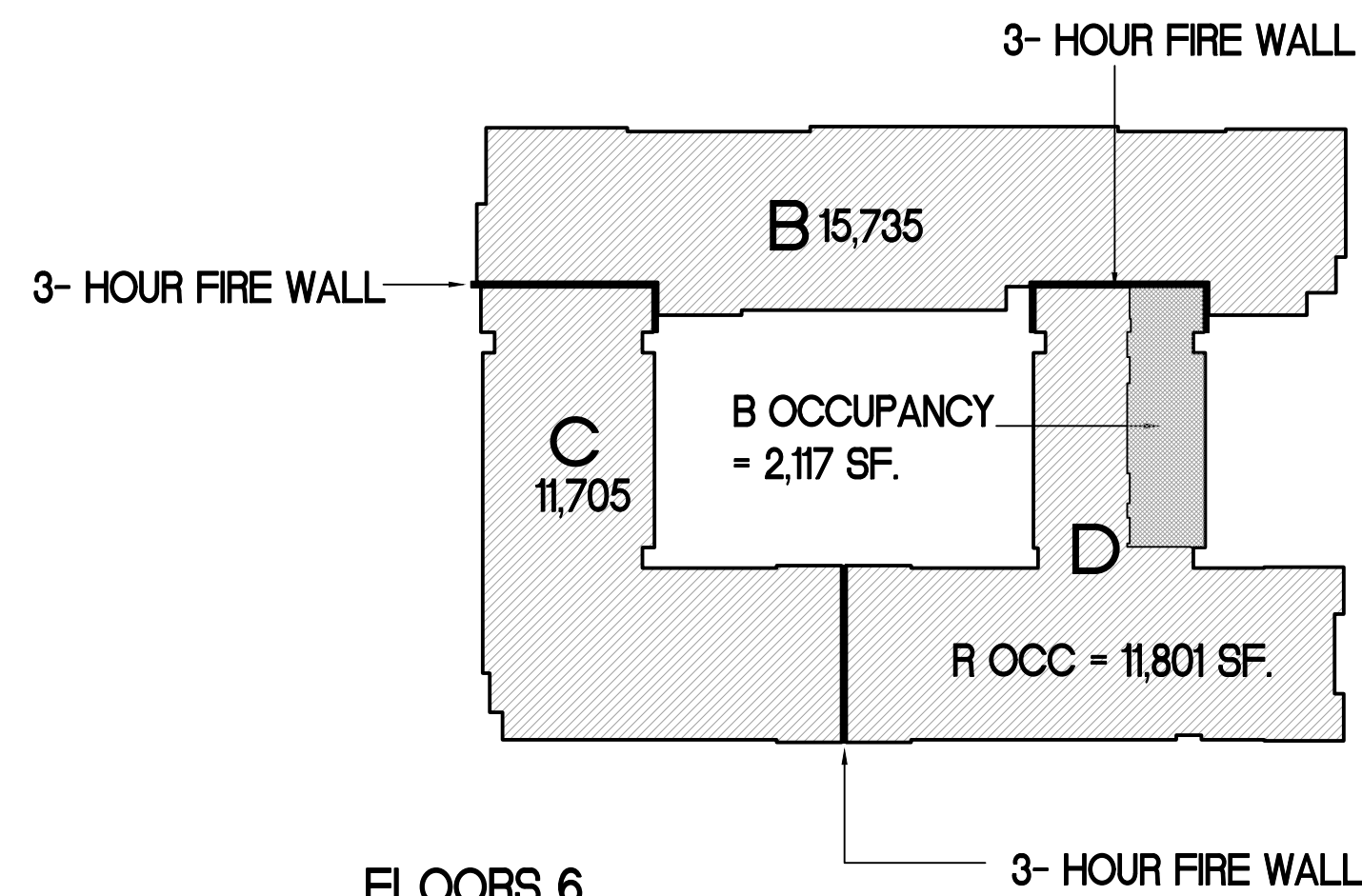
FLOORS 1-2 - UNLIMITED AREA  
MIXED OCCUPANCY  
TYPE 1 - CONSTRUCTION W/ SPRINKLERS



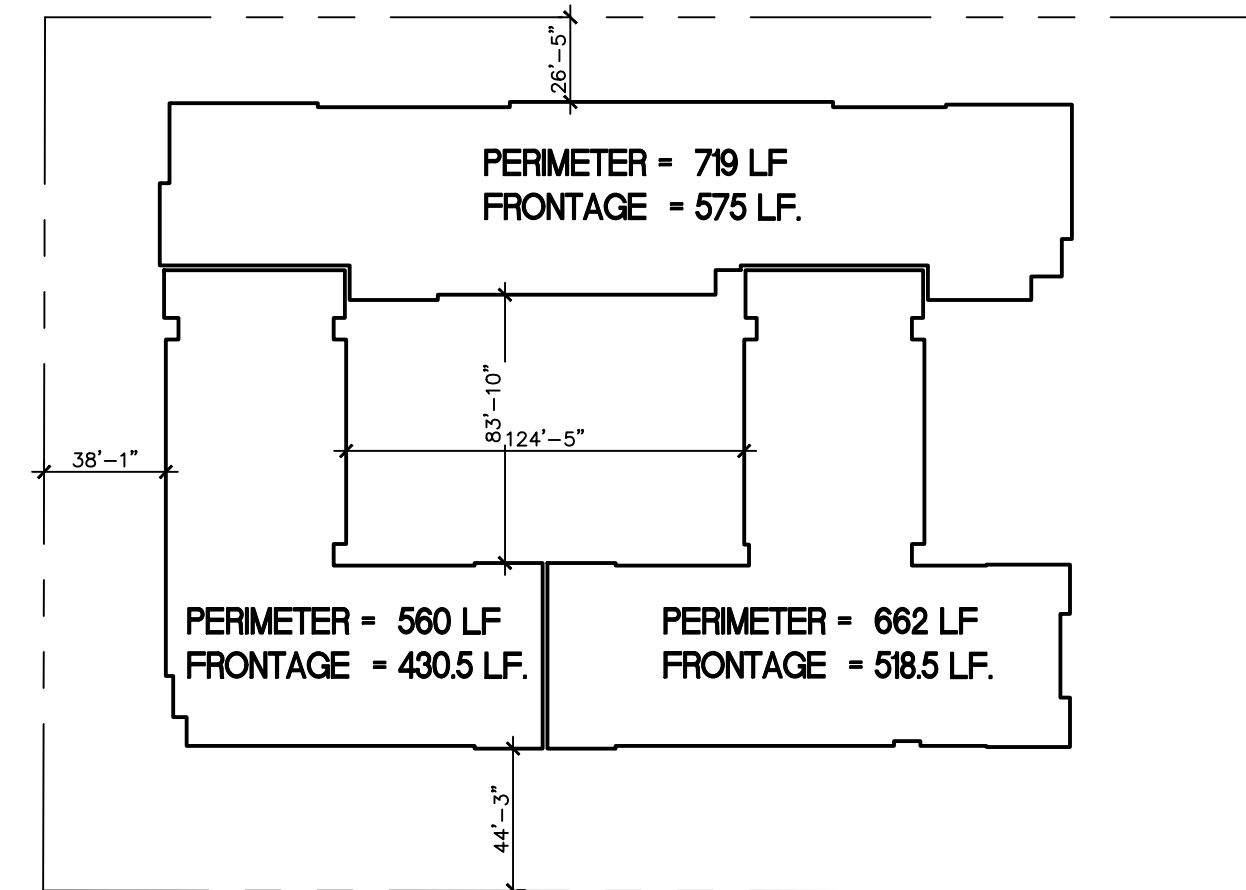
FLOOR 7  
R-1 OCCUPANCY  
TYPE 3A CONSTRUCTION W/ SPRINKLERS



FLOORS 3-5  
R-1 OCCUPANCY  
TYPE 3A CONSTRUCTION W/ SPRINKLERS



FLOORS 6  
R-1 AND B OCCUPANCY  
TYPE 3A CONSTRUCTION W/ SPRINKLERS



FRONTAGE INCREASE DIAGRAM

### ALLOWABLE BUILDING AREA CALCULATIONS

#### BUILDING AREA MODIFICATIONS

BUILDING B AREA = 76,011 SF. LARGEST FLOOR = 15,735 SF.  
 BUILDING C AREA = 58,525 SF. LARGEST FLOOR = 11,705 SF.  
 BUILDING D AREA = 65,285 SF. LARGEST FLOOR = 14,258 SF.

#### FRONTAGE INCREASE PER TABLE 506.3.3

BUILDING B  
 PERCENT OF BUILDING PERIMETER ON PUBLIC WAY OR OPEN SPACE 79.9%  
 SMALLEST PUBLIC WAY OR OPEN SPACE 38'-1"  
 FRONTAGE FACTOR INCREASE 0.63

BUILDING C  
 PERCENT OF BUILDING PERIMETER ON PUBLIC WAY OR OPEN SPACE 76.8%  
 SMALLEST PUBLIC WAY OR OPEN SPACE 25'-5"  
 FRONTAGE FACTOR INCREASE .75

BUILDING D  
 PERCENT OF BUILDING PERIMETER ON PUBLIC WAY OR OPEN SPACE 78.3%  
 SMALLEST PUBLIC WAY OR OPEN SPACE 44'-5"  
 FRONTAGE FACTOR INCREASE 0.75

### CONSTRUCTION TYPE:

GARAGE: TYPE 1A W/ SPRINKLERS  
 HOTEL - FLOORS 1 AND 2: TYPE 1A W/ SPRINKLERS  
 HOTEL - FLOORS 3-7: TYPE 3A W/SPRINKLERS

### OCCUPANCY CLASSIFICATION:

GARAGE: S-1  
 HOTEL - FLOORS 1 AND 2: MIXED - A2, A4, B, F-1, R-1, S-1  
 HOTEL - FLOORS 3,4,5,7: R-1  
 HOTEL - FLOOR 6: MIXED - R-1, B

### ALLOWABLE BUILDING HEIGHT AND STORIES:

GARAGE: UNLIMITED HEIGHT ALLOWED  
 HOTEL - FLOORS 1 AND 2: UNLIMITED HEIGHT ALLOWED  
 HOTEL - FLOORS 3-7: 85' AND 5 STORIES

### ALLOWABLE BUILDING AREA:

GARAGE: UNLIMITED AREA ALLOWED  
 HOTEL - FLOORS 1 AND 2: UNLIMITED AREA ALLOWED  
 HOTEL - FLOORS 3-7: SEE ALLOWABLE AREA SUMMARY

### BUILDING AREAS:

GARAGE	
P1	55,350 S.F.
P2	55,350 S.F.
P3	55,350 S.F.
P4	41,990 S.F.
TOTAL	208,040 S.F.

HOTEL	
FLOOR 1	30,240 SF.
FLOOR 2	38,440 SF.
FLOOR 3	40,035 SF.
FLOOR 4	40,035 SF.
FLOOR 5	40,035 SF.
FLOOR 6:	40,035 SF.
FLOOR 7:	33,518 SF.
TOTAL	262,338 SF.

PORTE COCHERE:	2,760 SF.
HORIZONTAL PROJECTIONS:	11,795 SF.

### BUILDING HEIGHTS:

GARAGE 43.5' FINISHED GRADE TO TOP OF ROOF  
 HOTEL 84.5' FINISHED GRADE TO TOP OF ROOF  
 74.5' FINISHED GRADE TO HIGHEST OCCUPIED FLOOR

### TABULAR AREAS:

TABLE 506.2 W/ HT. INCREASE	Area (At)	Area (NS)
R-1	24,000	24,000
B	85,500	28,500

### FRONTAGE INCREASE

(If) BUILDING B	= 0.63
(If) BUILDING C	= 0.75
(If) BUILDING D	= 0.75

### MAX. ALLOWABLE AREA FOR A SINGLE FLOOR - EQUATION 5-1

$A_a = [A_t + (NS \times I_f)]$

BUILDING B  
 R-1  $24,000 + (24,000 \times .63) = 39,120$  SF. (OK - ACTUAL IS 15,735 SF.)

BUILDING C  
 R-1  $24,000 + (24,000 \times .75) = 42,000$  SF. (OK - ACTUAL IS 11,705 SF.)

BUILDING D  
 R-1  $24,000 + (24,000 \times .75) = 42,000$  SF.  
 B  $85,500 + (28,500 \times .75) = 106,875$  SF.

### MAX. ALLOWABLE AREA FOR BUILDINGS B AND C - EQUATION 5-2

$A_a = [A_t + (NS \times I_f) \times S_a]$   
 $S_a = 2$  - PER SEC. 506.2.3

BUILDING B  
 R-1  $24,000 + (24,000 \times .63) \times 2 = 78,240$  S.F. (OK - ACTUAL IS 76,011 SF.)

BUILDING C  
 R-1  $24,000 + (24,000 \times .75) \times 2 = 84,000$  S.F. (OK - ACTUAL IS 58,525 SF.)

### MAX. ALLOWABLE AREA FOR BUILDING D (SUM OF THE RATIOS)

		FLOOR 3	FLOOR 4	FLOOR 5	FLOOR 6	FLOOR 7	
ALLOWABLE AREA	R-1	42,000	42,000	42,000	42,000	42,000	
ALLOWABLE AREA	B	-	-	-	106,875	-	
ACTUAL AREA	R-1	14,258	14,258	14,258	11,801	8,253	
ACTUAL AREA	B	-	-	-	2,117	-	
SUM OF THE RATIOS		0.339	0.339	0.339	0.299	.196	= 1.512
OK AS VALUE DOES NOT EXCEED 2							

### ADJUSTED GROSS FLOOR AREA CALCULATION

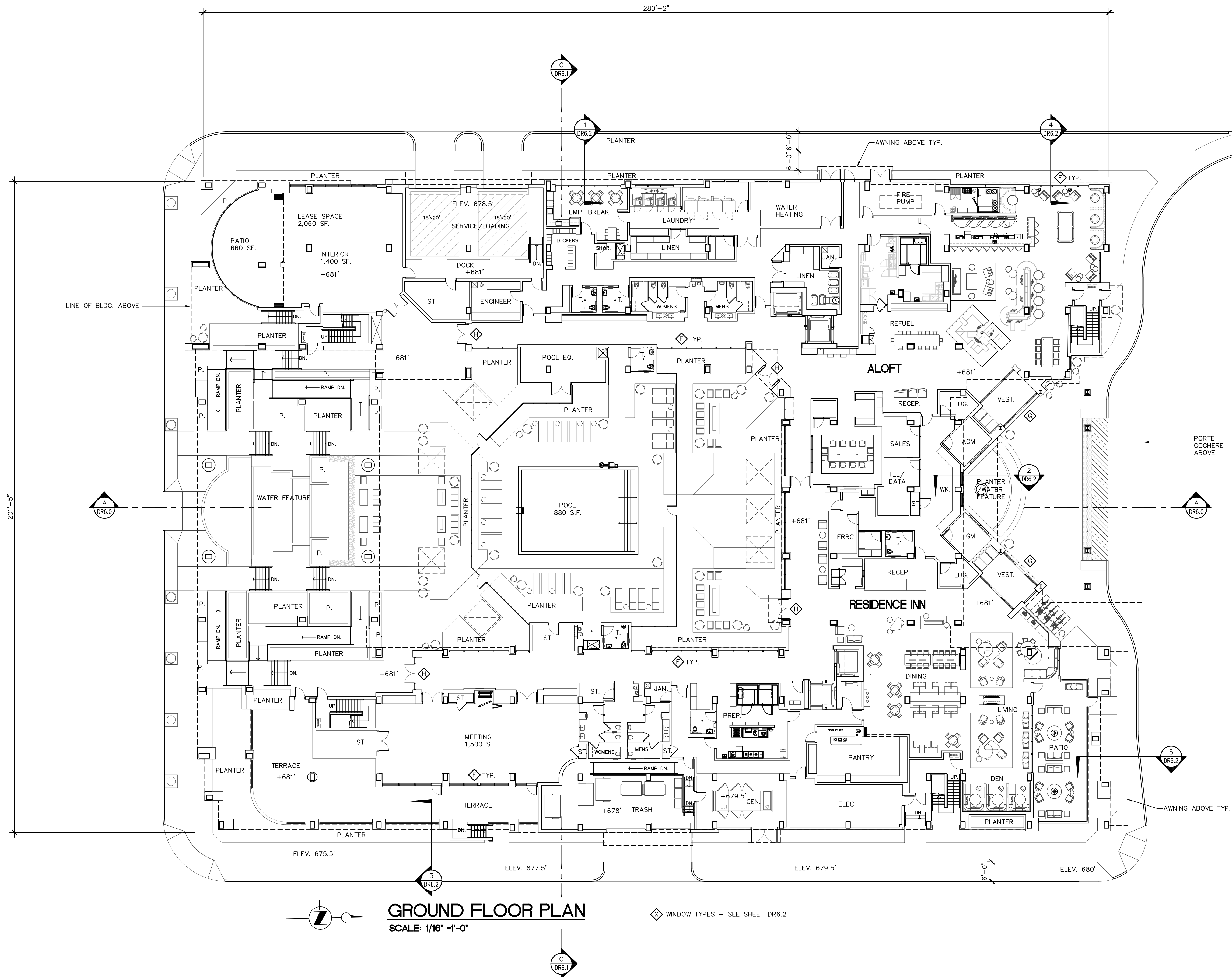
HOTEL	
EXTERIOR WALLS:	7,610 SF.
INTERIOR WALLS:	13,345 SF.
SHAFTS AND STAIRS:	8,495 SF.
COLUMNS:	990 SF.
TOTAL:	30,440 SF.

GROSS AREA:	262,338 SF.
ADJUSTED GROSS:	231,898 SF.

GARAGE	
EXTERIOR WALLS:	2,718 SF.
INTERIOR WALLS:	225 SF.
SHAFTS AND STAIRS:	5,320 SF.
COLUMNS:	1,077 SF.
TOTAL:	9,340 SF.

GROSS AREA:	208,040 SF.
ADJUSTED GROSS:	198,700 SF.



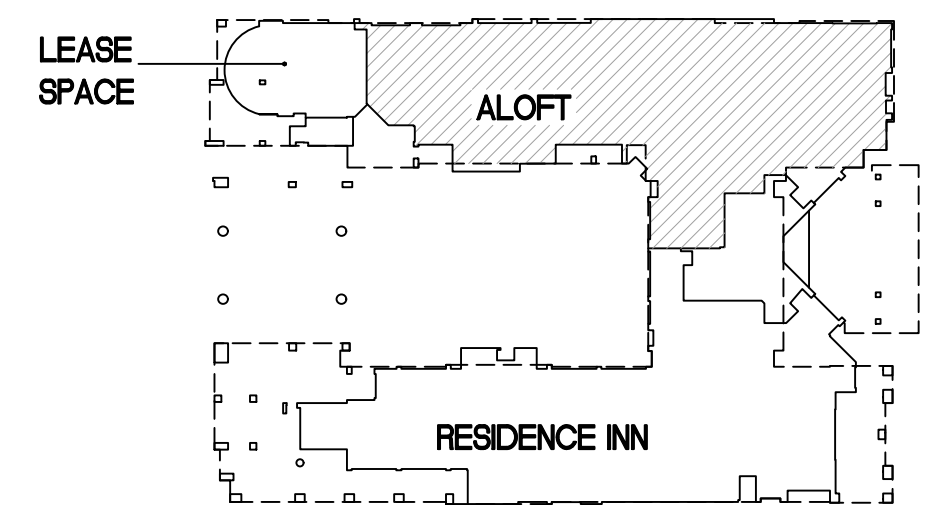


**ALOFT**

	K	DO	ACC-K	ACC-DO	TOTAL
2ND FLOOR	22	11	1	1	35
3RD FLOOR	22	11	1	1	35
4TH FLOOR	22	11	1	1	35
5TH FLOOR	22	11	1	1	35
6TH FLOOR	22	11	1	1	35
7TH FLOOR	18	9	1	0	28
<b>TOTAL</b>	<b>128</b>	<b>64</b>	<b>6</b>	<b>5</b>	<b>203</b>

**RESIDENCE INN**

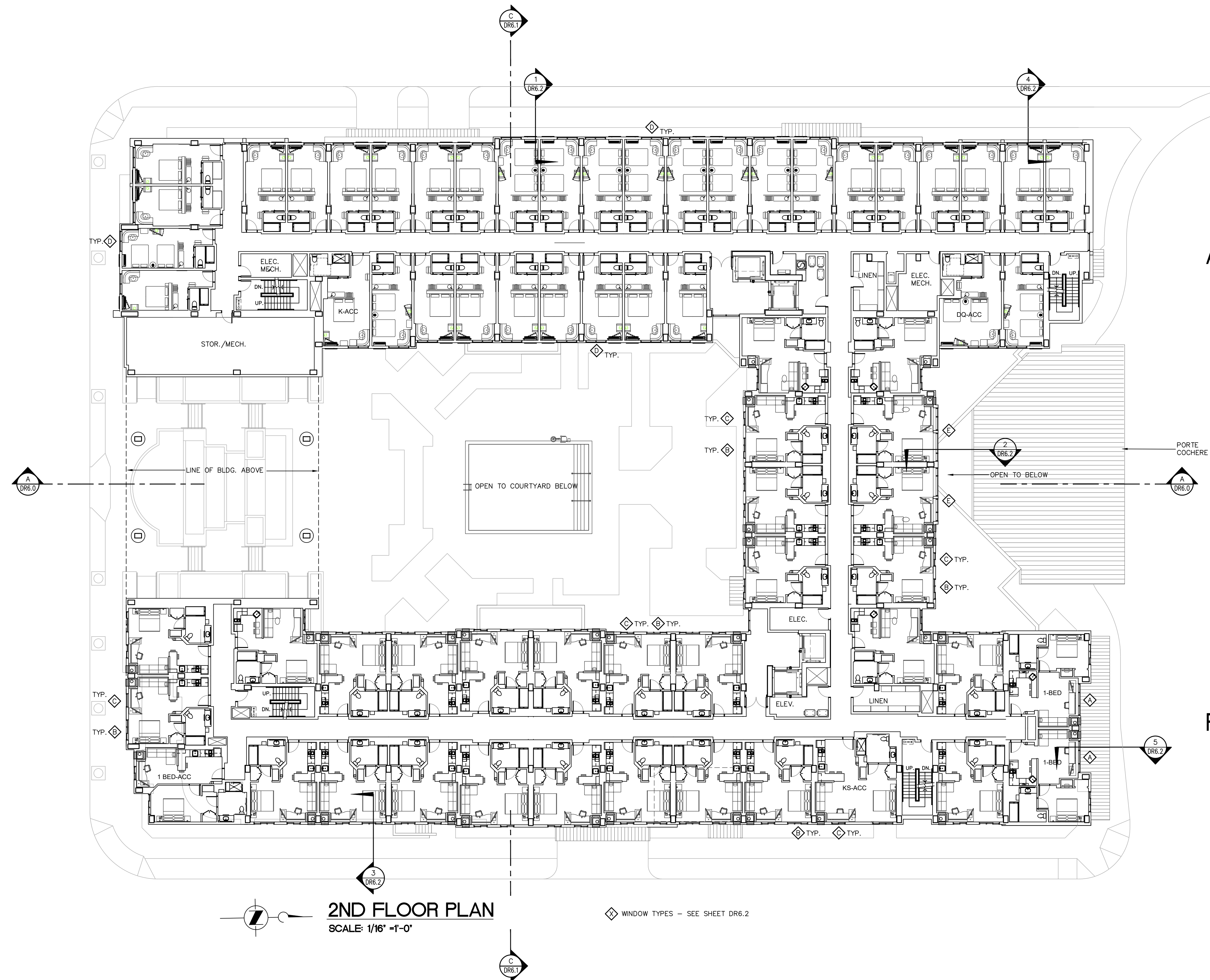
	KS	ACC-KS	1BED	ACC-1-BED	TOTAL
2ND FLOOR	28	1	2	1	32
3RD FLOOR	36	1	2	1	40
4TH FLOOR	36	1	2	1	40
5TH FLOOR	36	1	2	1	40
6TH FLOOR	32	1	2	1	36
7TH FLOOR	27	1	0	1	29
<b>TOTAL</b>	<b>195</b>	<b>6</b>	<b>10</b>	<b>6</b>	<b>217</b>



**GROUND FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

◇ WINDOW TYPES - SEE SHEET DR6.2

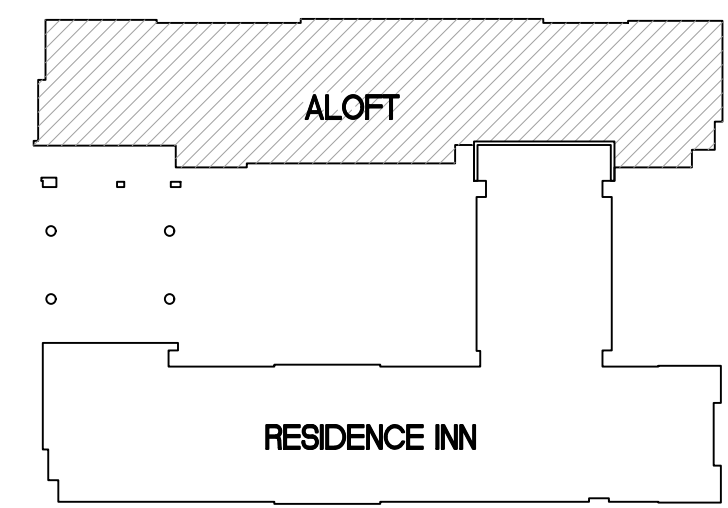




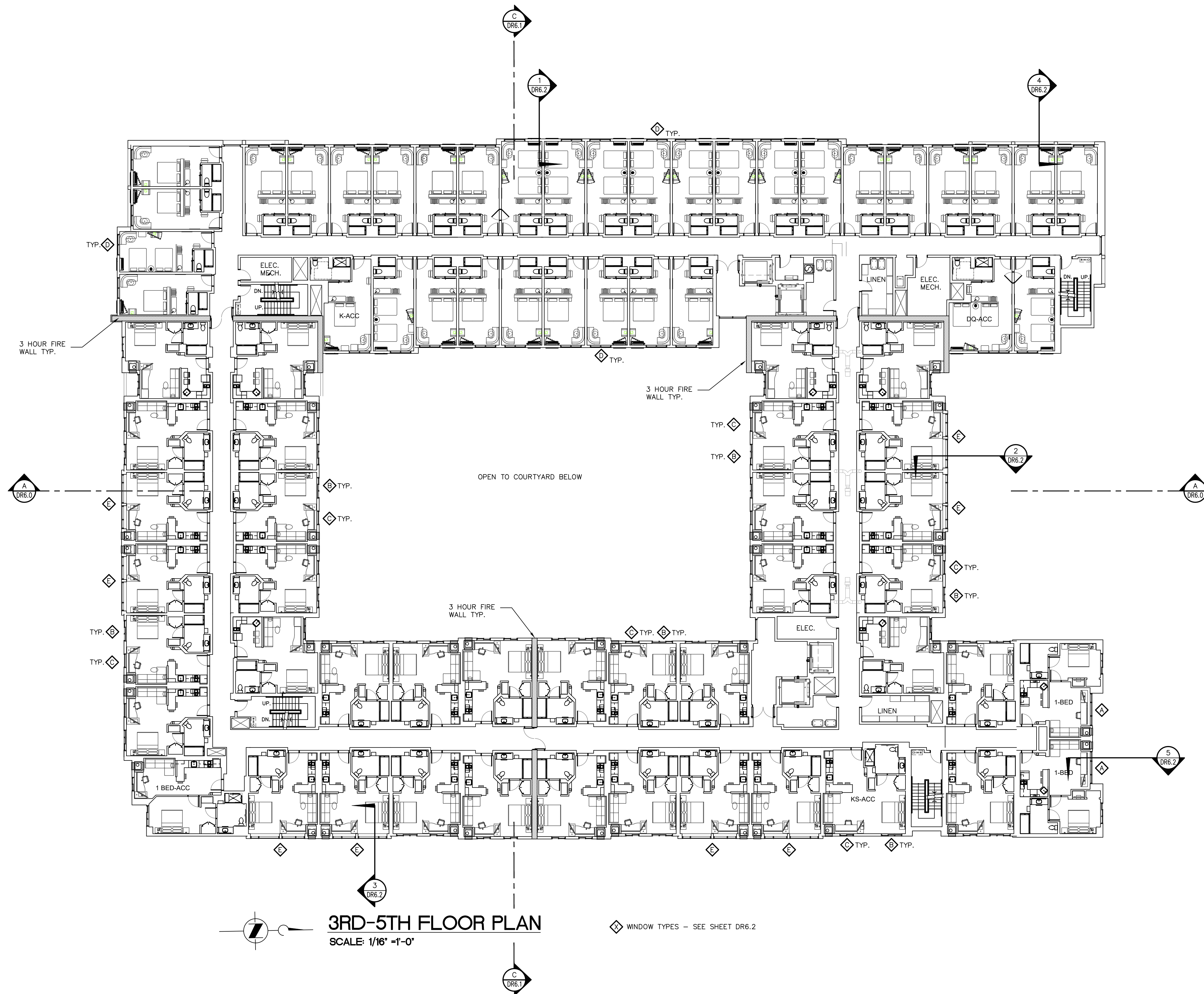
ALOFT = 35

RESIDENCE INN = 32

**2ND FLOOR PLAN**  
SCALE: 1/16" = 1'-0"





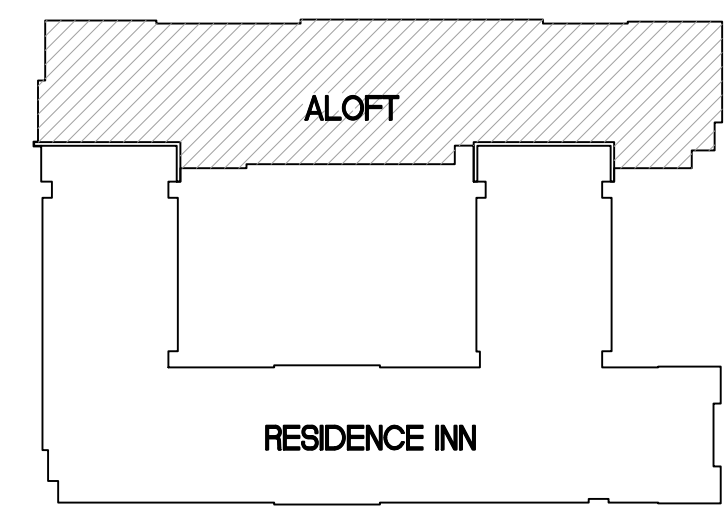


ALOFT = 35

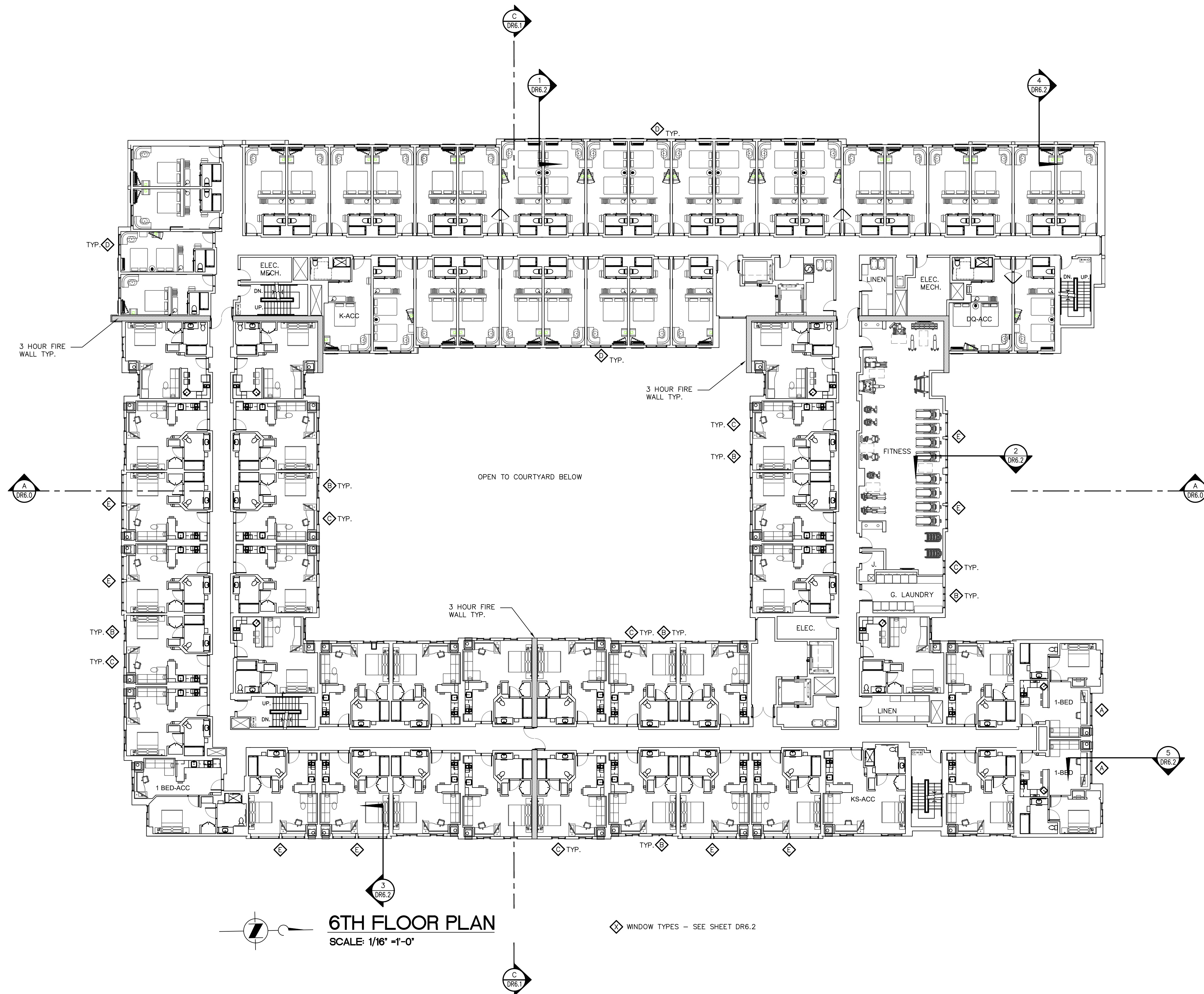
RESIDENCE INN = 40

**3RD-5TH FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

◇ WINDOW TYPES - SEE SHEET DR6.2





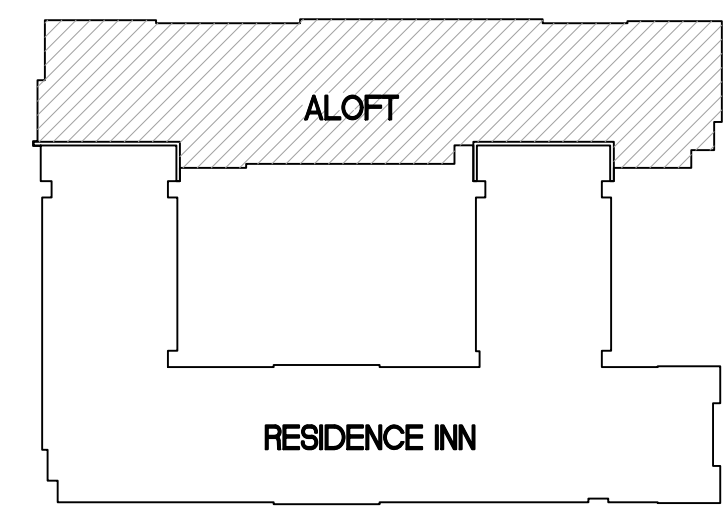


ALOFT = 35

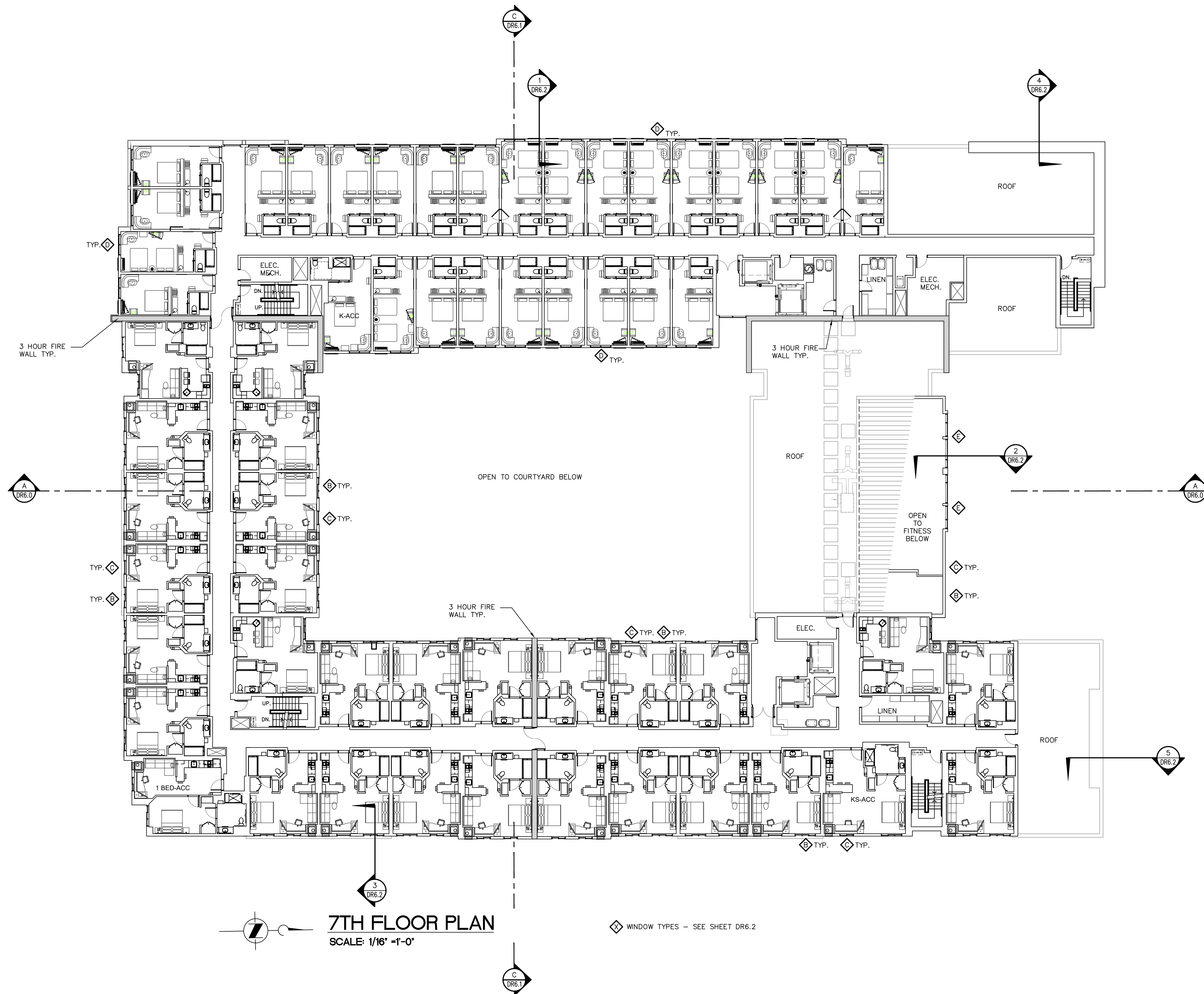
RESIDENCE INN = 36

**6TH FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

◇ WINDOW TYPES - SEE SHEET DRG.2





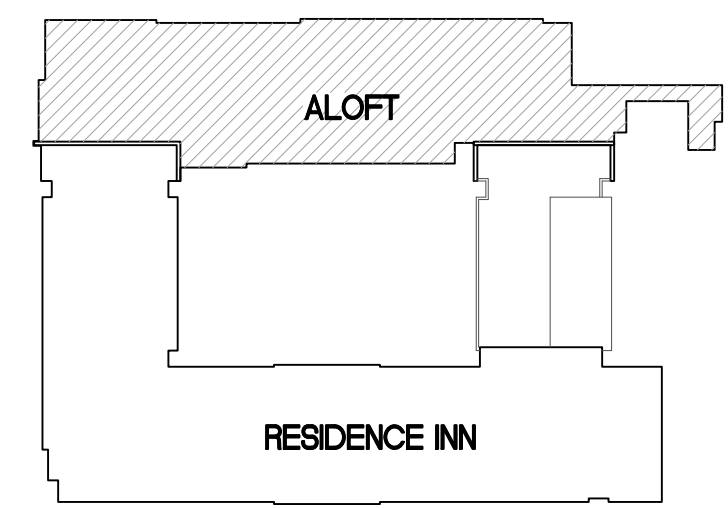


ALOFT = 28

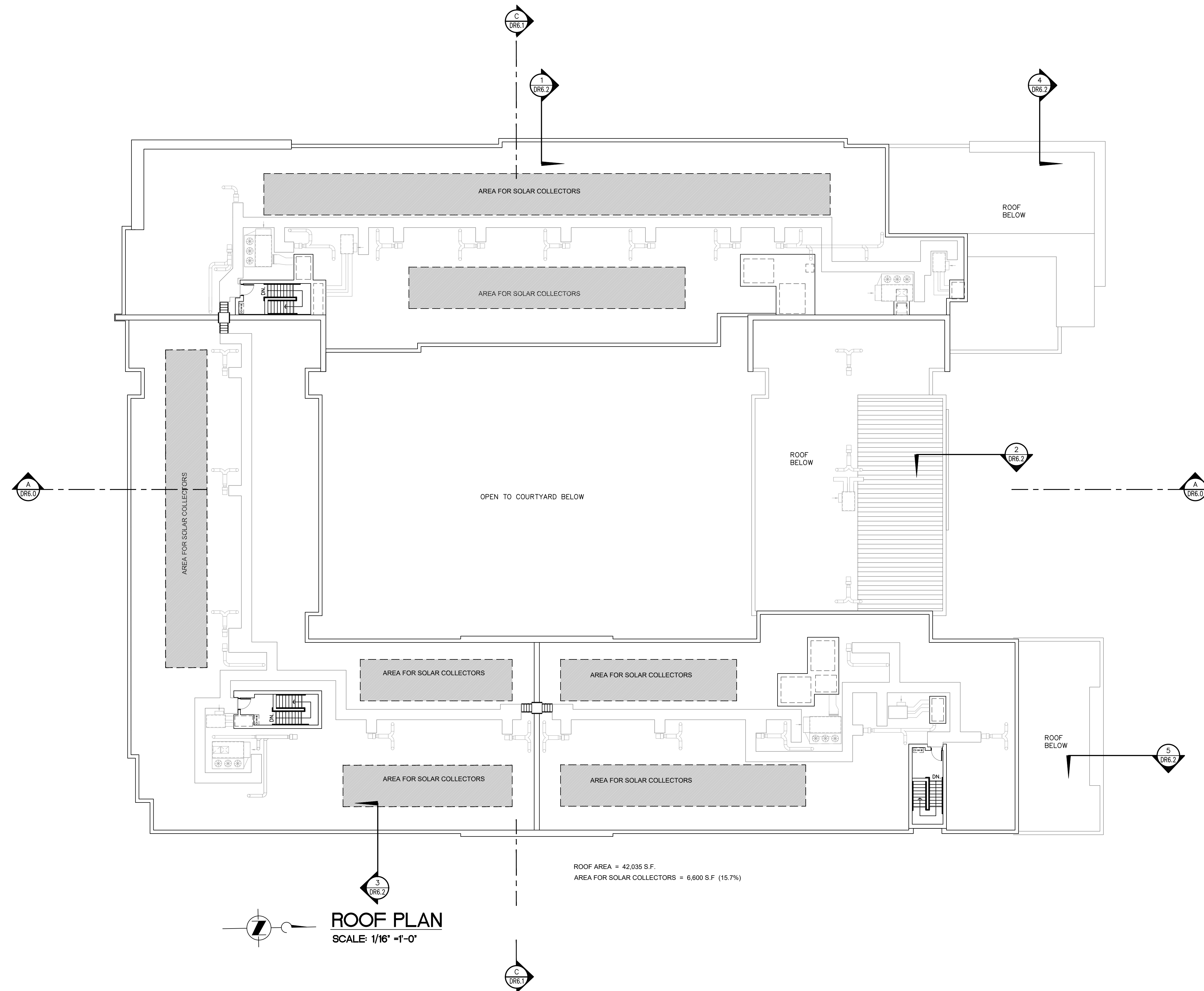
RESIDENCE INN = 29

**7TH FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

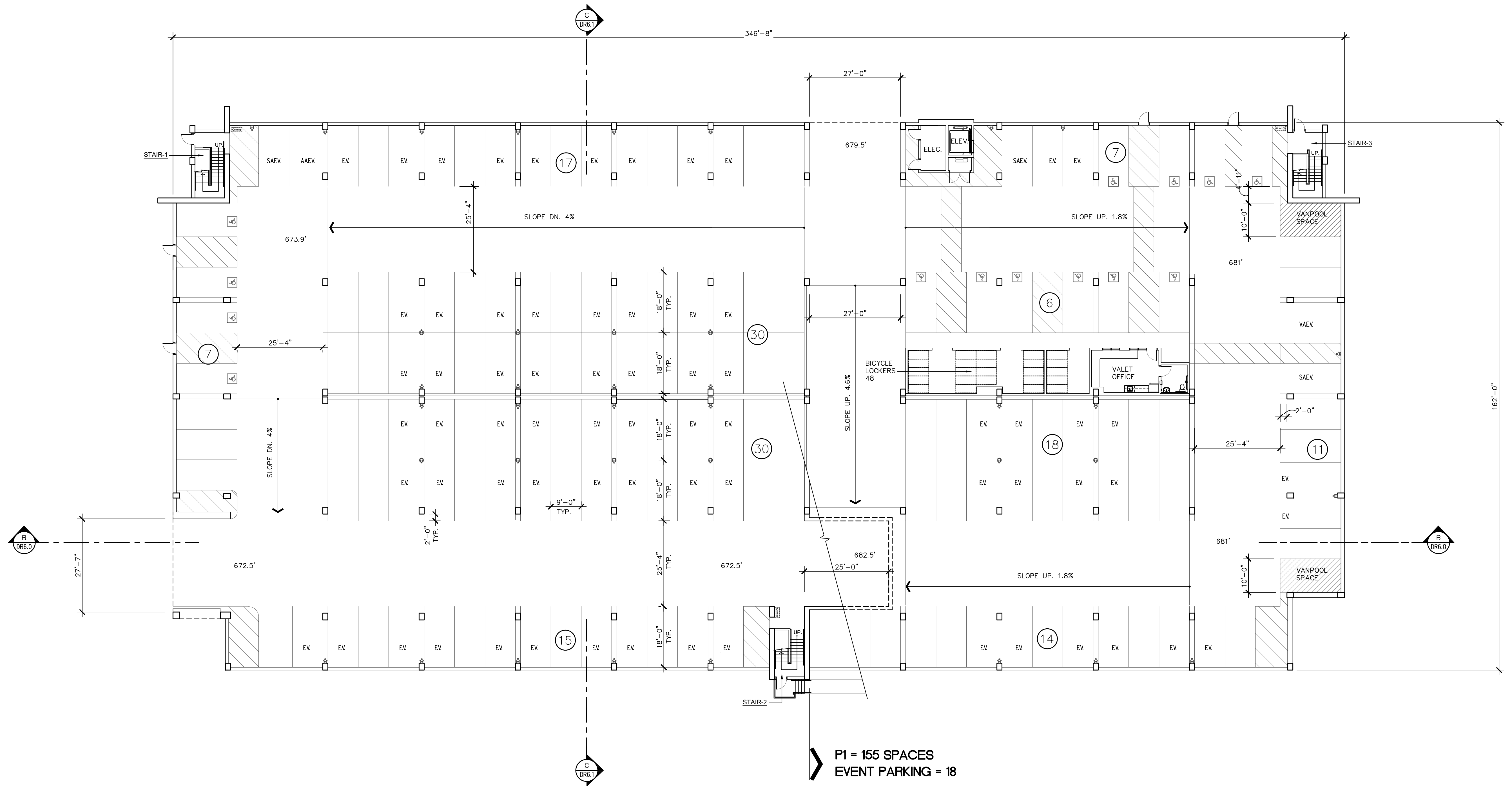
◇ WINDOW TYPES - SEE SHEET DR6.2



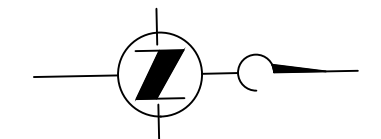








P1 = 155 SPACES  
EVENT PARKING = 18

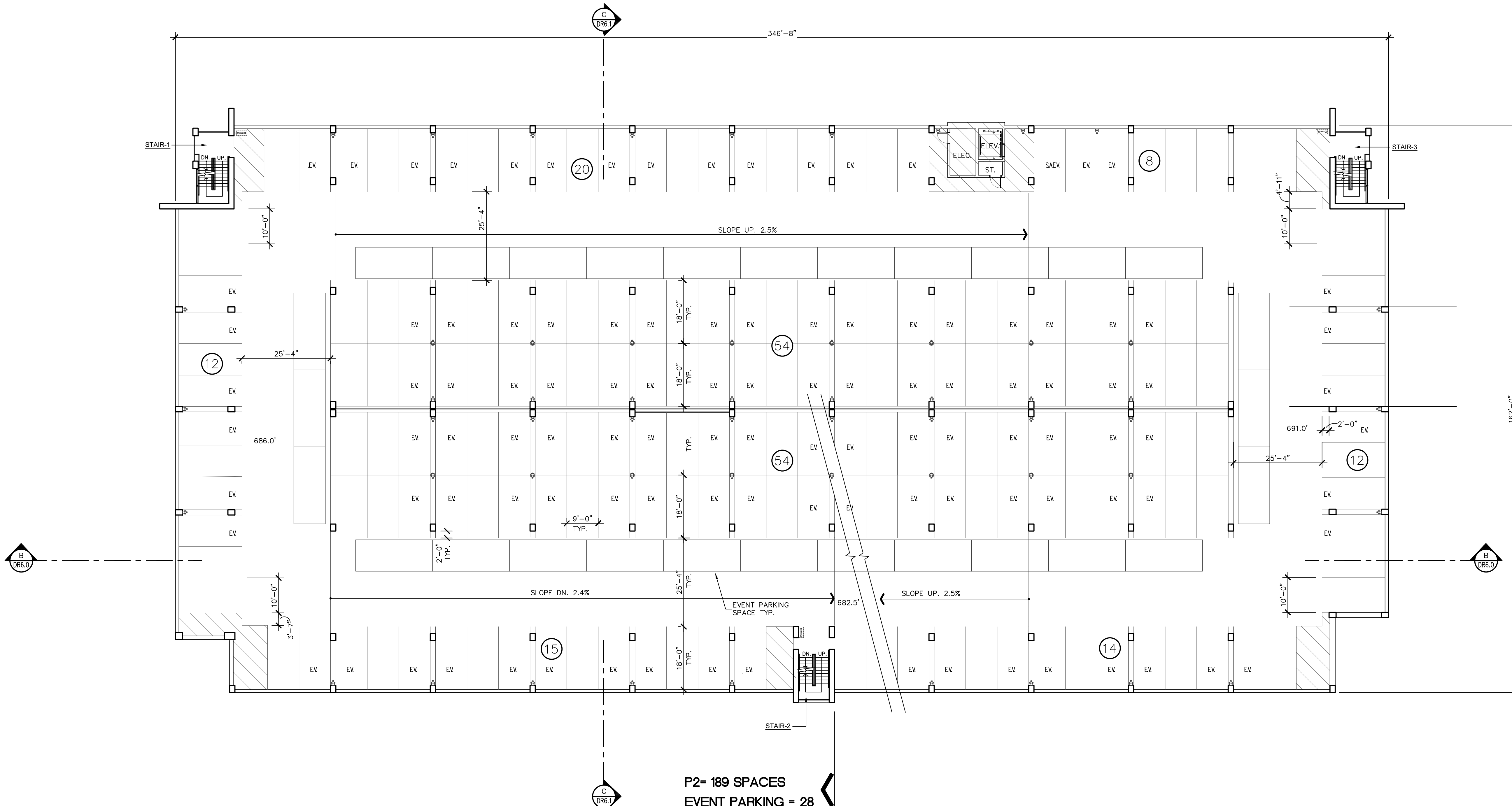


**GARAGE PLAN - LEVEL P1**  
SCALE: 1/16" = 1'-0"

**PARKING GARAGE SUMMARY**

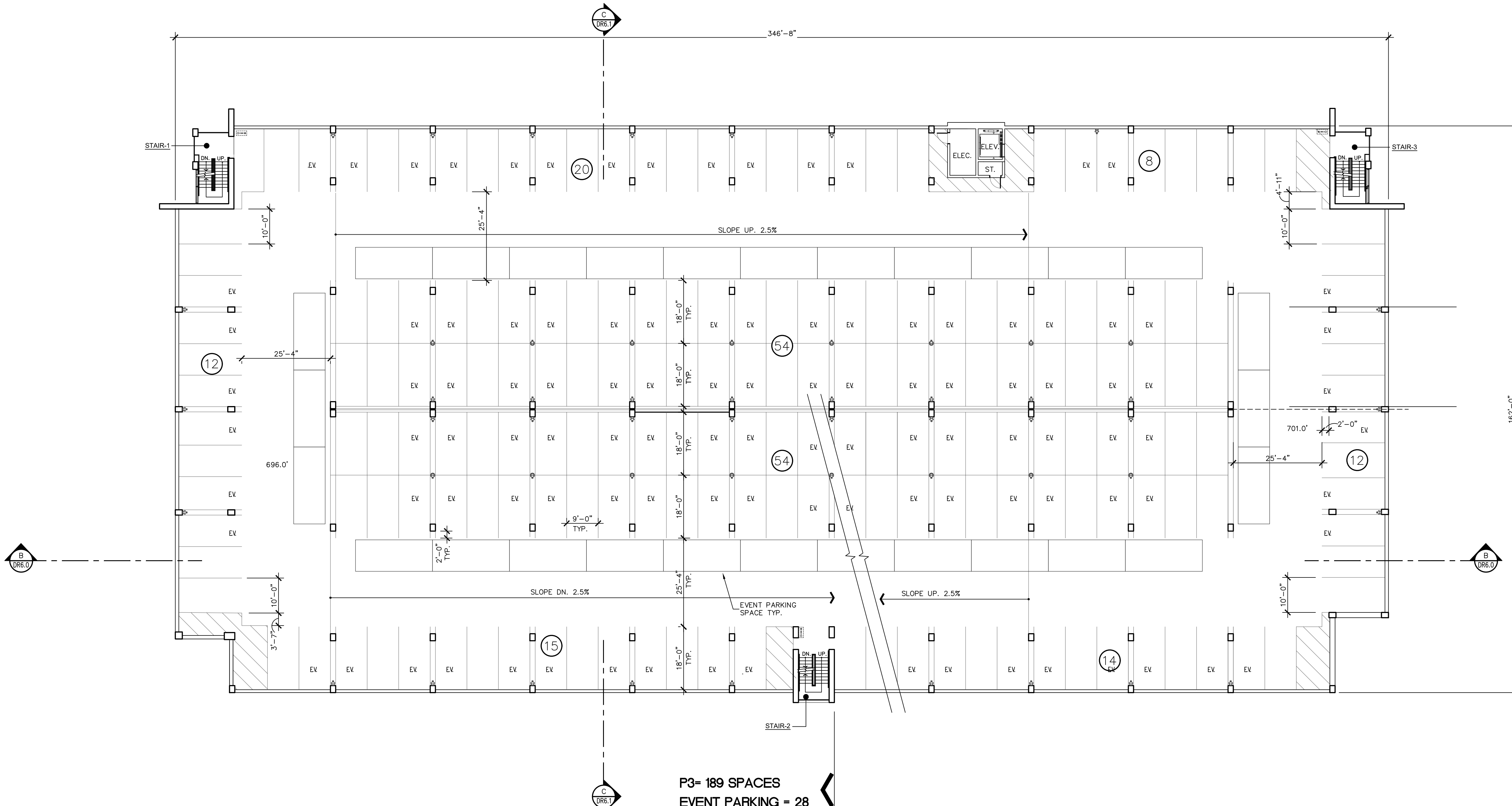
LEVEL	STANDARD SPACE	TANDUM SPACE	ACC. SPACE	TOTAL	EVENT SPACE	TOTAL
P1	64	78	14	155	18	174
P2	81	108	0	189	28	217
P3	81	108	0	189	28	217
P4	58	82	0	140	19	159
<b>TOTAL</b>	<b>284</b>	<b>376</b>	<b>14</b>	<b>673</b>	<b>93</b>	<b>767</b>





**GARAGE PLAN - LEVEL P2**  
 SCALE: 1/16" = 1'-0"

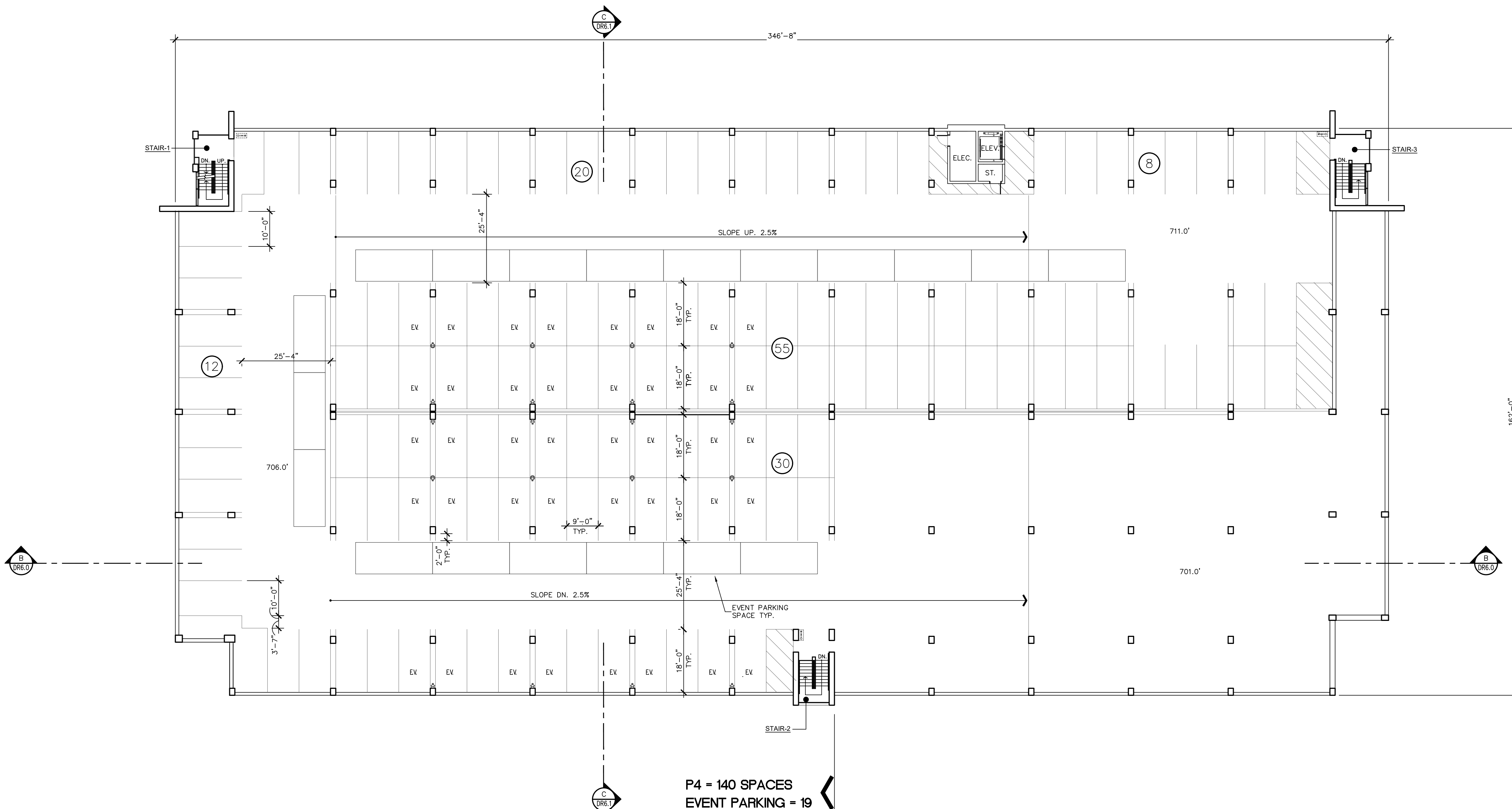




P3= 189 SPACES  
EVENT PARKING = 28

**GARAGE PLAN - LEVEL P3**  
SCALE: 1/16" = 1'-0"

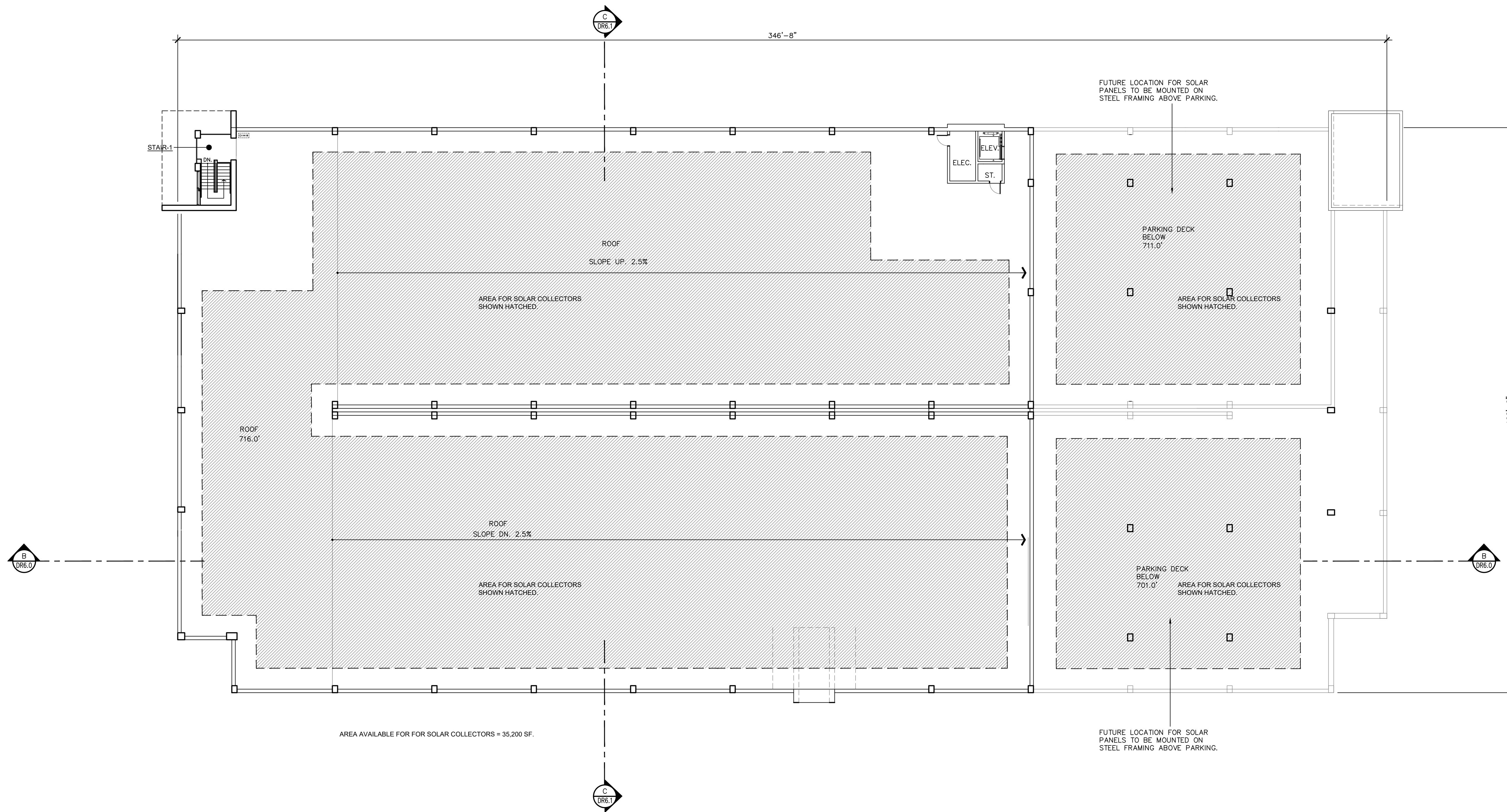





**GARAGE PLAN - LEVEL P4**  
 SCALE: 1/16" = 1'-0"

P4 = 140 SPACES  
 EVENT PARKING = 19

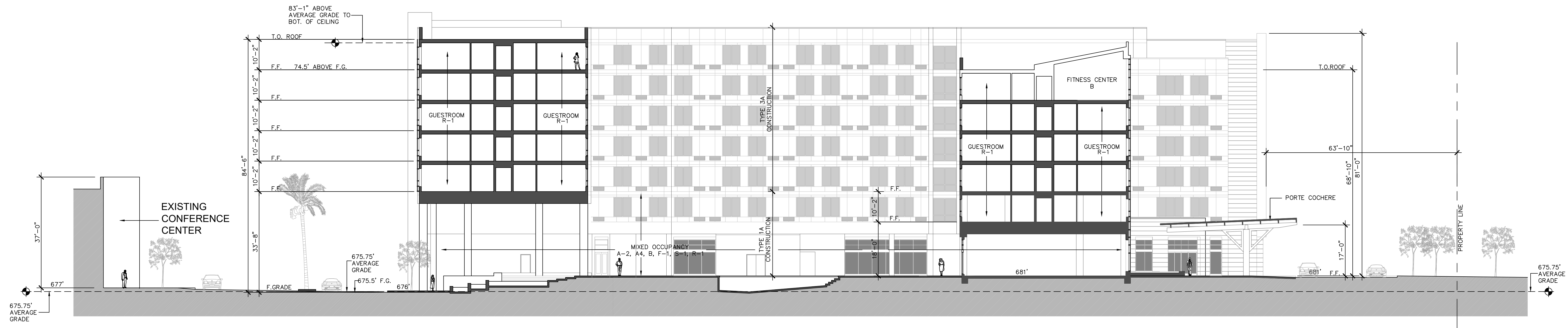




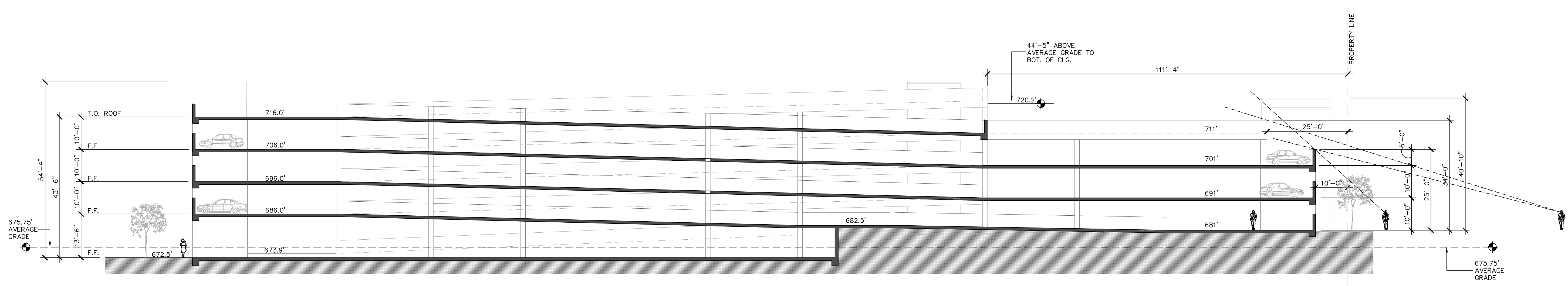
AREA AVAILABLE FOR FOR SOLAR COLLECTORS = 35,200 SF.

**GARAGE PLAN - ROOF**  
SCALE: 1/16" = 1'-0"



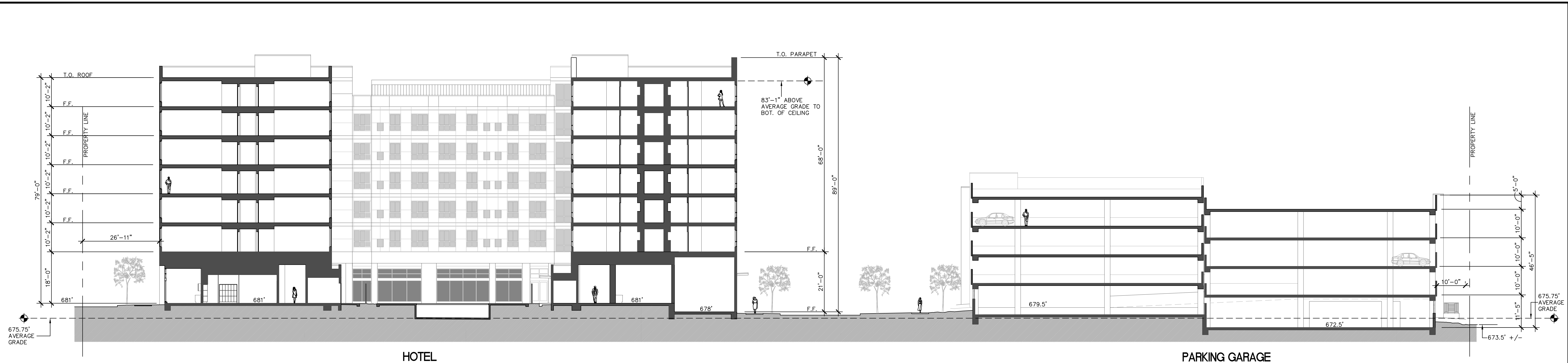


**BUILDING SECTION A-A**  
SCALE: 1/16" = 1'-0"

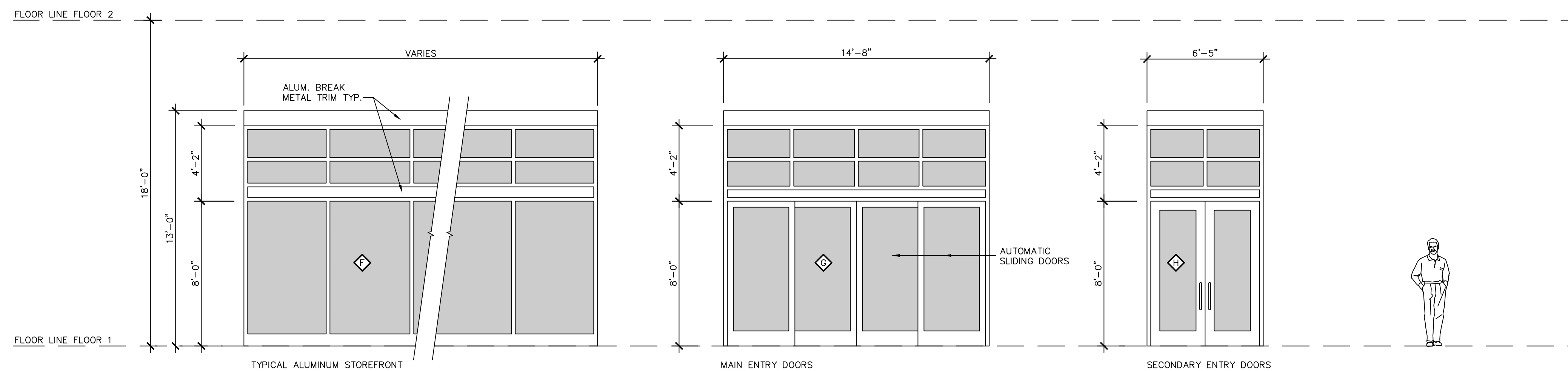
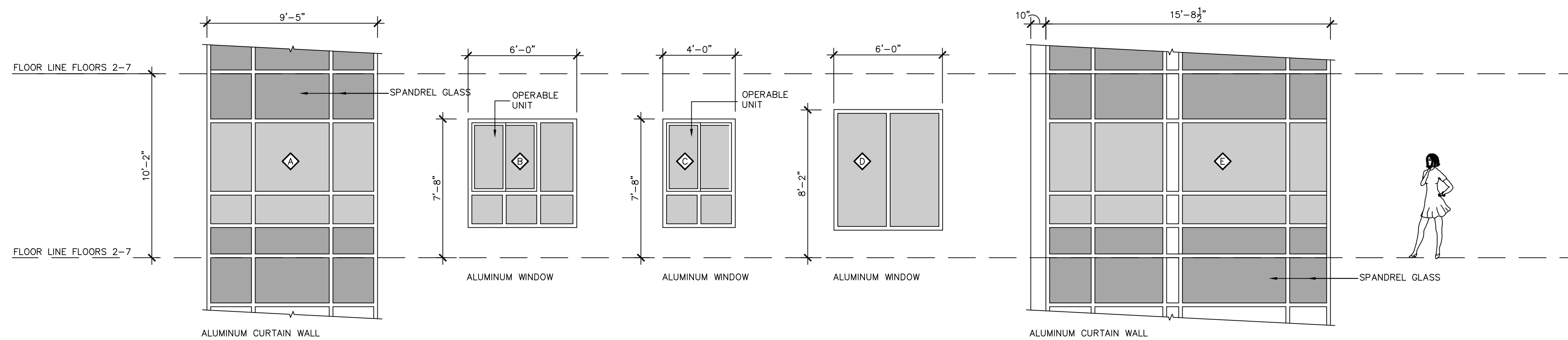


**BUILDING SECTION B-B**  
SCALE: 1/16" = 1'-0"





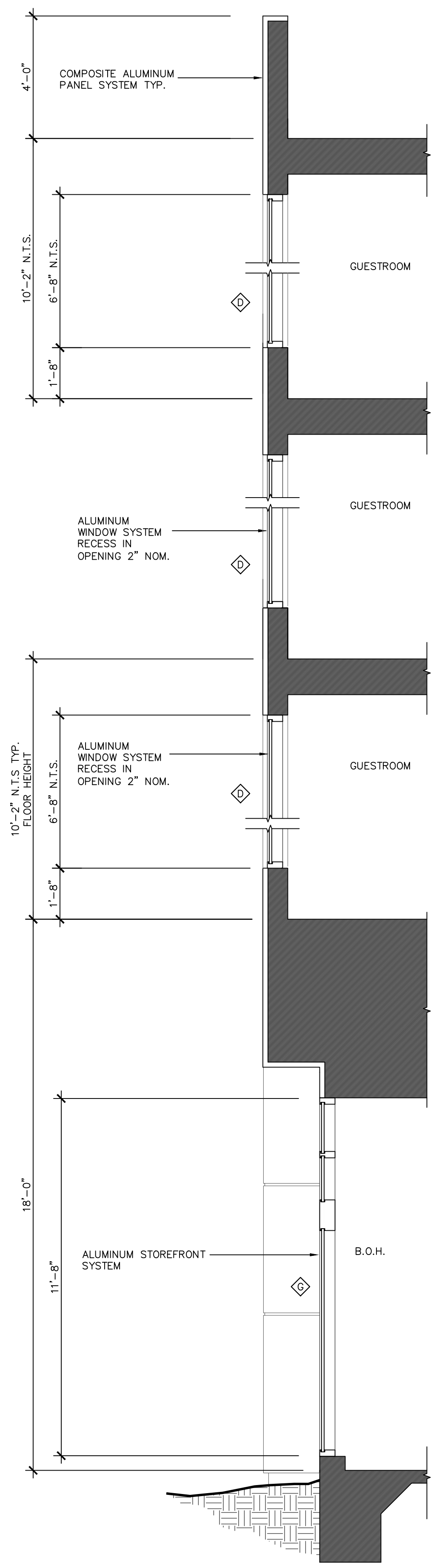
**BUILDING - SITE SECTION C-C**  
SCALE: 1/16" = 1'-0"



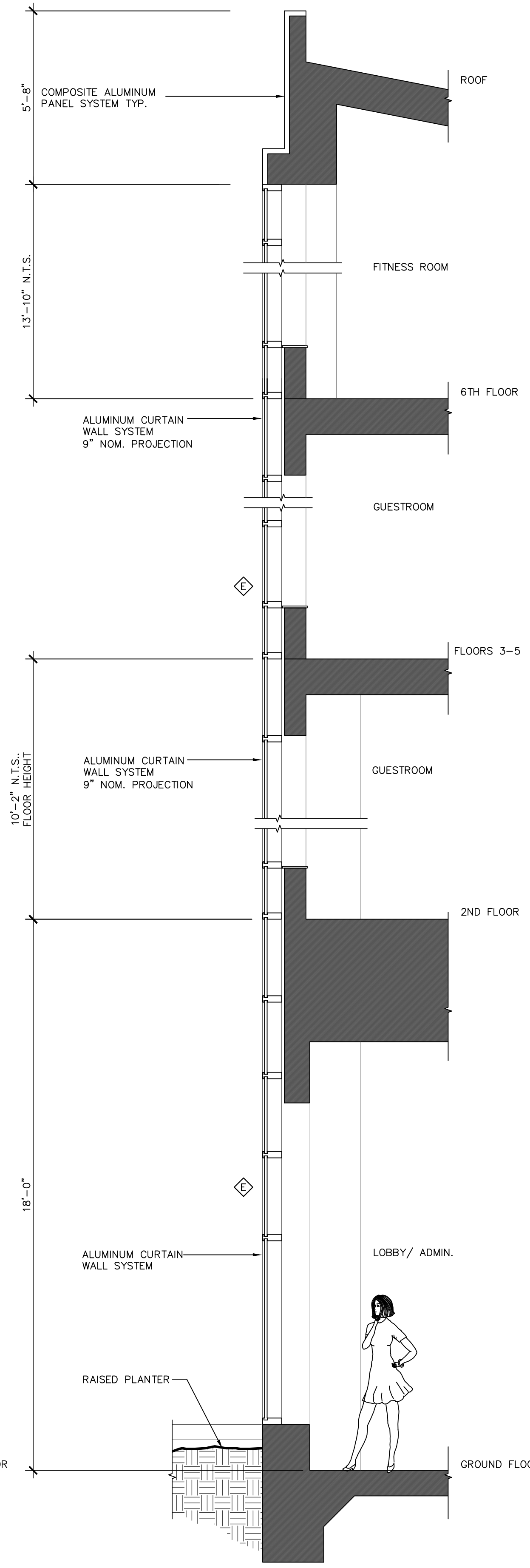
**TYPICAL WINDOW TYPES**  
SCALE: SCALE: 1/4" = 1'-0"

NOTES:  
1. ALL WINDOWS ARE FIXED GLAZING UNLESS NOTED OTHERWISE.

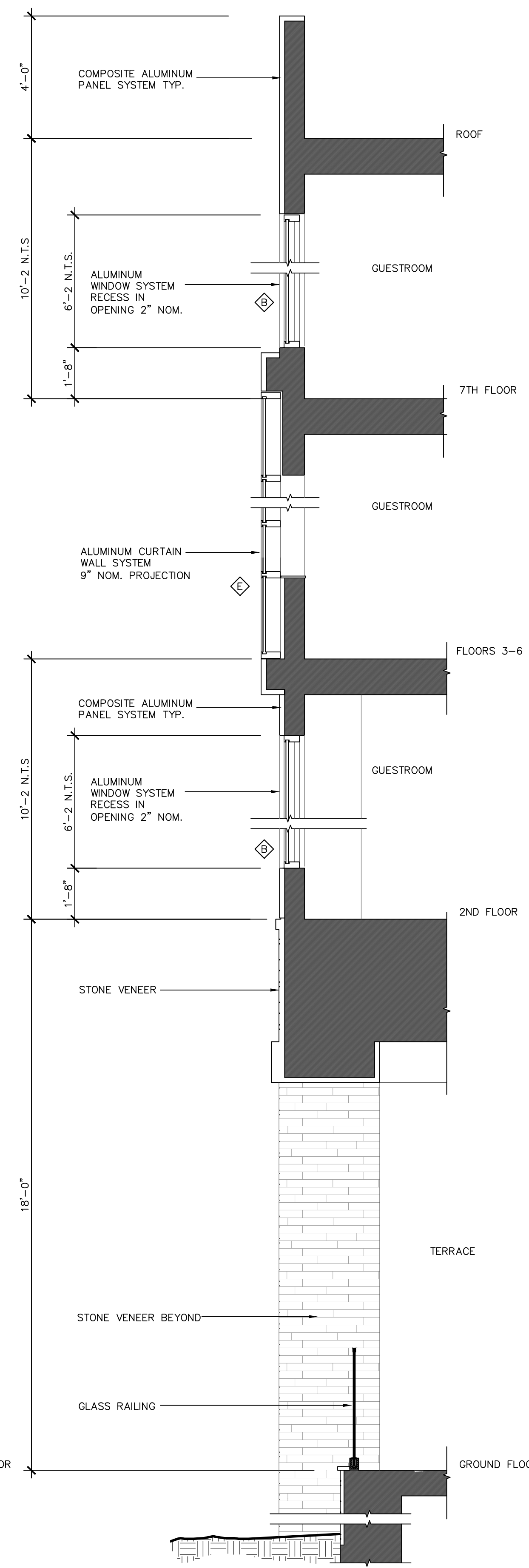




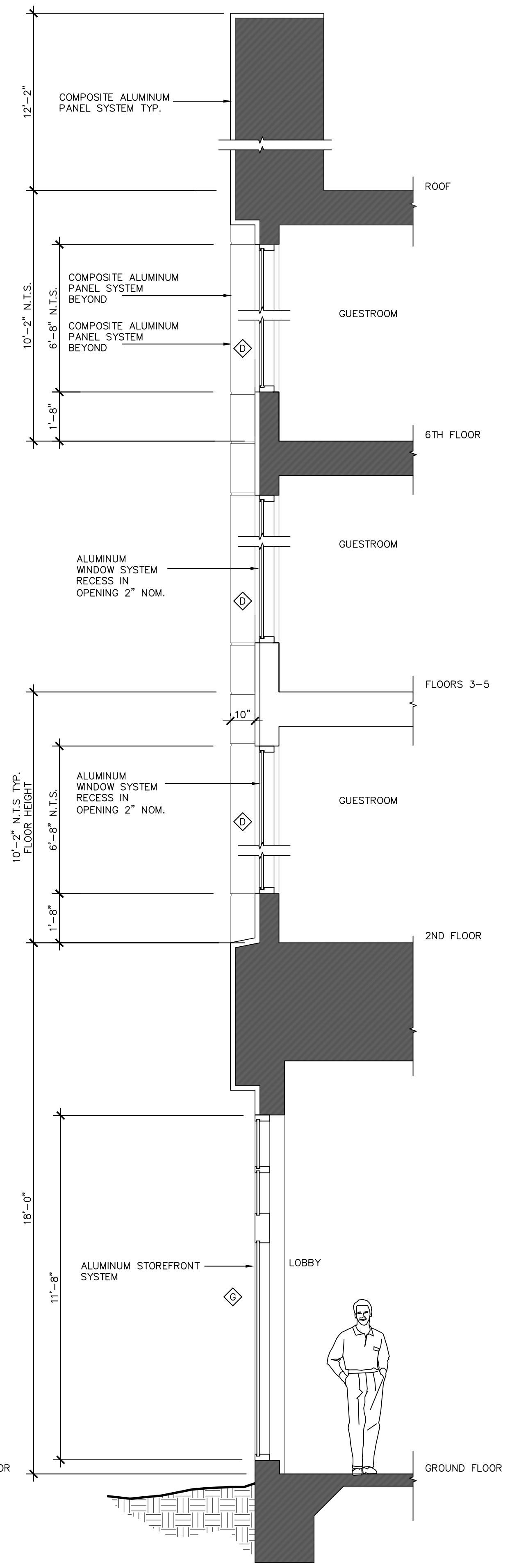
**1 WALL SECTION AT ALOFT**  
SCALE: 3/8" = 1'-0"



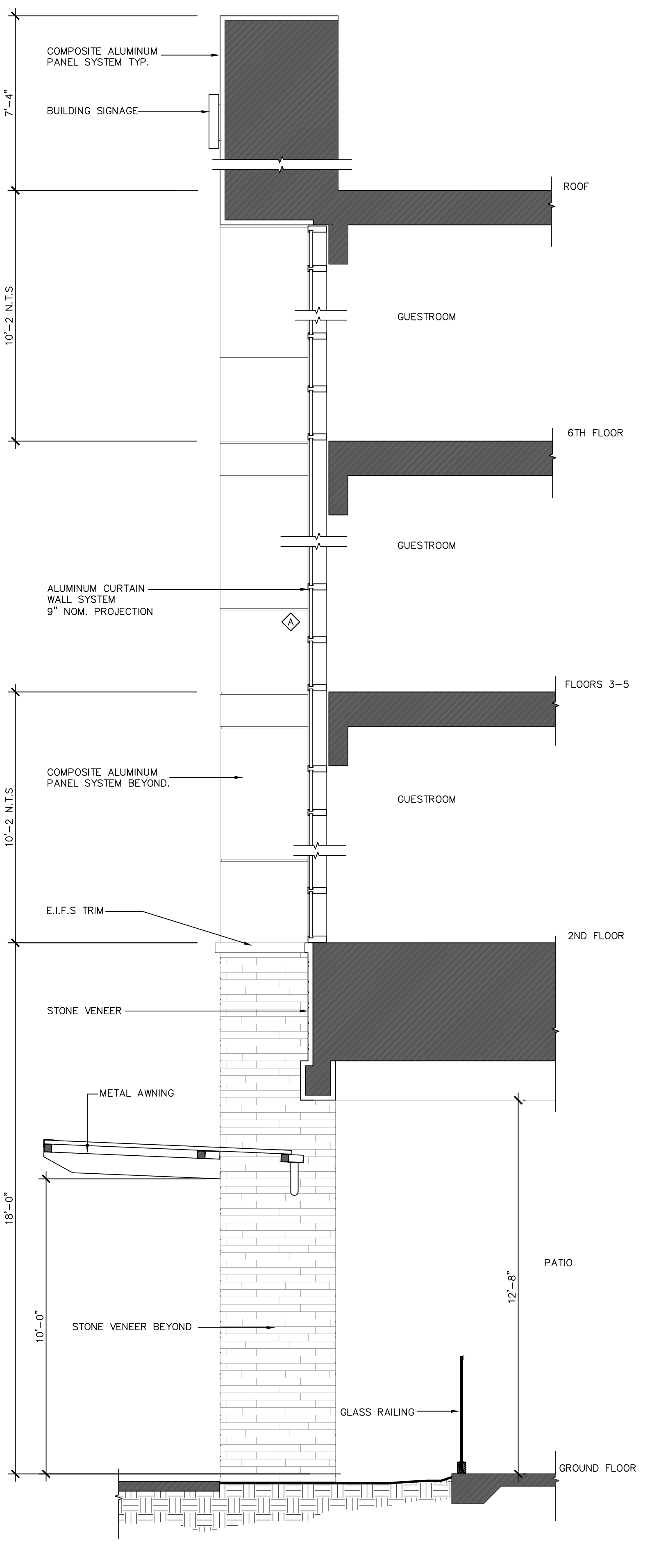
**2 WALL SECTION AT RESIDENCE INN**  
SCALE: 3/8" = 1'-0"



**3 WALL SECTION AT RESIDENCE INN**  
SCALE: 3/8" = 1'-0"



**4 WALL SECTION AT ALOFT**  
SCALE: 3/8" = 1'-0"



**5 WALL SECTION AT RESIDENCE INN**  
SCALE: 3/8" = 1'-0"

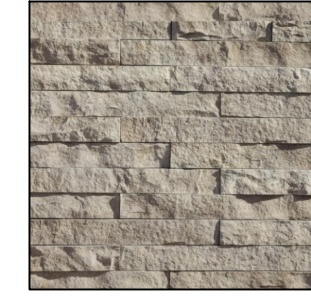
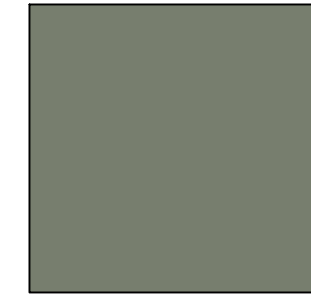
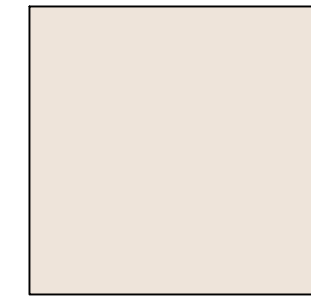


CEMENT BOARD SIDING SYSTEM  
TWILIGHT GRAY - TEXTURED

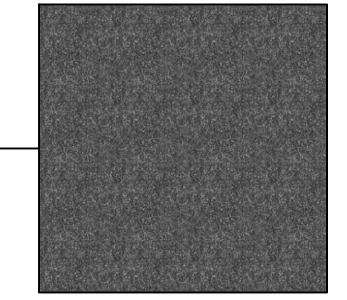
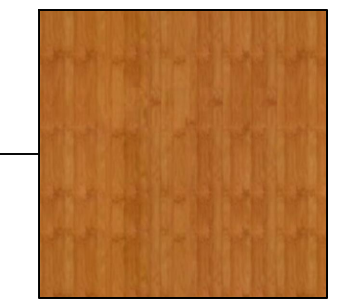
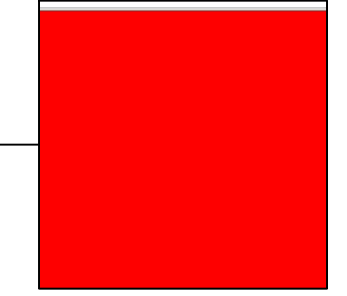
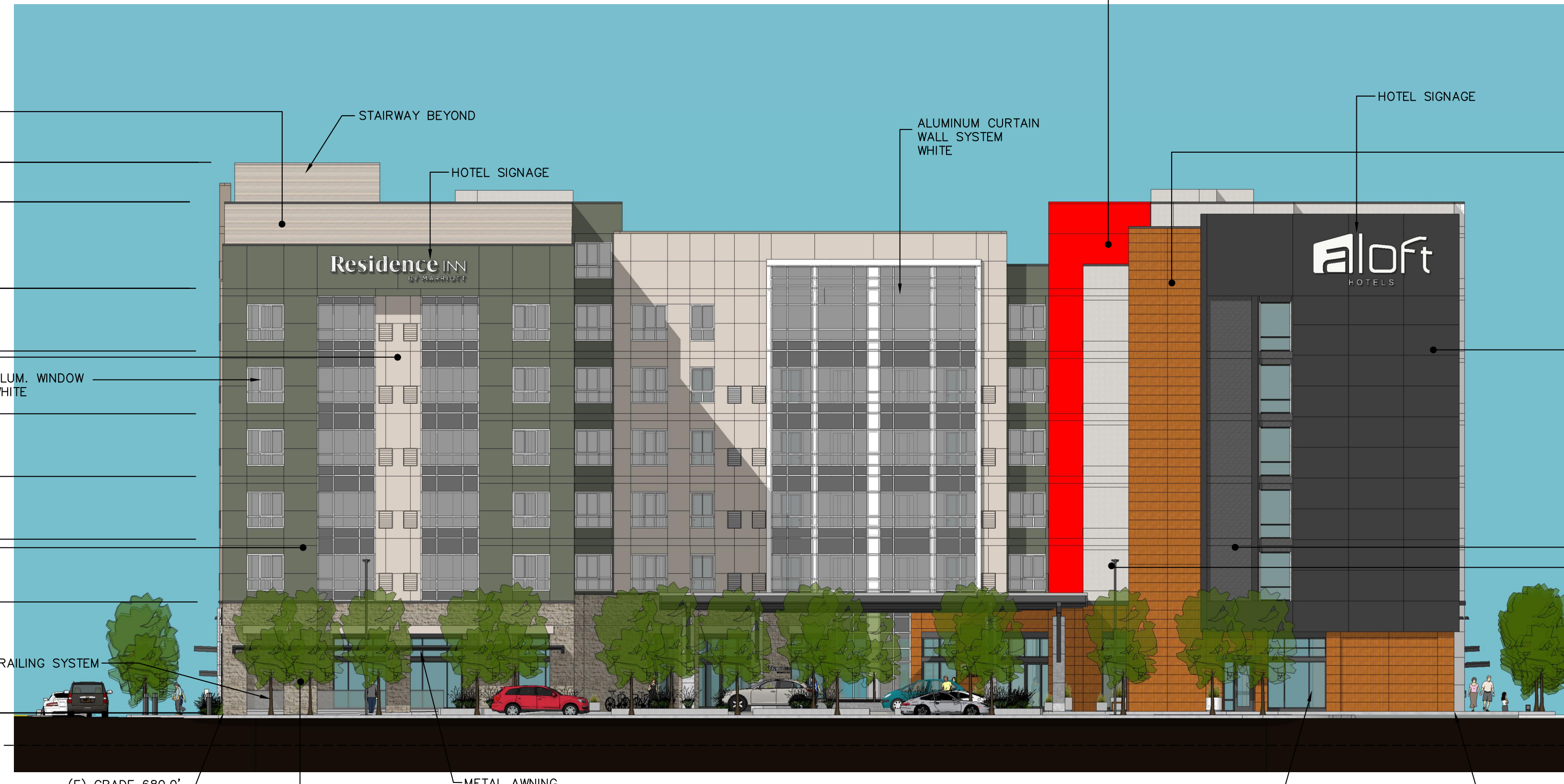
ALUMINUM COMPOSITE PANEL SYSTEM  
TWILIGHT GRAY - SMOOTH

ALUMINUM COMPOSITE PANEL SYSTEM  
ROSEMARY - SMOOTH

CULTURED STONE VENEER  
BIRCH LEDGE CUT - ELDORADO STONE



89'-3"  
14'-0"  
10'-2"  
10'-2"  
10'-2"  
10'-2"  
10'-2"  
10'-2"  
18'-0"  
T.O. PARAPET  
ROOF  
6TH FL.  
5TH FL.  
4TH FL.  
3RD FL.  
2ND FL.  
1ST FL. 681.0'  
AVERAGE EXISTING GRADE 675.75'



ALUMINUM COMPOSITE PANEL SYSTEM  
RED - SMOOTH

SIMULATED WOOD VENEER PANEL SYSTEM  
NICHHA - VINTAGE WOOD - CEDAR 18\"/>

ALUMINUM COMPOSITE PANEL SYSTEM  
DARK GRAY - SMOOTH

ALUMINUM COMPOSITE PANEL SYSTEM  
DARK GRAY - TEXTURED

ALUMINUM COMPOSITE PANEL SYSTEM  
OFF WHITE - TEXTURED

**HOTEL - NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"

ALUMINUM STOREFRONT SYSTEM  
MEDIUM BRONZE FINISH.

F. GRADE 680.3'

AVERAGE EXISTING GRADE 675.75'

(E) GRADE 681.5'

81'-0"  
12'-2"  
10'-2"  
10'-2"  
10'-2"  
10'-2"  
10'-2"  
10'-2"  
18'-0"  
T.O. PARAPET  
ROOF  
6TH FL.  
5TH FL.  
4TH FL.  
3RD FL.  
2ND FL.  
1ST FL. 681.0'  
AVERAGE EXISTING GRADE 675.75'



ALUMINUM COMPOSITE PANEL SYSTEM  
WHITE - SMOOTH

**HOTEL - WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

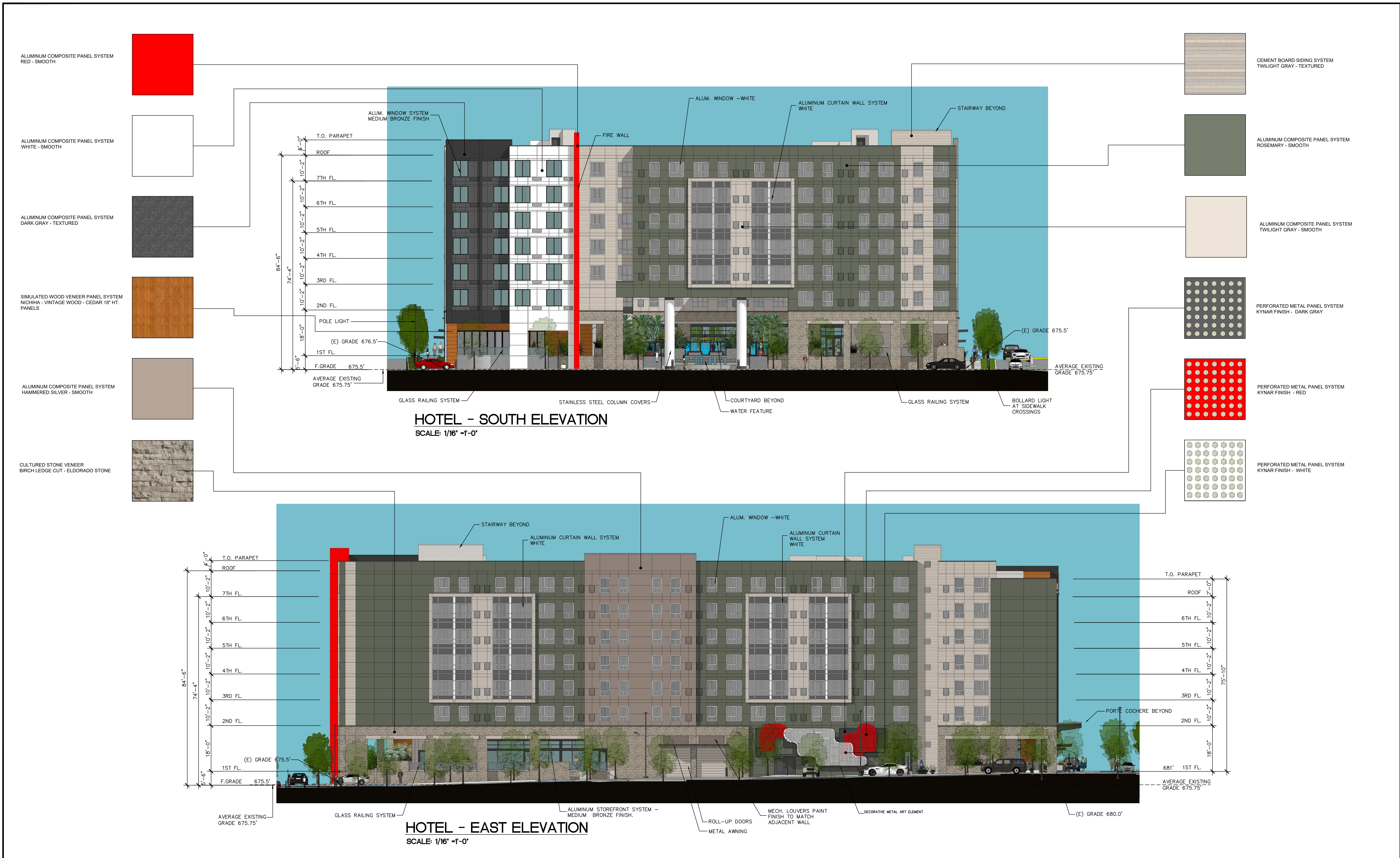
ALUMINUM STOREFRONT SYSTEM  
MEDIUM BRONZE FINISH.

F. GRADE 676.9'

AVERAGE EXISTING GRADE 675.75'

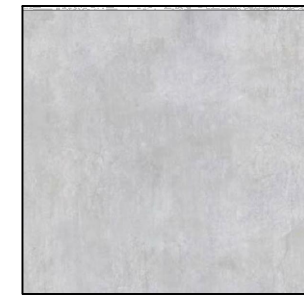
(E) GRADE 676.5'



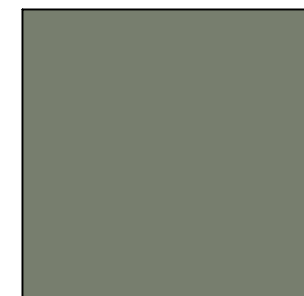




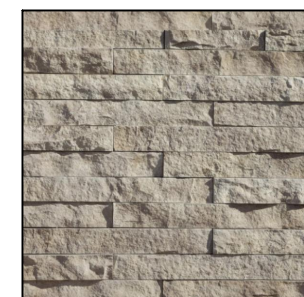
SMOOTH FINISHED CONCRETE  
PAINT FINISH - LIGHT GRAY



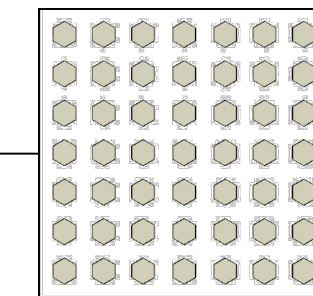
SMOOTH FINISHED CONCRETE  
PAINT FINISH - ROSEMARY



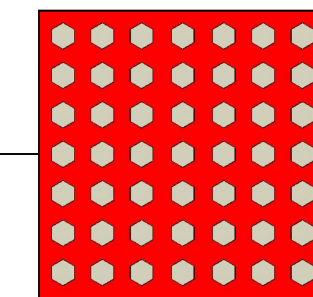
CULTURED STONE VENEER  
BIRCH LEDGE CUT - ELDORADO STONE



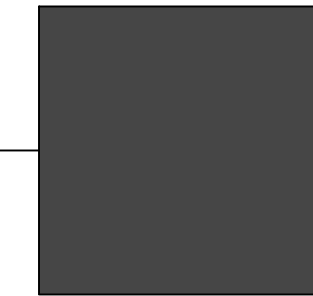
PERFORATED METAL PANEL SYSTEM  
KYNAR FINISH - WHITE



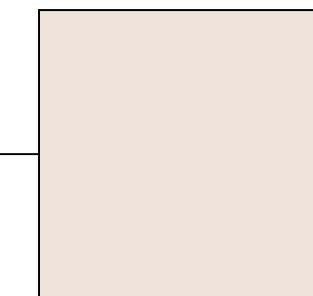
PERFORATED METAL PANEL SYSTEM  
KYNAR FINISH - RED



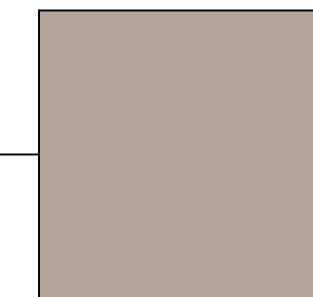
ALUMINUM COPING TYP.  
DARK GRAY



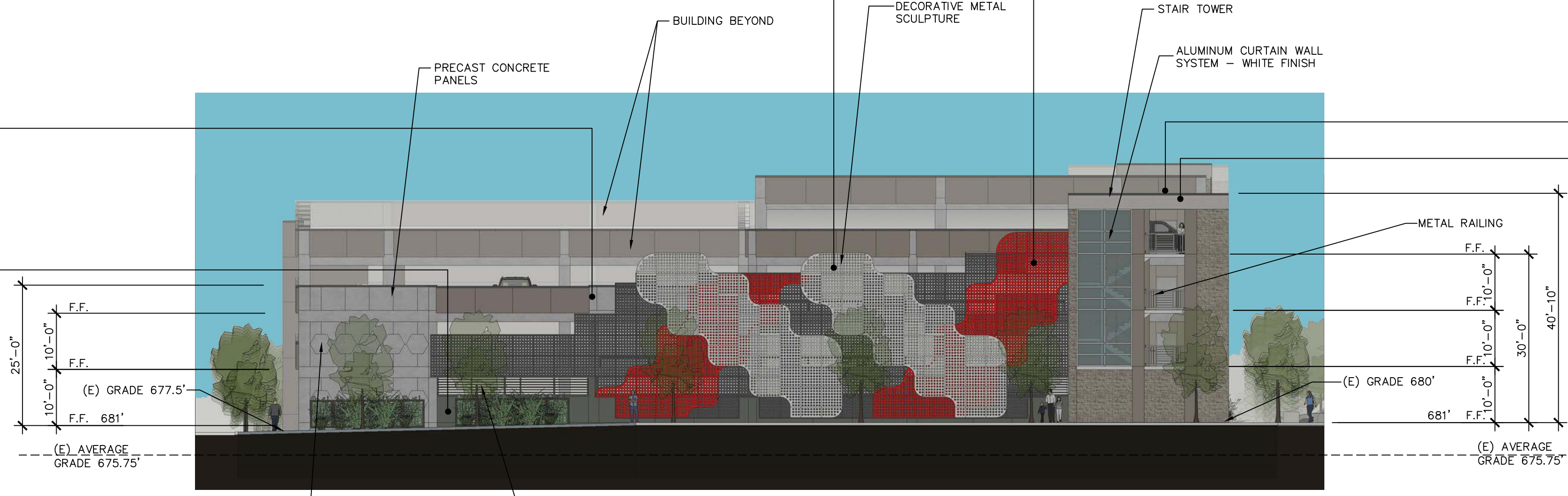
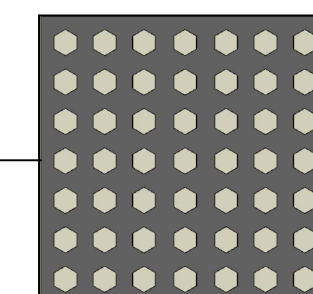
ALUMINUM COMPOSITE PANEL SYSTEM  
TWILIGHT SILVER - TEXTURED



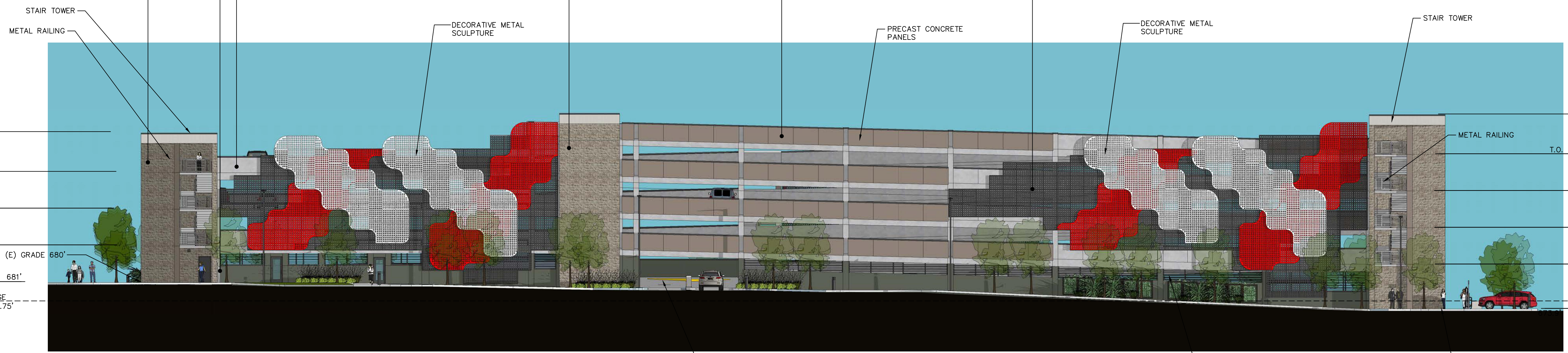
SMOOTH FINISHED CONCRETE PANEL SYSTEM  
PAINT FINISH - HAMMERED SILVER



PERFORATED METAL PANEL SYSTEM  
KYNAR FINISH - DARK GRAY



**GARAGE - NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



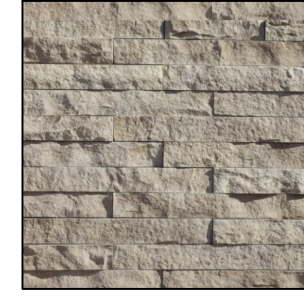
**GARAGE - WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



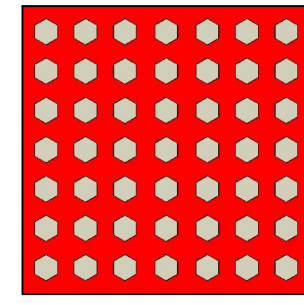
ALUMINUM COPING TYP.  
DARK GRAY



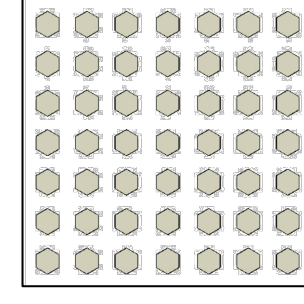
CULTURED STONE VENEER  
BIRCH LEDGE CUT - ELDORADO STONE



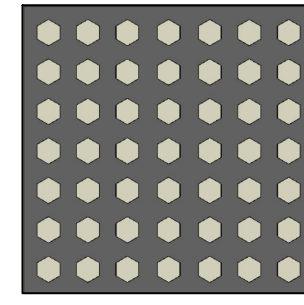
PERFORATED METAL PANEL SYSTEM  
KYNAR FINISH - RED



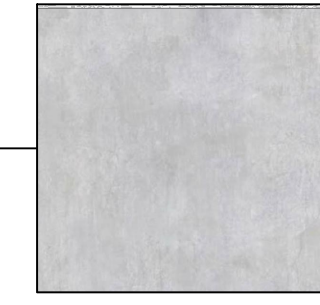
PERFORATED METAL PANEL SYSTEM  
KYNAR FINISH - WHITE



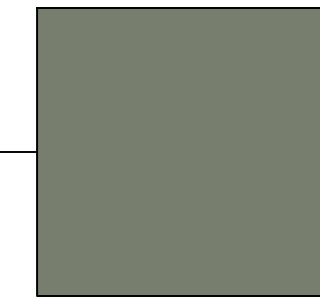
PERFORATED METAL PANEL SYSTEM  
KYNAR FINISH - DARK GRAY



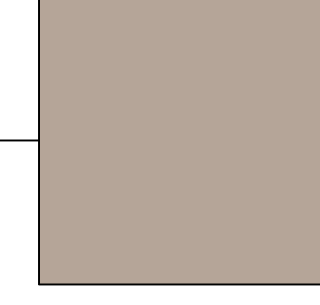
SMOOTH FINISHED CONCRETE  
PAINT FINISH - LIGHT GRAY



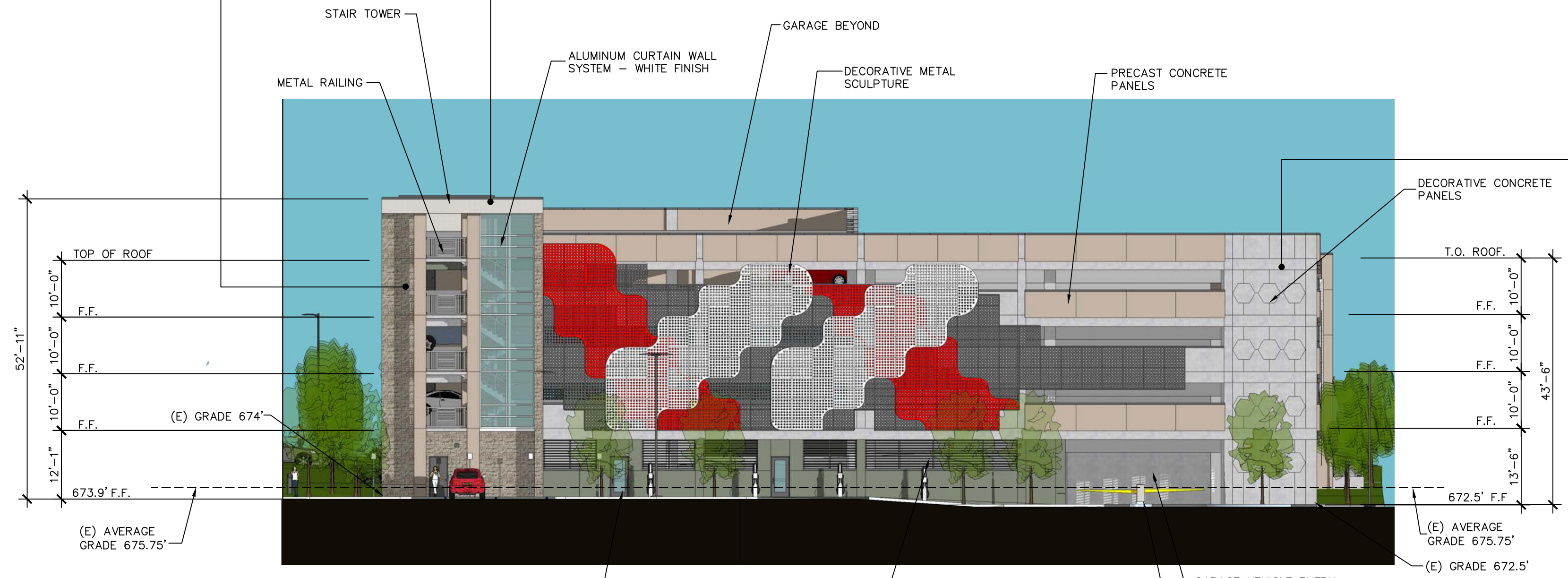
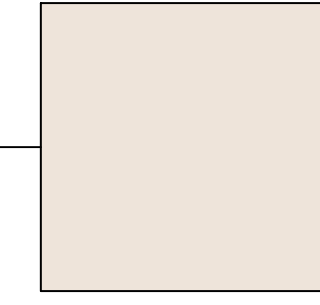
SMOOTH FINISHED CONCRETE  
PAINT FINISH - ROSEMARY



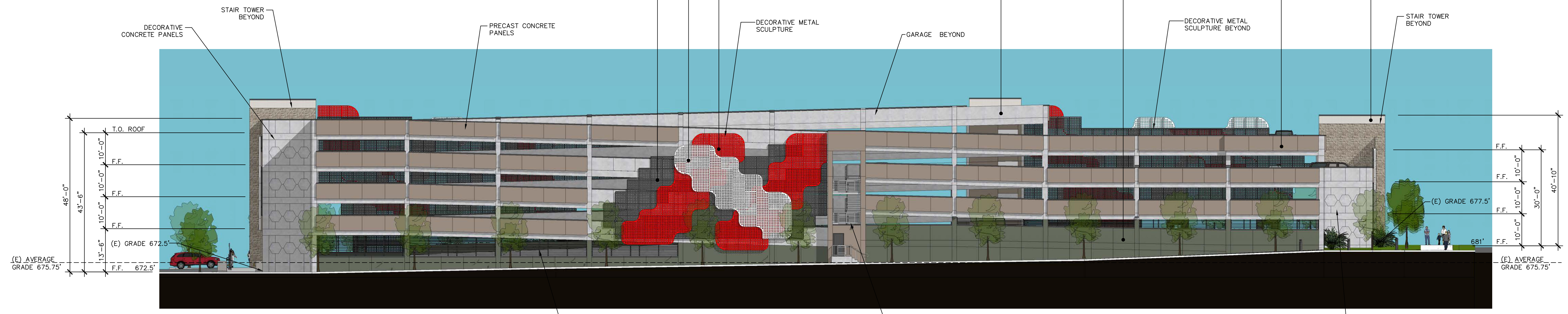
SMOOTH FINISHED CONCRETE PANEL SYSTEM  
PAINT FINISH - HAMMERED SILVER



ALUMINUM COMPOSITE PANEL SYSTEM  
TWILIGHT SILVER - TEXTURED



**GARAGE - SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"

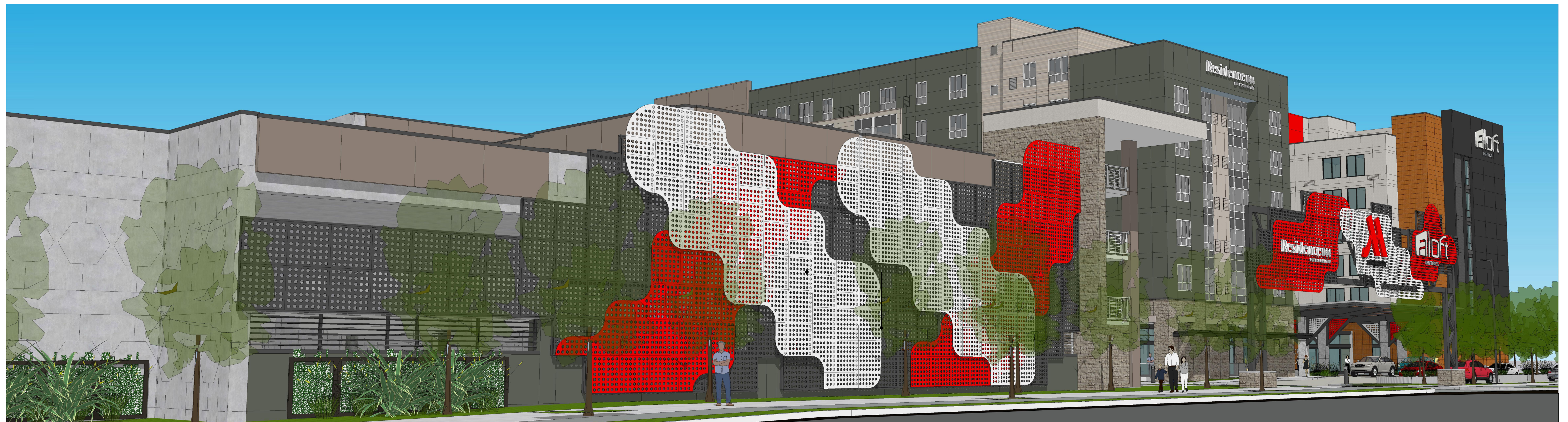


**GARAGE - EAST ELEVATION**  
SCALE: 1/16" = 1'-0"





**THORNTON AVENUE - STREET VIEW - LOOKING SOUTHEAST**  
SCALE: N.T.S.



**THORNTON AVENUE - STREET VIEW - LOOKING SOUTHWEST**  
SCALE: N.T.S.





PARKING GARAGE

GATEWAY ENTRANCE

HOTEL

**THORNTON AVENUE - VIEW LOOKING SOUTH**  
SCALE: N.T.S.



HOTEL

PARKING GARAGE

**MARRIOTT DRIVE - VIEW LOOKING NORTH**  
SCALE: N.T.S.

**ARCHITECTURAL  
DIMENSIONS**

801 Ygnacio Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 • FAX. 510.463.8395

PROJECT INFO.  
 △ RESPONSE TO CITY COMMENTS 9/4/2023.  
 REVISED SOUTH ELEV. OF GARAGE  
 △ REVISED HOTEL DROP OFF AREA

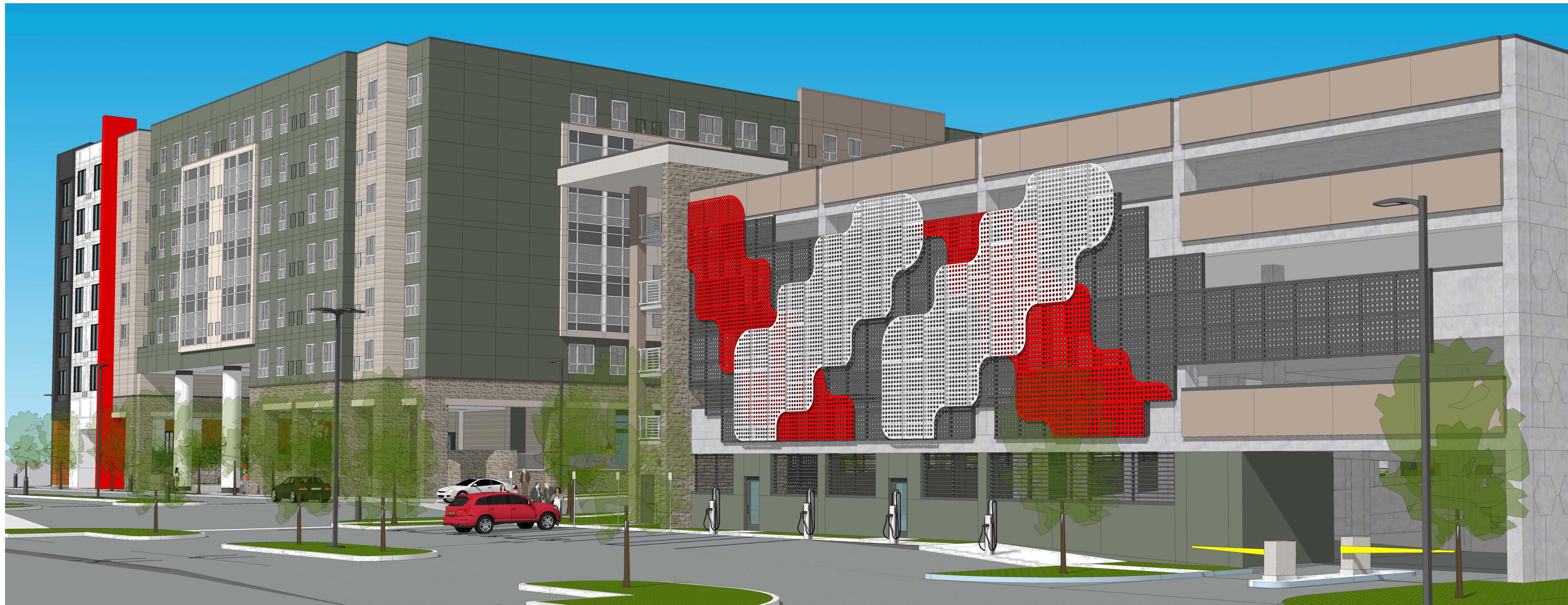
**MARRIOTT - ALOFT AND RESIDENCE INN**  
**2500 NORTH HOLLWOOD WAY**  
**BURBANK, CA**

THORNTON AVE. AND MARRIOTT DRIVE VIEWS

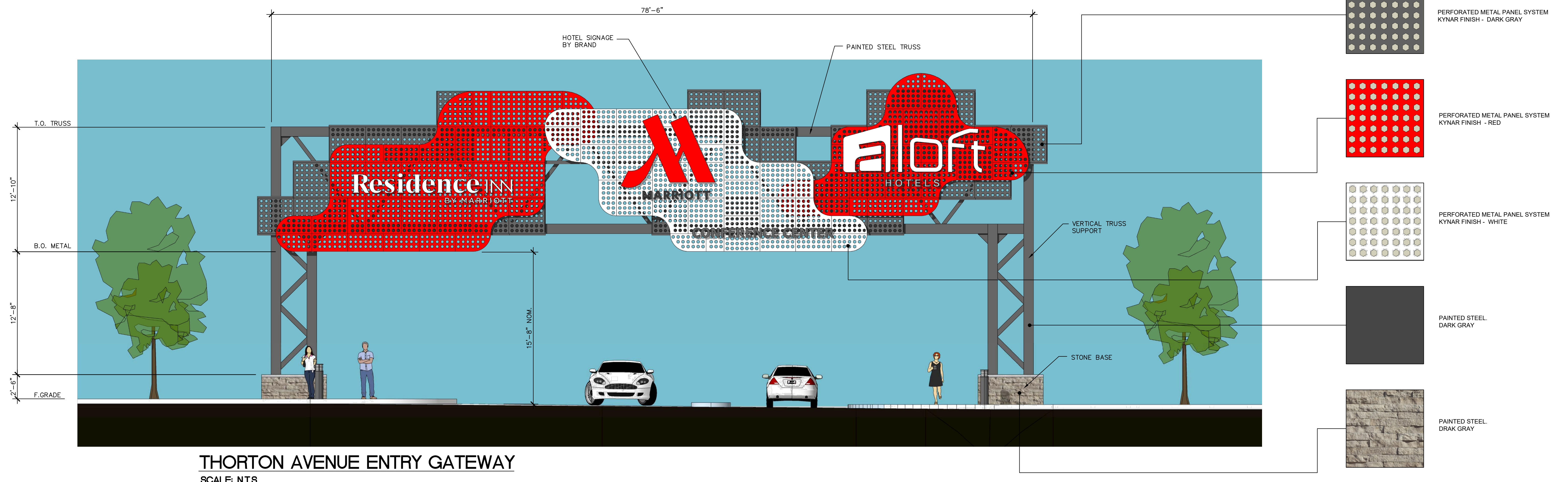
JOB NO.  
**AWH04**  
DATE:  
**02/29/2024**

DRAWING NO.  
**DR9.1**





MARRIOTT DRIVE - VIEW LOOKING NORTH WEST  
SCALE: N.T.S.



THORTON AVENUE ENTRY GATEWAY  
SCALE: N.T.S.





**MARRIOTT DRIVE - VIEW LOOKING NORTH WEST**  
SCALE: N.T.S.



**MARRIOTT DRIVE - VIEW LOOKING AT COURTYARD ENTRY**  
SCALE: N.T.S.



**PORTE COCHERE - VIEW LOOKING EAST**  
SCALE: N.T.S.



**WATER FEATURE AT COURTYARD**  
SCALE: N.T.S.



POOL ENCLOSURE WALL

SOUTH ENTRY TO ALOFT

CIRCULATION RAMP

RAISED PLANTERS

TWO STORY COLUMNS

POOL

SOUTH ENTRY TO RESIDENCE INN

CIRCULATION RAMP

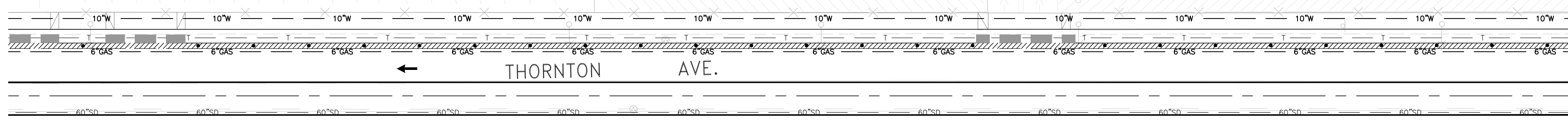
RAISED PLANTERS

WATER FEATURE  
PUBLIC ART ELEMENT



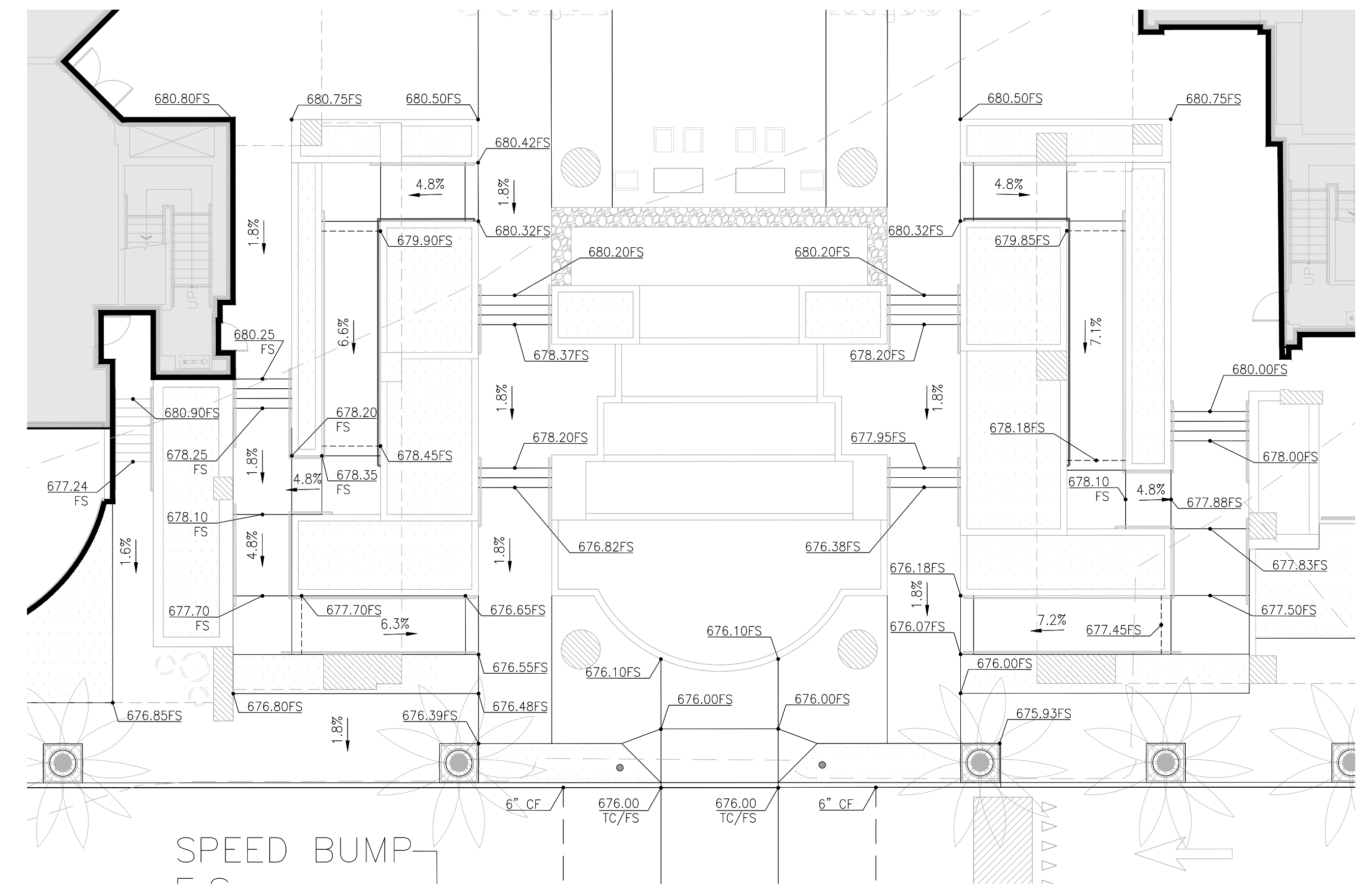
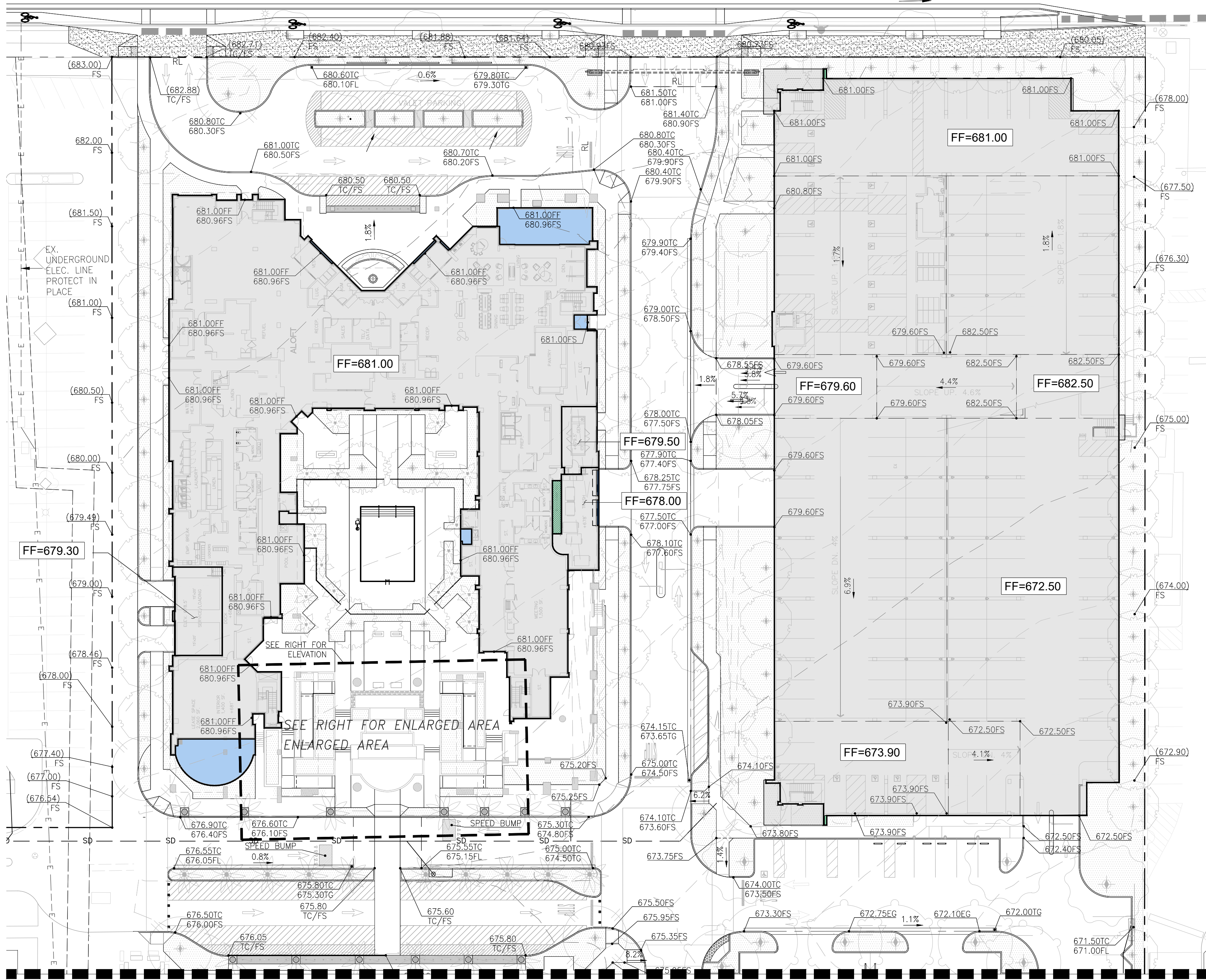
**COURTYARD VIEW**  
SCALE: N.T.S.





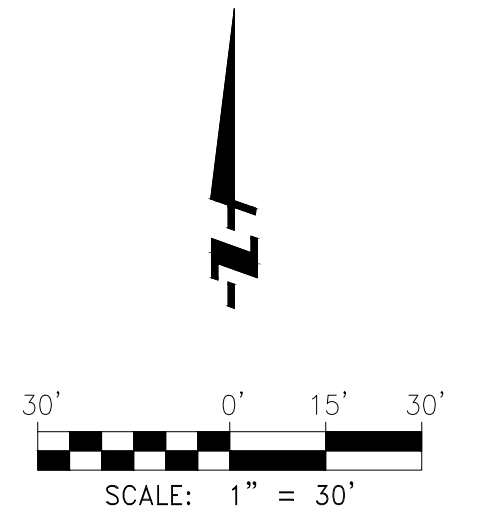
**LEGEND**

---	PROPERTY LINE/ RIGHT-OF-WAY	CB	CATCH BASIN	ROW	RIGHT-OF-WAY
---	LIMIT OF GRADING	CL	CENTERLINE	TC	TOP OF CURB
---	PROPOSED STORM DRAIN	FF	FINISHED FLOOR	TG	TOP OF GRATE
---	EXISTING STORM DRAIN	FL	FLOWLINE	TW	TOP OF WALL
---	WALL	FS	FINISHED SURFACE	TYP	TYPICAL
X.X%	SLOPE PERCENTAGE	HP	HIGHPOINT	UNO	UNLESS NOTED OTHERWISE
---	SURFACE SHEET FLOW	INV	INVERT		
---	PLANTER	PL	PROPERTY LINE		
					PROPOSED CURB RAMP
					24" WIDE CURB SLOT



MATCHLINE - SEE SHEET C2.0

CONCEPTUAL SITE PRECISE GRADING PLAN

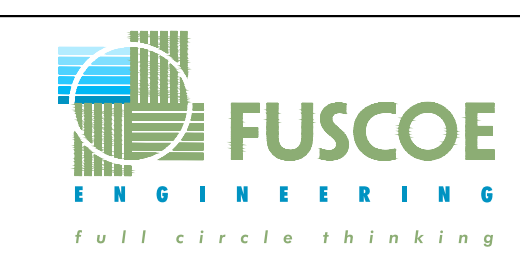


**ARCHITECTURAL**  
**DIMENSIONS**

801 Ygnacion Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 • FAX. 510.463.8395

**PROJECT INFO.**  
 ▲ RESPONSE TO CITY COMMENTS 9/4/2023, UPDATED GRADING PLAN  
 ▲ RESPONSE TO CITY COMMENTS 03/06/2024, UPDATED GRADING PLAN  
 ▲ RESPONSE TO CITY COMMENTS 05/31/2024, UPDATED OFFSITE PLANS

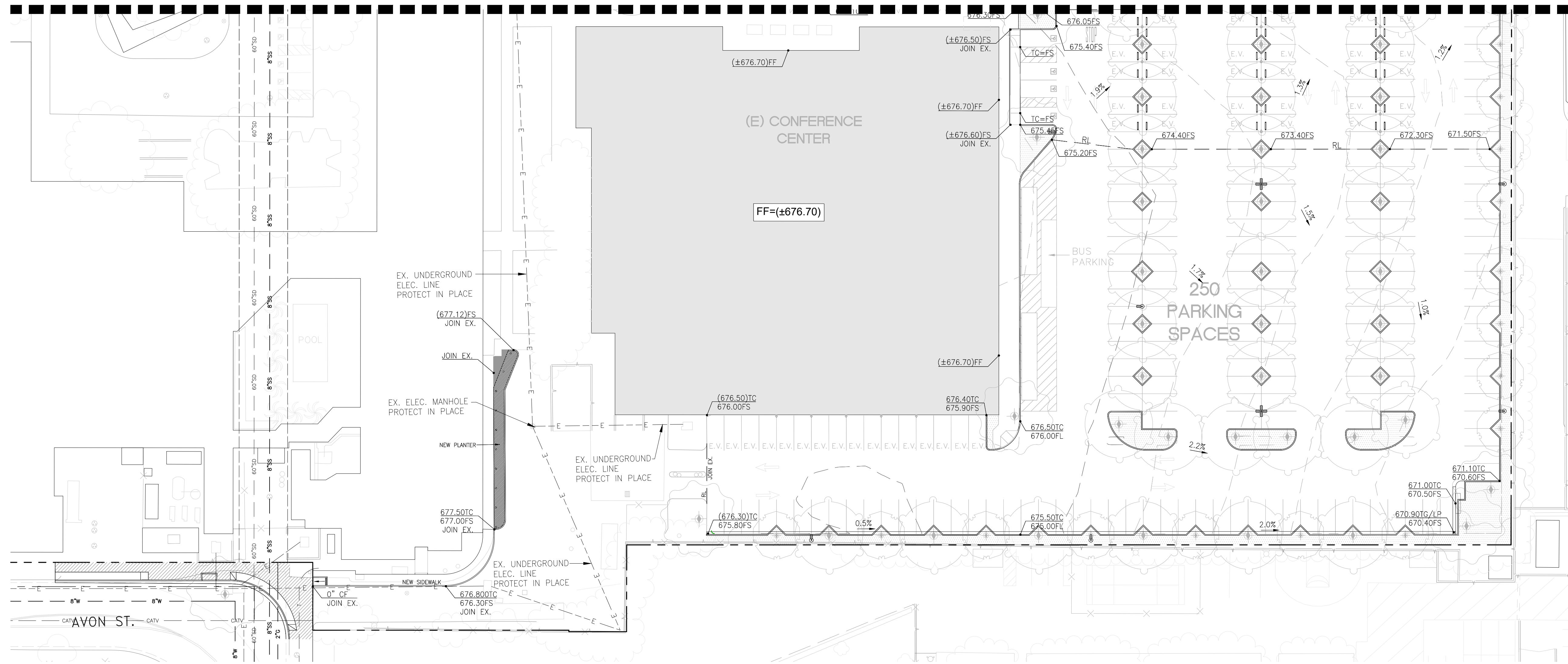
**MARRIOTT - ALOFT AND RESIDENCE INN**  
**2500 NORTH HOLLWOOD WAY**  
**BURBANK, CA**



JOB NO. <b>AWH04</b>	DRAWING NO.
DATE. <b>09/09/2024</b>	<b>C1.0</b>



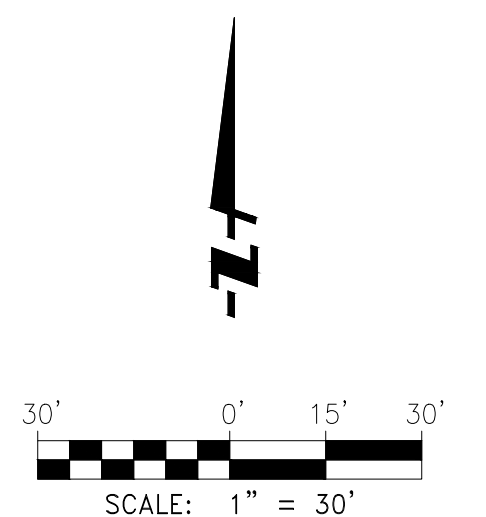
# MATCHLINE - SEE SHEET C1.0



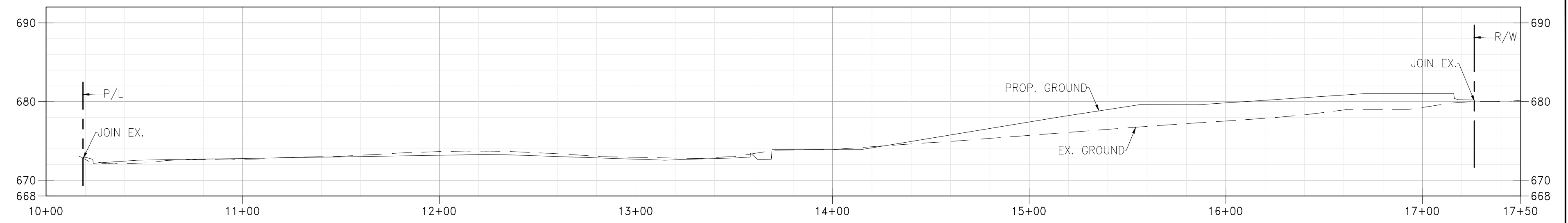
## LEGEND

	PROPERTY LINE/ RIGHT-OF-WAY	CB	CATCH BASIN	ROW	RIGHT-OF-WAY
	LIMIT OF GRADING	CL	CENTERLINE	TC	TOP OF CURB
	PROPOSED STORM DRAIN	FF	FINISHED FLOOR	TG	TOP OF GRATE
	EXISTING STORM DRAIN	FL	FLOWLINE	TW	TOP OF WALL
	WALL	FS	FINISHED SURFACE	TYP	TYPICAL
	SLOPE PERCENTAGE	HP	HIGHPOINT	UNO	UNLESS NOTED OTHERWISE
	SURFACE SHEET FLOW	INV	INVERT		PROPOSED CURB RAMP
	PLANTER	RL	PROPERTY LINE		24" WIDE CURB SLOT

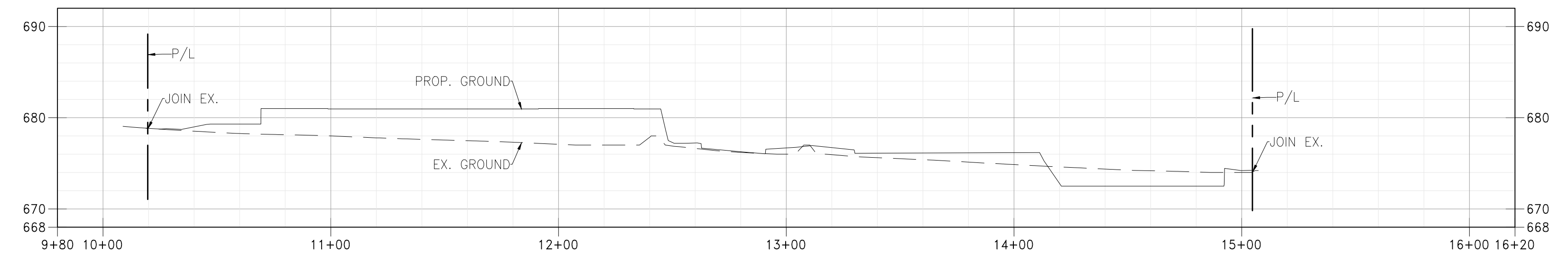
## CONCEPTUAL SITE PRECISE GRADING PLAN



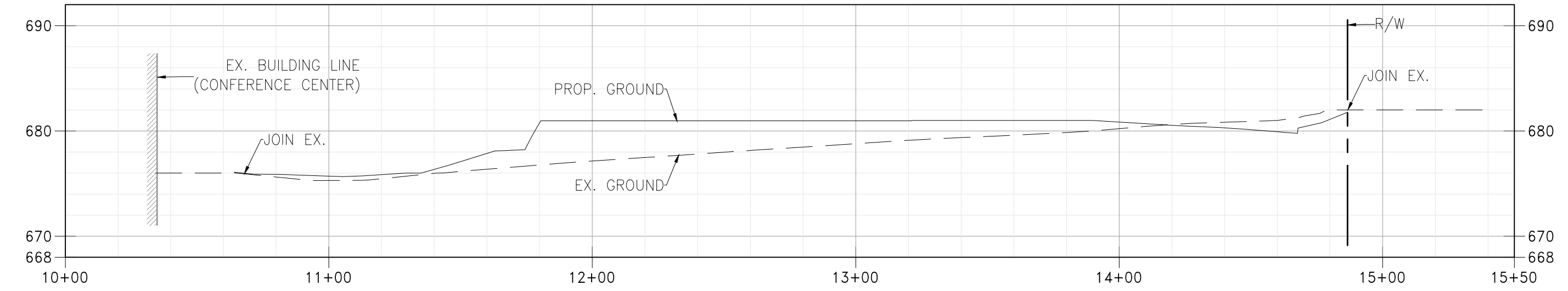




SECTION "A"  
SCALE: H 1" = 40'  
V 1" = 10'



SECTION "B"  
SCALE: H 1" = 40'  
V 1" = 10'



SECTION "C"  
SCALE: H 1" = 40'  
V 1" = 10'

LEGEND

- CUT
- FILL
- NATURAL TERRAIN/NON-DISTURBED AREA
- STREET
- BUILDING PAD
- UNDERGROUND DETENTION BASIN
- EX.      EXISTING
- P/L      PROPERTY LINE
- PROP.    PROPOSED
- ROW      RIGHT-OF-WAY

EARTHWORK

DESCRIPTION	CUT (CY)	FILL (CY)
MASS EXCAVATION	1,825	10,565
UNDERGROUND DETENTION BASIN (20'X200'X5')	740	0
<b>TOTAL</b>	<b>2,565</b>	<b>10,565</b>
<b>IMPORT</b>	<b>8,000</b>	

CONCEPTUAL SITE EARTHWORK STUDY

**ARCHITECTURAL**  
**DIMENSIONS**

801 Ygnacio Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 • FAX. 510.463.8395

PROJECT INFO.  
RESPONSE TO CITY COMMENTS 9/4/2023  
ADDED NEW SHEET FOR CONCEPTUAL SITE  
EARTHWORK STUDY AND CROSSE SECTIONS

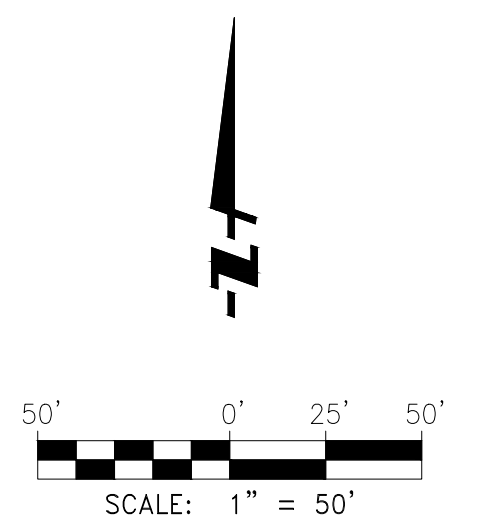
**MARRIOTT - ALOFT AND RESIDENCE INN**  
**2500 NORTH HOLLWOOD WAY**  
**BURBANK, CA**



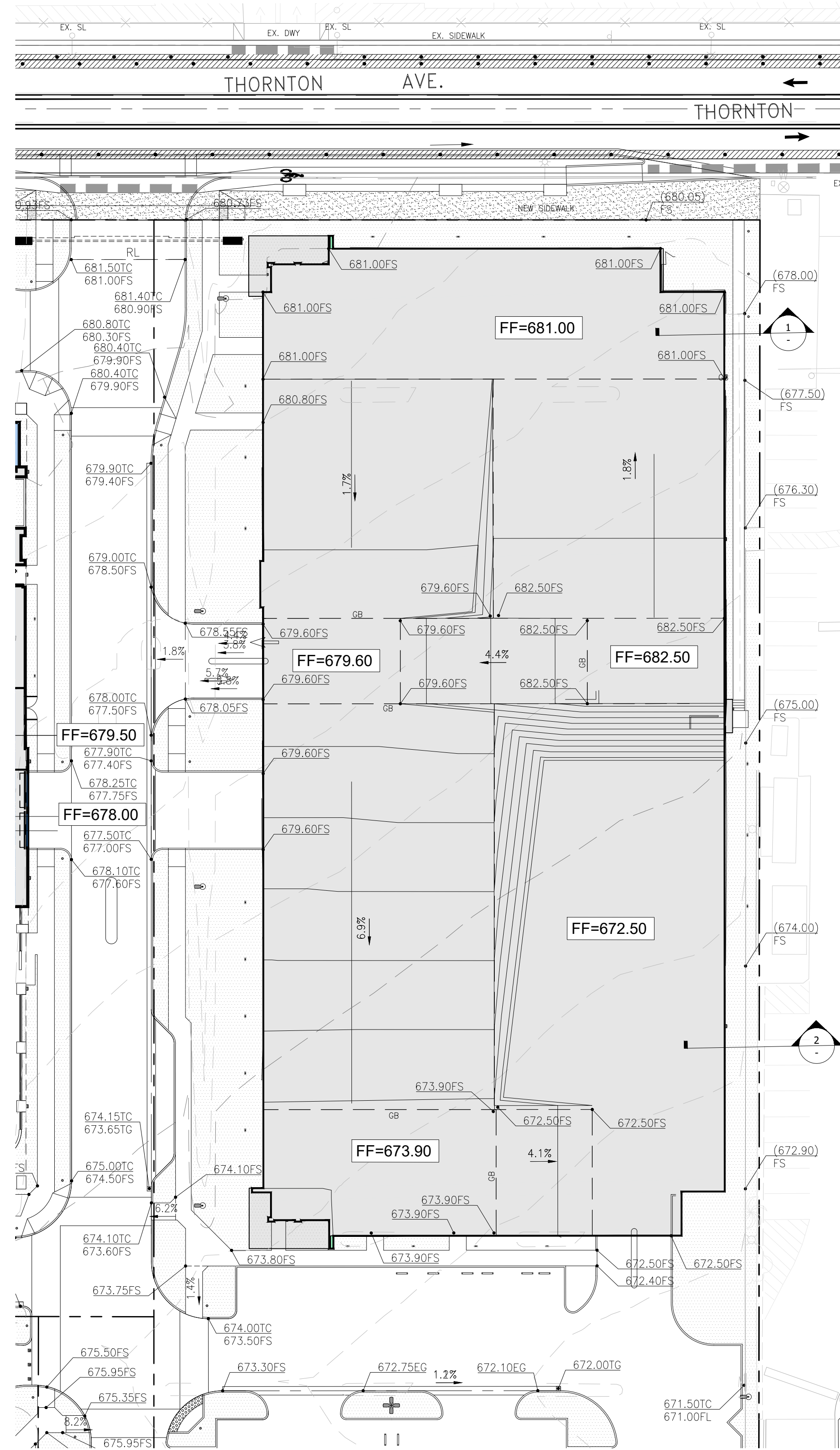
JOB NO.  
**AWH04**  
DATE.  
**09/09/2024**

DRAWING NO.

**C2.0**

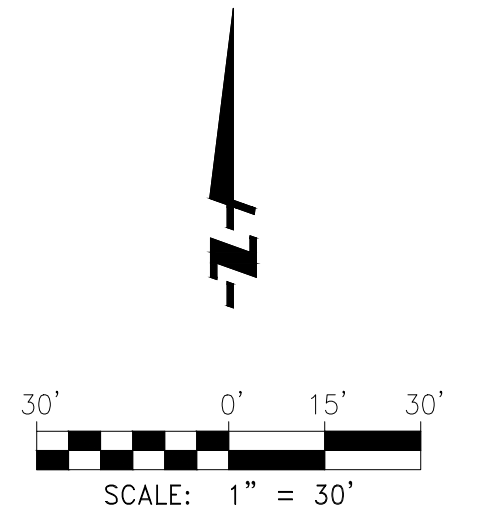
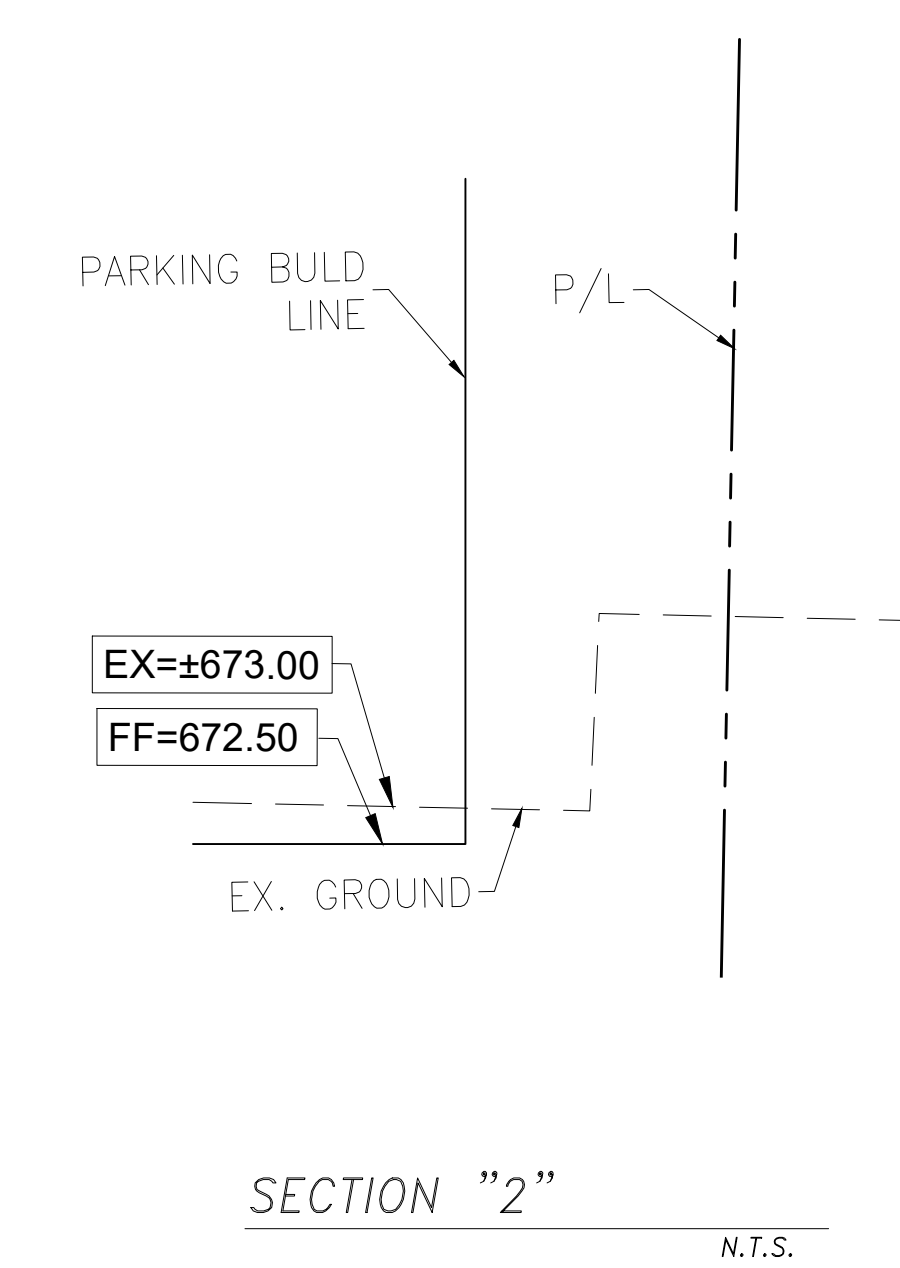
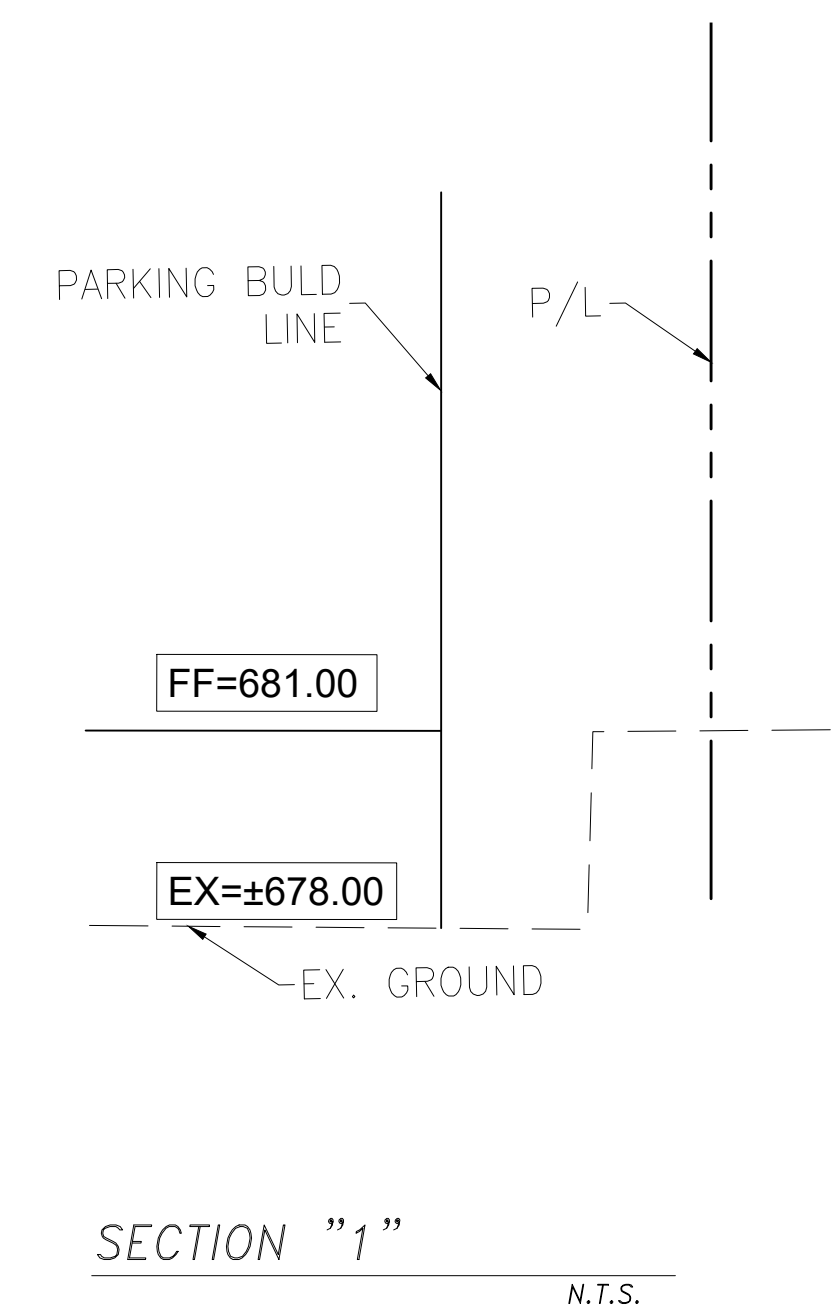






**LEGEND**

---	PROPERTY LINE/ RIGHT-OF-WAY	CB	CATCH BASIN	ROW	RIGHT-OF-WAY
---	LIMIT OF GRADING	CL	CENTERLINE	TC	TOP OF CURB
---	PROPOSED STORM DRAIN	FF	FINISHED FLOOR	TG	TOP OF GRAB
---	EXISTING STORM DRAIN	FL	FLOWLINE	TW	TOP OF WALL
---	WALL	FS	FINISHED SURFACE	TYP	TYPICAL
X.X%	SLOPE PERCENTAGE	HP	HIGHPOINT	UNO	UNLESS NOTED OTHERWISE
---	SURFACE SHEET FLOW	INV	INVERT		
---	PLANTER	P	PROPERTY LINE		
					PROPOSED CURB RAMP
					24" WIDE CURB SLOT



# CONCEPTUAL GARAGE STRUCTURAL EXCAVATION PLAN

**ARCHITECTURAL  
DIMENSIONS**

801 Ygnacio Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 • FAX. 510.463.8395

PROJECT INFO.

**MARRIOTT - ALOFT AND RESIDENCE INN**  
2500 NORTH HOLLWOOD WAY  
BURBANK, CA



JOB NO.  
**AWH04**  
DATE.  
**09/09/2024**

DRAWING NO.  
**C3.0**



LID AREA SUMMARY

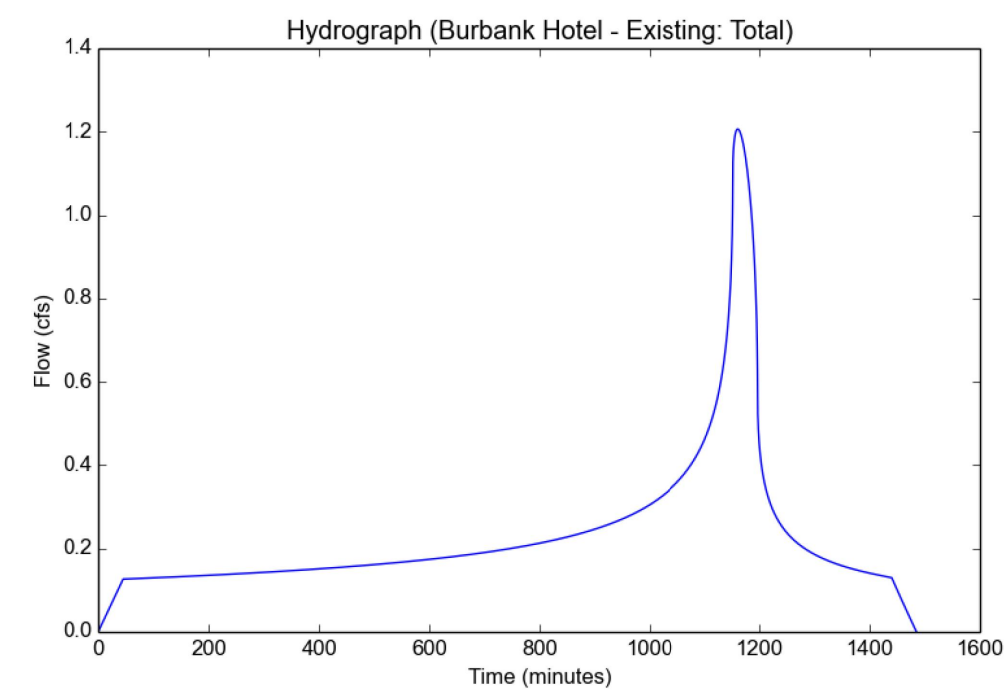
	TOTAL AREA (ACRES)	PERVIOUS AREA (ACRES)	PERCENT IMPERVIOUS
EXISTING CONDITIONS	6.16	0.48	92.18%
PROPOSED CONDITIONS	6.16	0.85	86.26%

Peak Flow Hydrologic Analysis

File location: F:\Projects\4147\001\Sandbox\Varand\230515 - LID Study\HydroCalc\Burbank Hotel - Existing - Total (85th Percentile).pdf  
Version: HydroCalc 1.0.2

Input Parameters	
Project Name	Burbank Hotel - Existing
Subarea ID	Total
Area (ac)	6.165
Flow Path Length (ft)	1600.0
Flow Path Slope (vft/hft)	0.015
85th Percentile Rainfall Depth (in)	1.1
Percent Impervious	0.9218
Soil Type	15
Design Storm Frequency	85th percentile storm
Fire Factor	0
LID	True

Output Results	
Modeled (85th percentile storm) Rainfall Depth (in)	1.1
Peak Intensity (in/hr)	0.2337
Undeveloped Runoff Coefficient (Cu)	0.1
Developed Runoff Coefficient (Cd)	0.8374
Time of Concentration (min)	45.04
Clear Peak Flow Rate (cfs)	1.2064
Burned Peak Flow Rate (cfs)	1.2064
24-Hr Clear Runoff Volume (ac-ft)	0.4694
24-Hr Clear Runoff Volume (cu-ft)	20445.2911

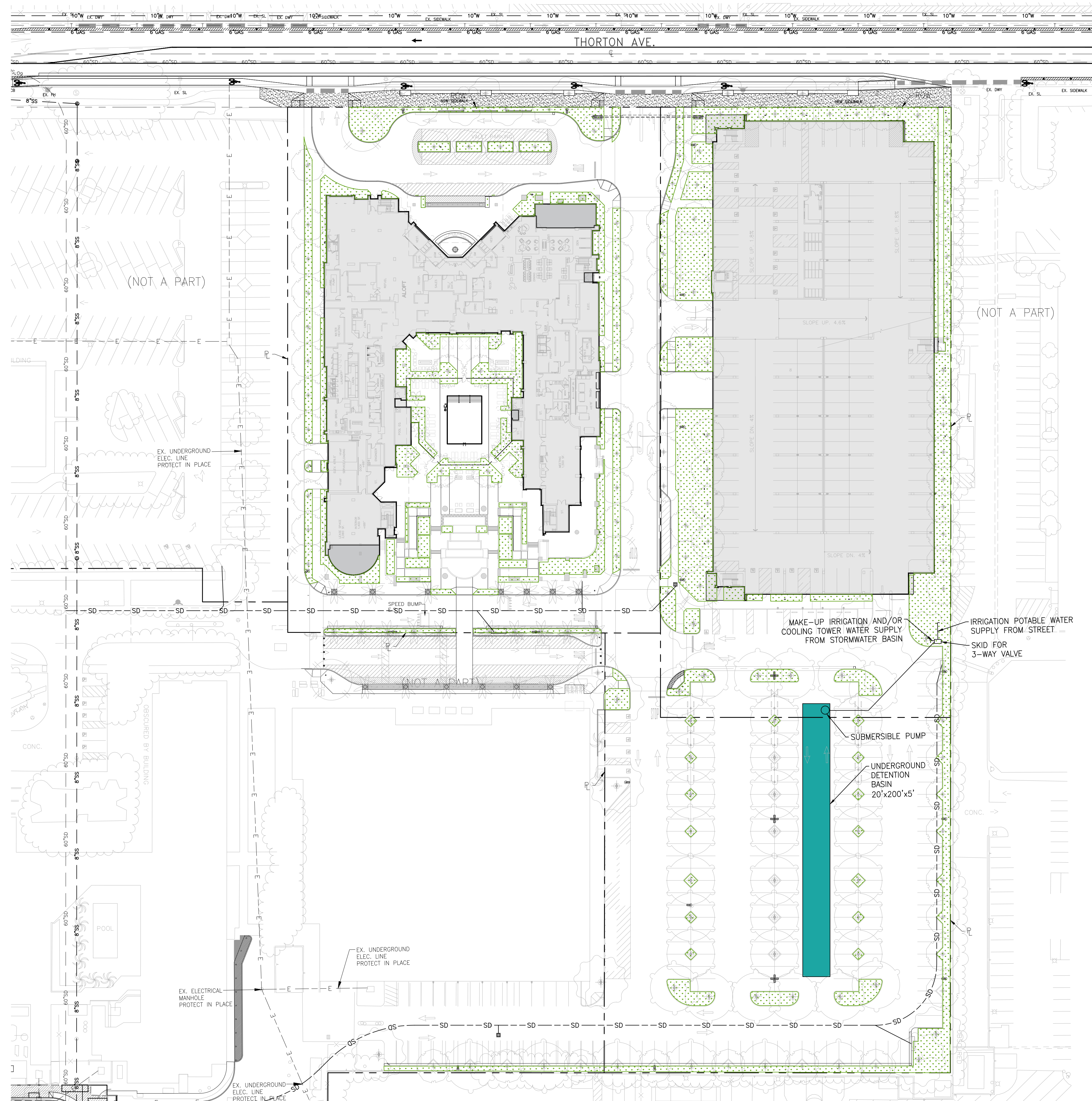
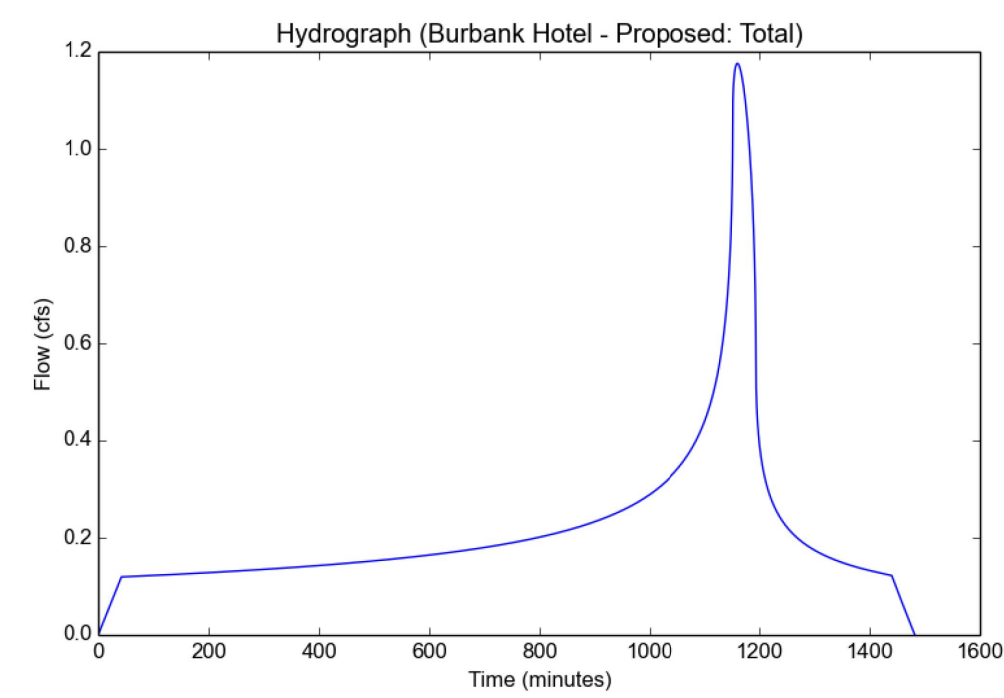


Peak Flow Hydrologic Analysis

File location: F:\Projects\4147\001\Support Files\Reports\SUSUMPH\HydroCalc\Burbank Hotel - Proposed - Total.pdf  
Version: HydroCalc 1.0.2

Input Parameters	
Project Name	Burbank Hotel - Proposed
Subarea ID	Total
Area (ac)	6.165
Flow Path Length (ft)	1200.0
Flow Path Slope (vft/hft)	0.01
85th Percentile Rainfall Depth (in)	1.1
Percent Impervious	0.8626
Soil Type	15
Design Storm Frequency	85th percentile storm
Fire Factor	0
LID	True

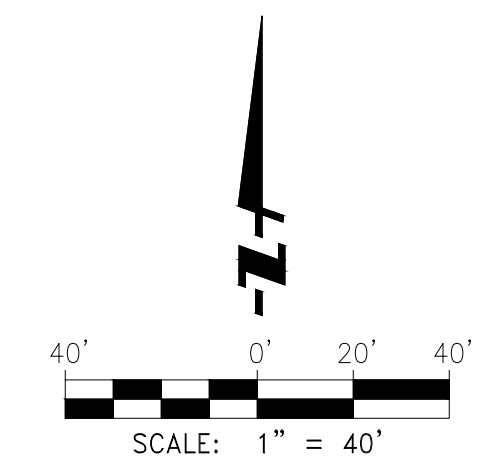
Output Results	
Modeled (85th percentile storm) Rainfall Depth (in)	1.1
Peak Intensity (in/hr)	0.2414
Undeveloped Runoff Coefficient (Cu)	0.1
Developed Runoff Coefficient (Cd)	0.7901
Time of Concentration (min)	42.0
Clear Peak Flow Rate (cfs)	1.1757
Burned Peak Flow Rate (cfs)	1.1757
24-Hr Clear Runoff Volume (ac-ft)	0.4428
24-Hr Clear Runoff Volume (cu-ft)	19288.9766



TOTAL Area (A)	268,554	ft <sup>2</sup>
Impervious Area (A <sub>i</sub> )	227,352	ft <sup>2</sup>
Undeveloped Area (A <sub>u</sub> )	0	ft <sup>2</sup>
Pervious Area (A <sub>p</sub> )	41,202	ft <sup>2</sup>
85th Percentile or 0.75 inch (P)	1.16	in
$V_{in} = (P/12 \text{ ft}) \times ((A_i)(0.9) + (A_p + A_u)(0.1))$	20,178	ft <sup>3</sup>
$K_{in,measured}$ (per geotechnical report) =	0.9	in/hr
Factor of Safety (FS) =	3	
$K_{in,design} = K_{in,measured} / FS =$	0.3	in/hr
Drawdown Time (T) =	96	hr
$K_{in} \text{ (ft/s)} =$	6.9444E-06	ft/s
$A_{min} = (V_{in} * 12 \text{ in/ft}) / (T * K_{in,design}) =$	8407	ft <sup>2</sup>
Adrywell = (Depth of Infiltration * CircumferenceRock + AreaRock <sub>bottom</sub> )	971	ft <sup>2</sup>
Design rate with infiltration area for flow (disposal) rate (k <sub>sat</sub> *Adrywell)	0.0067	ft <sup>3</sup> /s
Volume disposal rates:		
$V_{in,12} = K_{in} * 12 \text{ hrs} * 3600 \text{ s/hr}$	2330	ft <sup>3</sup>
$V_{in,24} = K_{in} * 24 \text{ hrs} * 3600 \text{ s/hr}$	72	ft <sup>3</sup>
$V_{well} = (S * A_{area,storage} * H_{in} * A_{area,rock} * 40\%)$	722	ft <sup>3</sup>
Drywells Hypothetically Used		
$V_{well,total} = V_{well} * \#Wells =$	4	2888
$V_{in,total} = V_{in,12} * \#Wells =$	288	ft <sup>3</sup>
$V_{in,required} =$	188	ft <sup>3</sup>
$V_{wells,system} = V_{well,total} + V_{in,total} + V_{in,treatment} =$	3364	ft <sup>3</sup>
Volume storage chamber required = $V_{in} - V_{wells,system}$	16,814	ft <sup>3</sup>

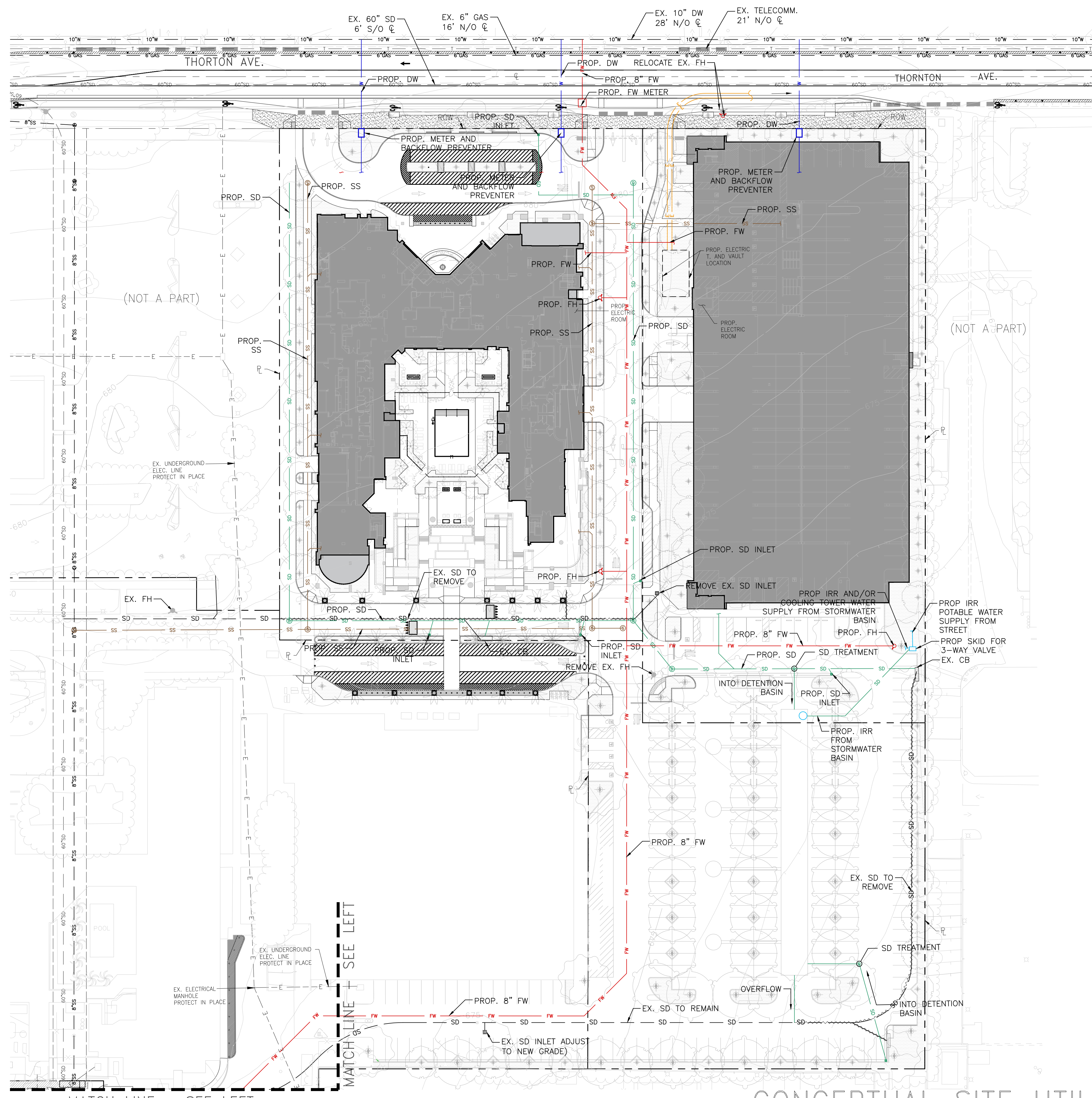
LEGEND

- CENTER LINE
- PROPERTY LINE / RIGHT OF WAY
- PERVIOUS AREA



CONCEPTUAL LID PLAN

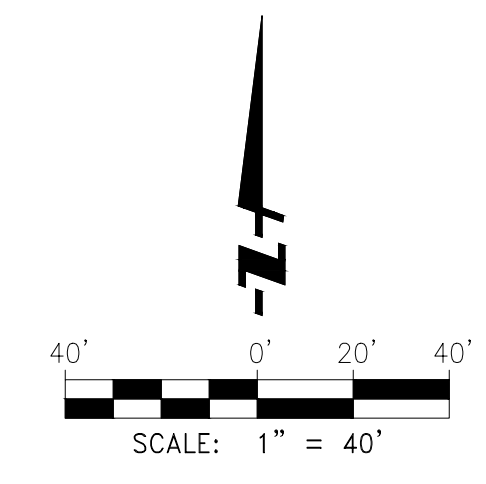
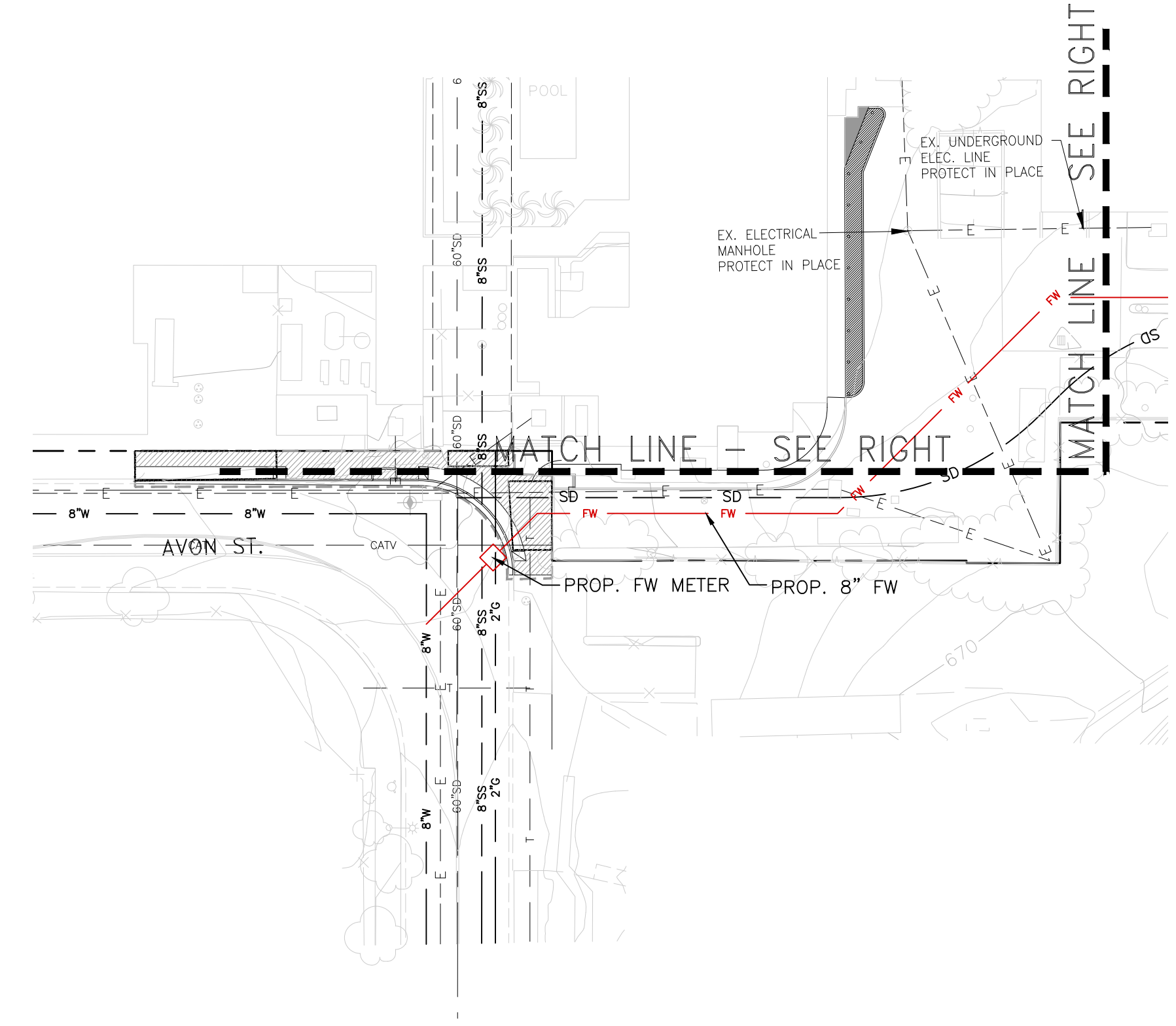




**LEGEND**

---	CENTERLINE
---	PROPERTY LINE / RIGHT-OF-WAY
---	PROPOSED STORM DRAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED DOMESTIC WATER
---	PROPOSED FIRE WATER
---	PROPOSED RECYCLED WATER
---	PROPOSED ELECTRICAL LINE
---	EXISTING STORM DRAIN
---	EXISTING SANITARY SEWER
---	EXISTING ELECTRICAL LINE
⊙	SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
⊕	CENTERLINE
⊕	PROPERTY LINE
---	RIGHT OF WAY
N/O	NORTH OF
S/O	SOUTH OF
CB	CATCH BASIN
SS	SANITARY SEWER
SD	STORM DRAIN
RW	RECLAIMED WATER
DW	DOMESTIC WATER
FW	FIRE WATER

NOTE:  
1. EXTENT OF AND PIPE INVERTS OF EXISTING ON-SITE STORM DRAIN SYSTEM TO BE VERIFIED IN THE FIELD POST ENTITLEMENT APPROVAL.



**CONCEPTUAL SITE UTILITY PLAN**

**ARCHITECTURAL  
DIMENSIONS**

801 Ygnacio Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 • FAX. 510.463.8395

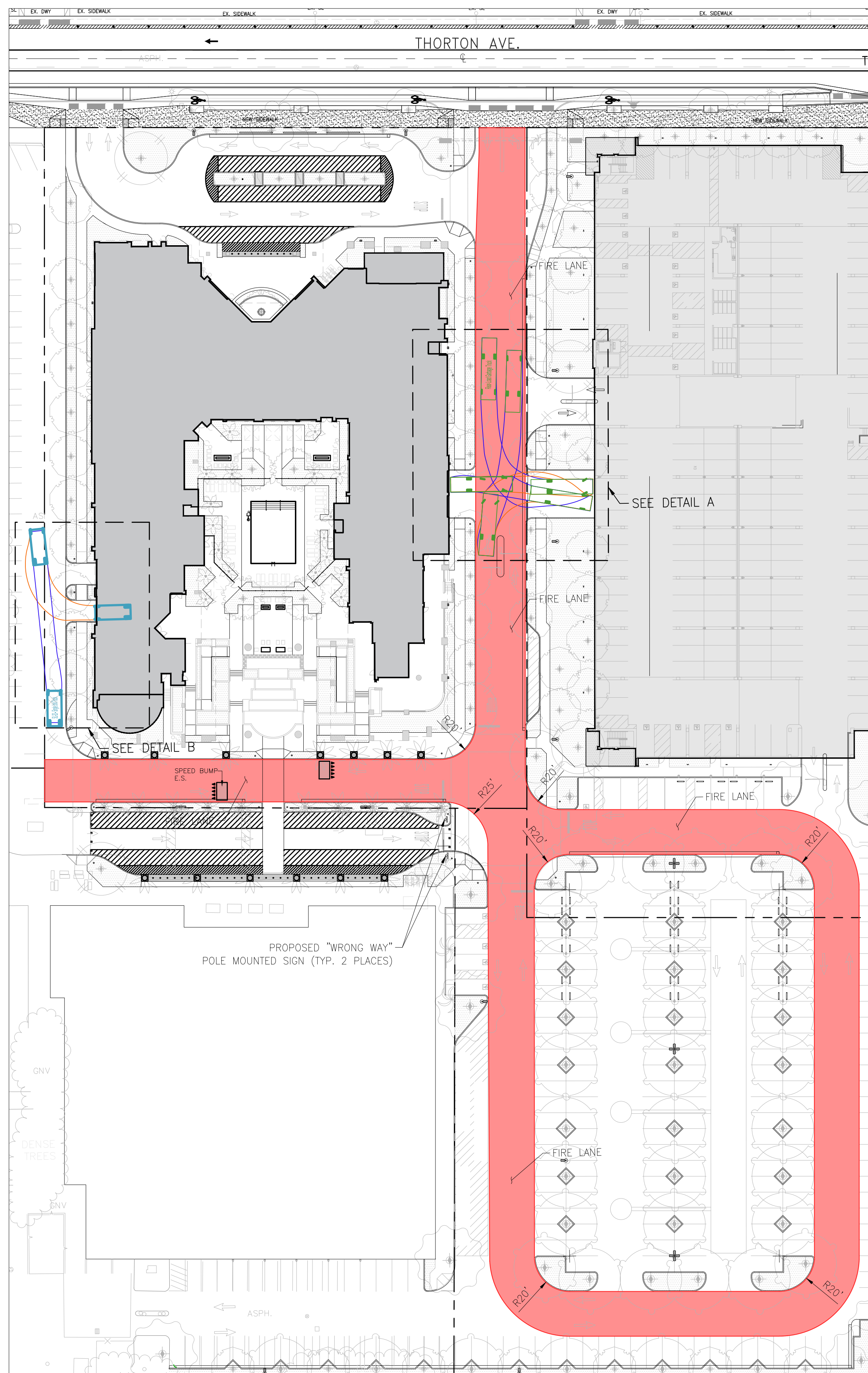
**PROJECT INFO.**  
1. RESPONSE TO CITY COMMENTS 9/4/2023, UPDATED GRADING PLAN  
2. RESPONSE TO CITY COMMENTS 03/06/2024  
UPDATED UTILITY PLAN - REMOVED PROPOSED RECLAIMED WATER LINE,  
ADDED FIRE WATER LINE AND FIRE HYDRANT  
3. RESPONSE TO CITY COMMENTS 05/31/2024, ADDED ELEC. INFORMATION TO THE PLAN

**MARRIOTT - ALOFT AND RESIDENCE INN  
2500 NORTH HOLLWOOD WAY  
BURBANK, CA**

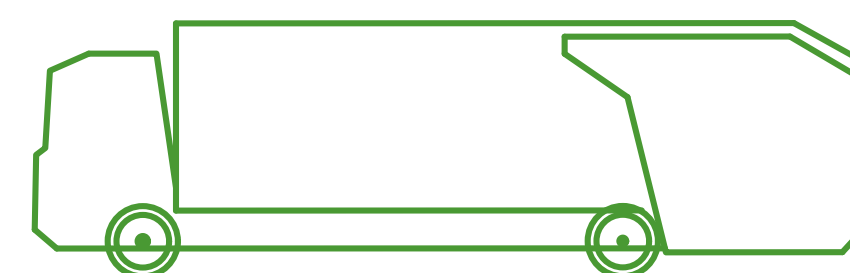
JOB NO.  
**AWH04**  
DATE.  
**09/09/2024**

DRAWING NO.  
**C5.0**

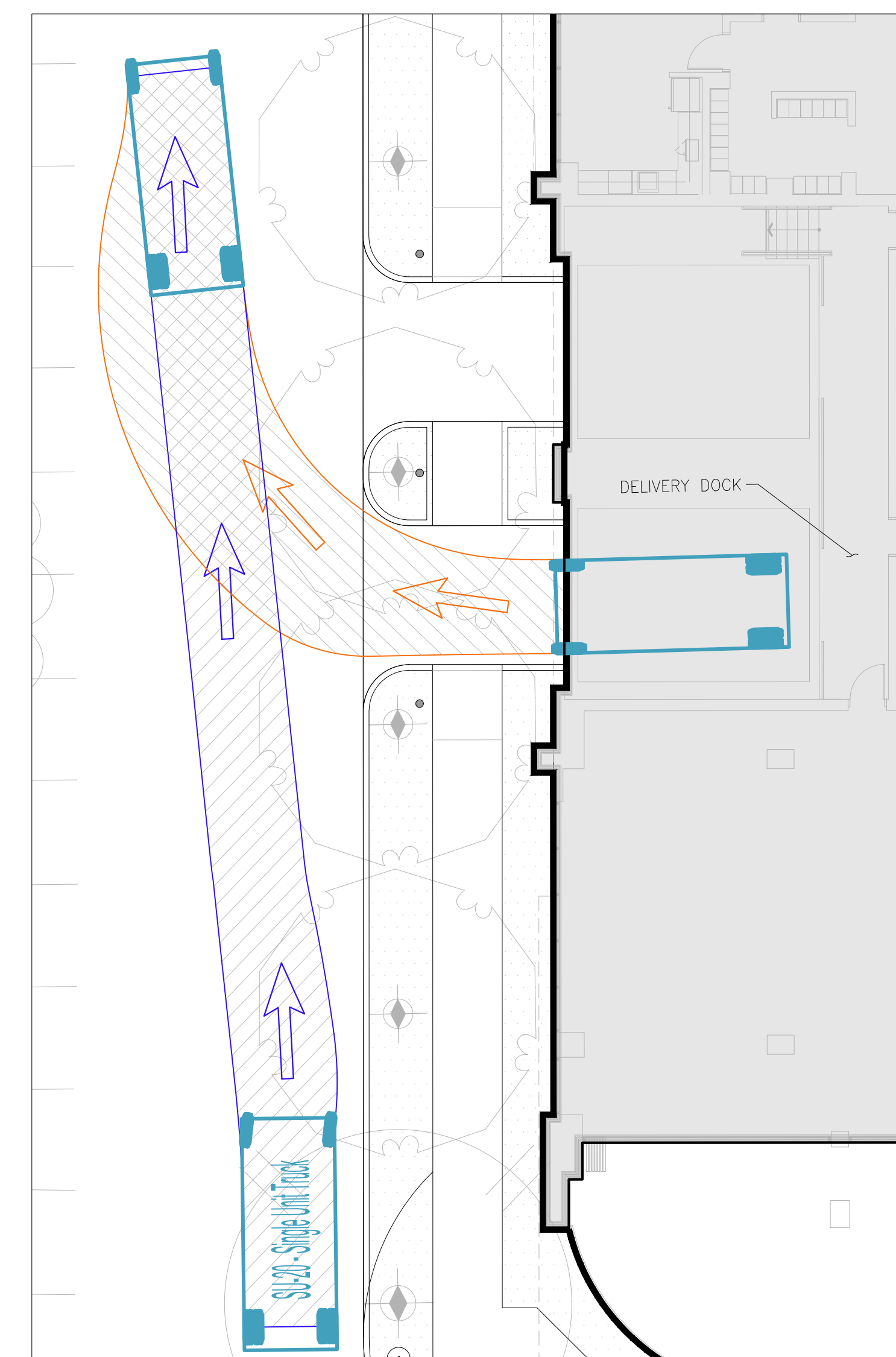




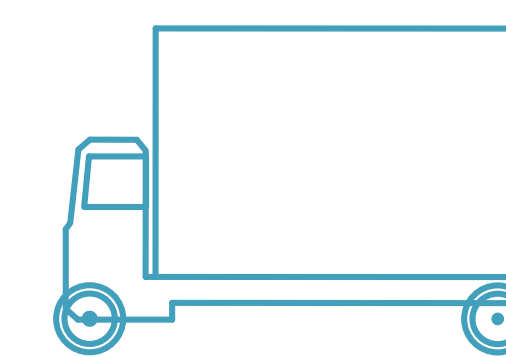
GARBAGE TRUCK TURNING RADIUS (A)  
1"=10'



REAR LOAD GARBAGE TRUCK:  
OVERALL LENGTH: 35 ft  
WHEELBASE: 20 ft  
OVERALL WIDTH: 8.38 ft  
OVERALL BODY HEIGHT: 10.55 ft  
MIN BODY GROUND CLEARANCE: 1 ft  
TRACK WIDTH: 8.38 ft



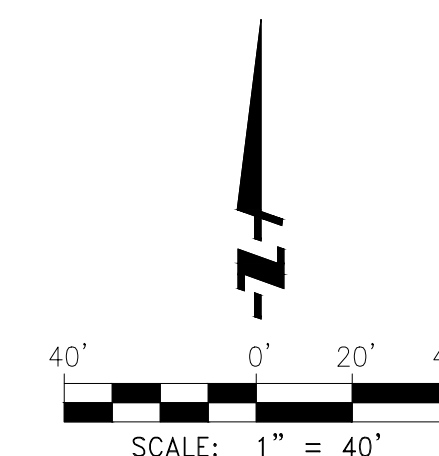
DELIVERY TRUCK TURNING RADIUS (B)  
1"=10'



DELIVERY TRUCK:  
OVERALL LENGTH: 20.4 ft  
WHEELBASE: 17 ft  
OVERALL WIDTH: 8 ft  
OVERALL BODY HEIGHT: 13.5 ft  
MIN BODY GROUND CLEARANCE: 1.37 ft  
TRACK WIDTH: 8 ft

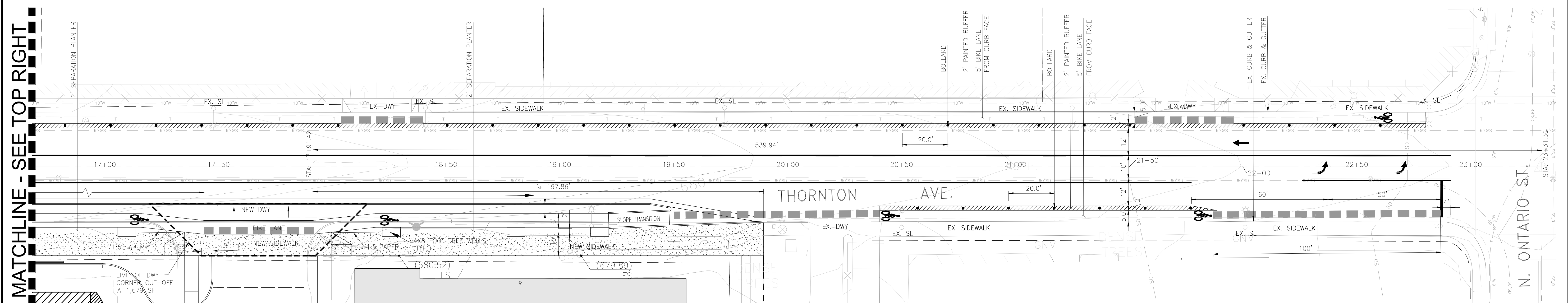
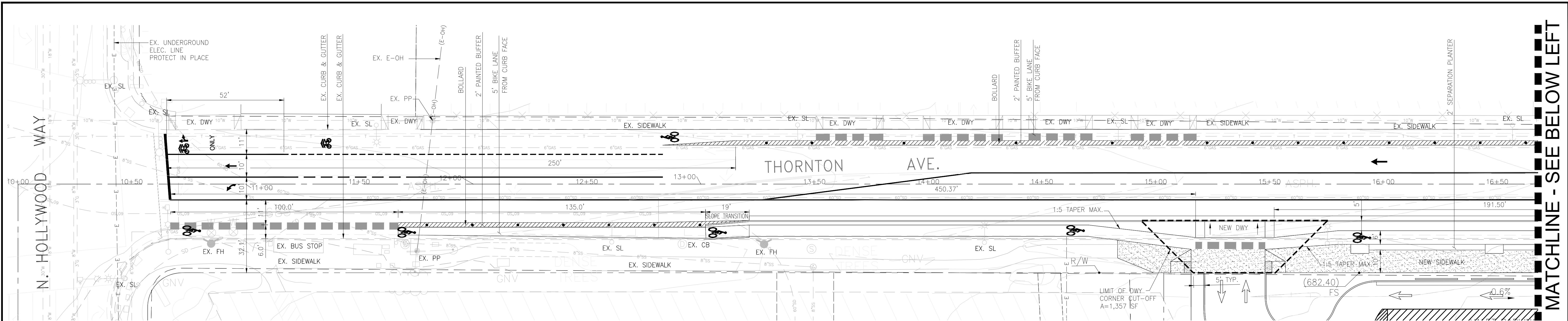
LEGEND

- FORWARD DRIVE PATH
- REVERSE DRIVE PATH
- FIRE LANE



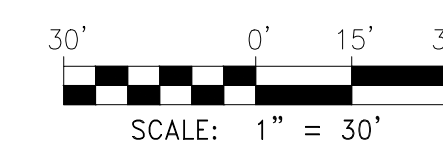
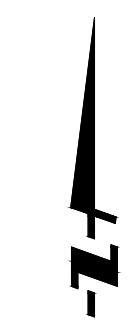
# CONCEPTUAL FIRE APPARATUS & SERVICE TRUCK CIRCULATION PLAN





**LEGEND**

- PROPERTY LINE/ RIGHT-OF-WAY
- GREEN BIKE BOXES
- CB CATCH BASIN
- CL CENTERLINE
- FF FINISHED FLOOR
- FL FLOWLINE
- FS FINISHED SURFACE
- HP HIGHPOINT
- INV INVERT
- P PROPERTY LINE
- ROW RIGHT-OF-WAY
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- FH FIRE HYDRANT
- PP POLE-POWER
- SL STREET LIGHT
- SOMH STORM DRAIN MAN HOLE



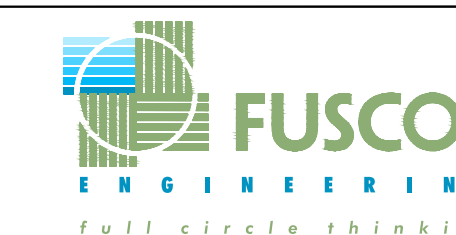
CONCEPTUAL OFFSITE IMPROVEMENT PLAN - THORNTON

**ARCHITECTURAL  
DIMENSIONS**

801 Ygnacio Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 • FAX. 510.463.8395

**PROJECT INFO.**  
 △ RESPONSE TO CITY COMMENTS 9/4/2023, UPDATE STREET IMPROVEMENT PLANS  
 △ RESPONSE TO CITY COMMENTS 03/06/2024, UPDATE STREET IMPROVEMENT PLANS  
 △ RESPONSE TO CITY COMMENTS 05/31/2024, UPDATE STREET IMPROVEMENT PLANS

**MARRIOTT - ALOFT AND RESIDENCE INN**  
**2500 NORTH HOLLWOOD WAY**  
**BURBANK, CA**

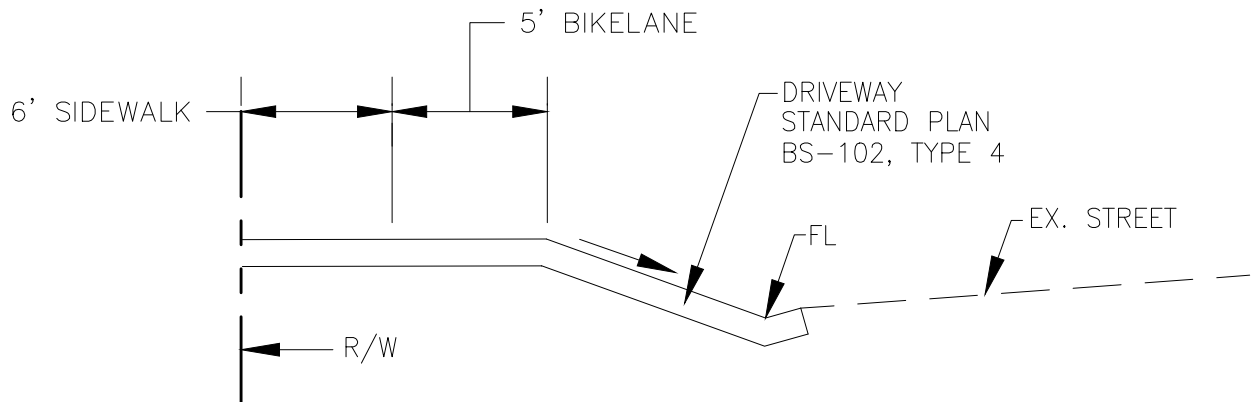


JOB NO.  
**AWH04**  
DATE  
**09/09/2024**

DRAWING NO.

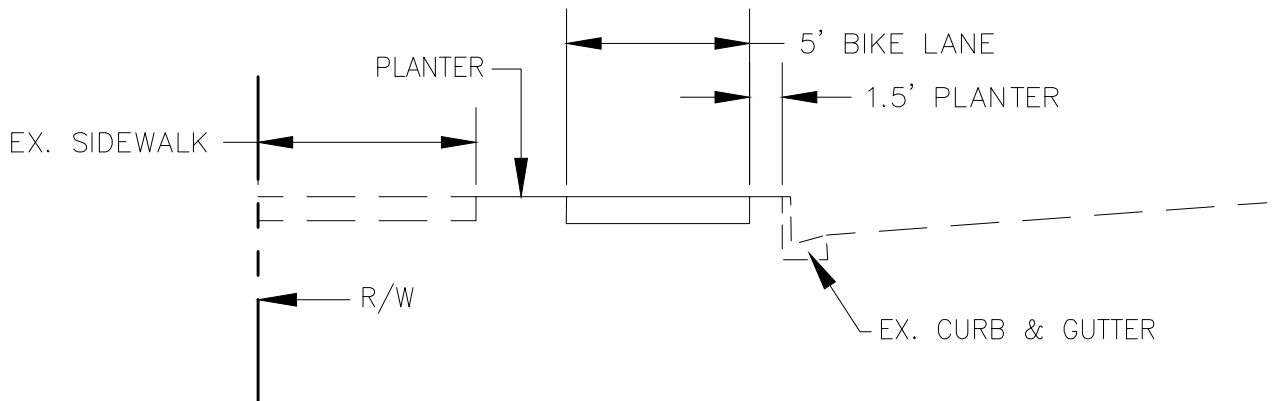
**C7.0**





## SECTION AT DRIVEWAY

NOT TO SCALE

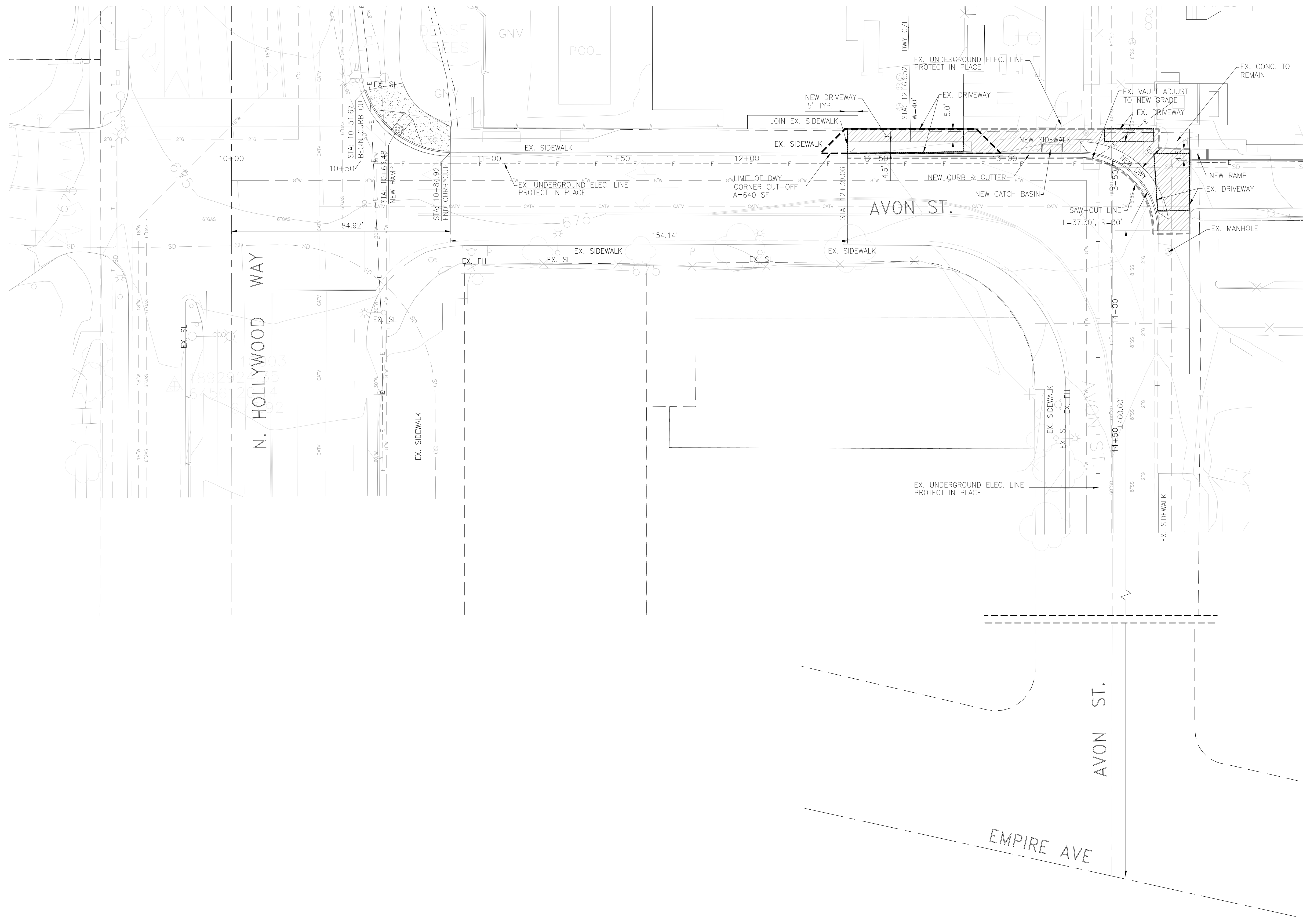


## SECTION AT SIDEWALK

NOT TO SCALE

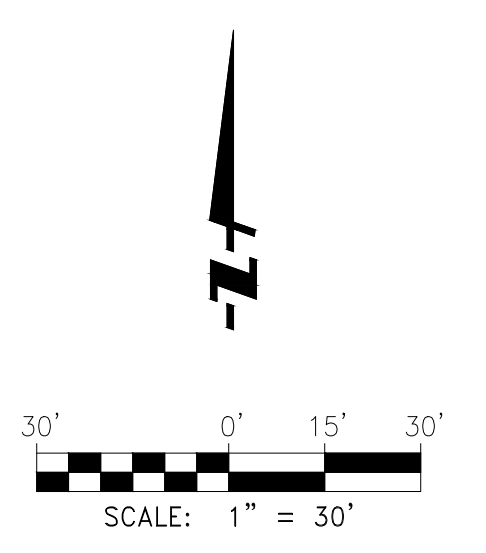
06/17/2024





LEGEND	
---	PROPERTY LINE/ RIGHT-OF-WAY
CB	CATCH BASIN
CL	CENTERLINE
FF	FINISHED FLOOR
FL	FLOWLINE
FS	FINISHED SURFACE
HP	HIGHPOINT
INV	INVERT
P	PROPERTY LINE
ROW	RIGHT-OF-WAY
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
FH	FIRE HYDRANT
PP	POLE-POWER
SL	STREET LIGHT
SDMH	STORM DRAIN MAN HOLE

## CONCEPTUAL OFFSITE IMPROVEMENT PLAN – AVON



**ARCHITECTURAL**  
**DIMENSIONS**

801 Ygnacio Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 • FAX. 510.463.8395

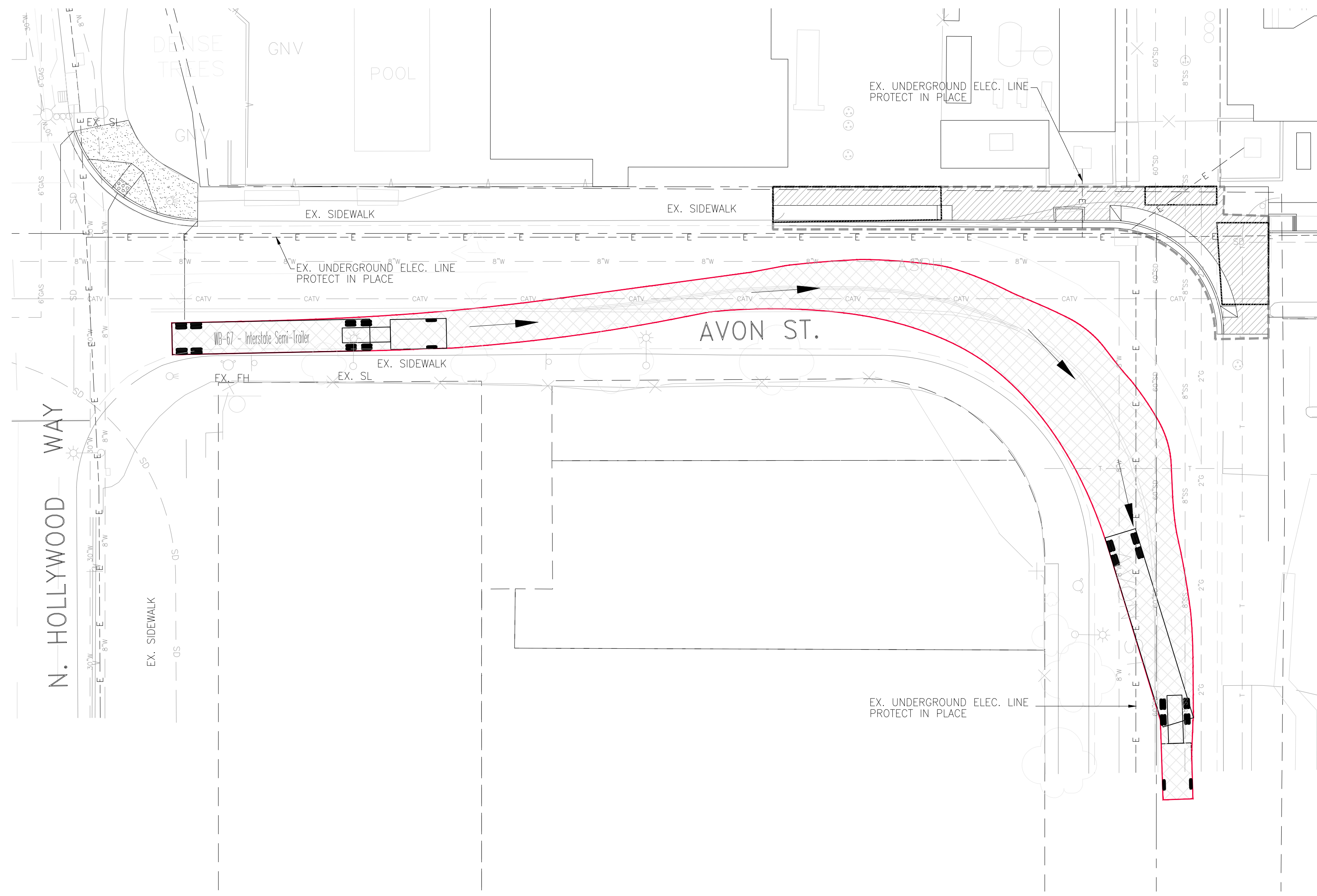
PROJECT INFO.  
 ▲ RESPONSE TO CITY COMMENTS 9/4/2023, UPDATE STREET IMPROVEMENT PLANS  
 ▲ RESPONSE TO CITY COMMENTS 03/06/2024, UPDATE STREET IMPROVEMENT PLANS  
 ▲ RESPONSE TO CITY COMMENTS 05/31/2024, UPDATE STREET IMPROVEMENT PLANS

**MARRIOTT - ALOFT AND RESIDENCE INN**  
**2500 NORTH HOLLWOOD WAY**  
**BURBANK, CA**

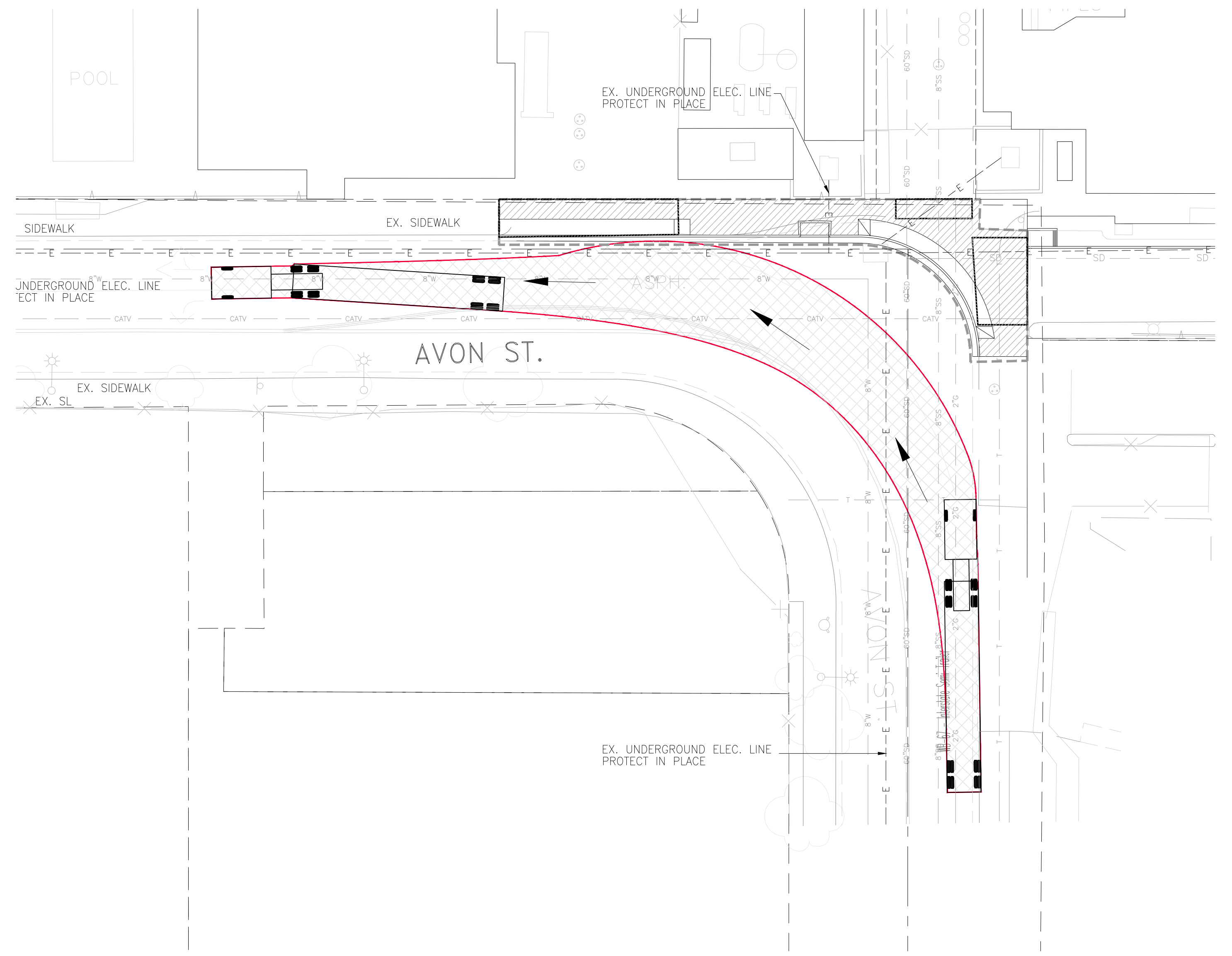
**FUSCOE**  
 ENGINEERING  
 full circle thinking

JOB NO. <b>AWH04</b>	DRAWING NO.
DATE. <b>09/09/2024</b>	<b>C7.1</b>

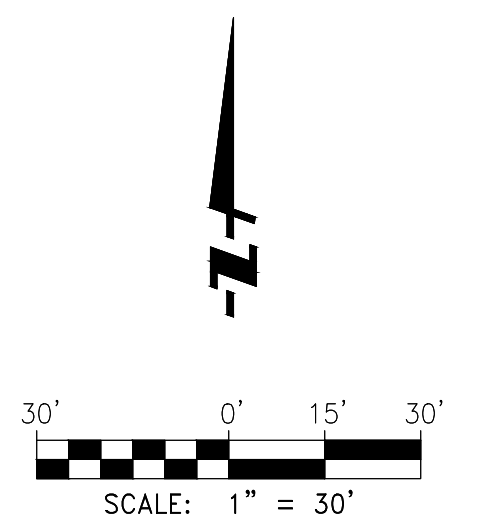




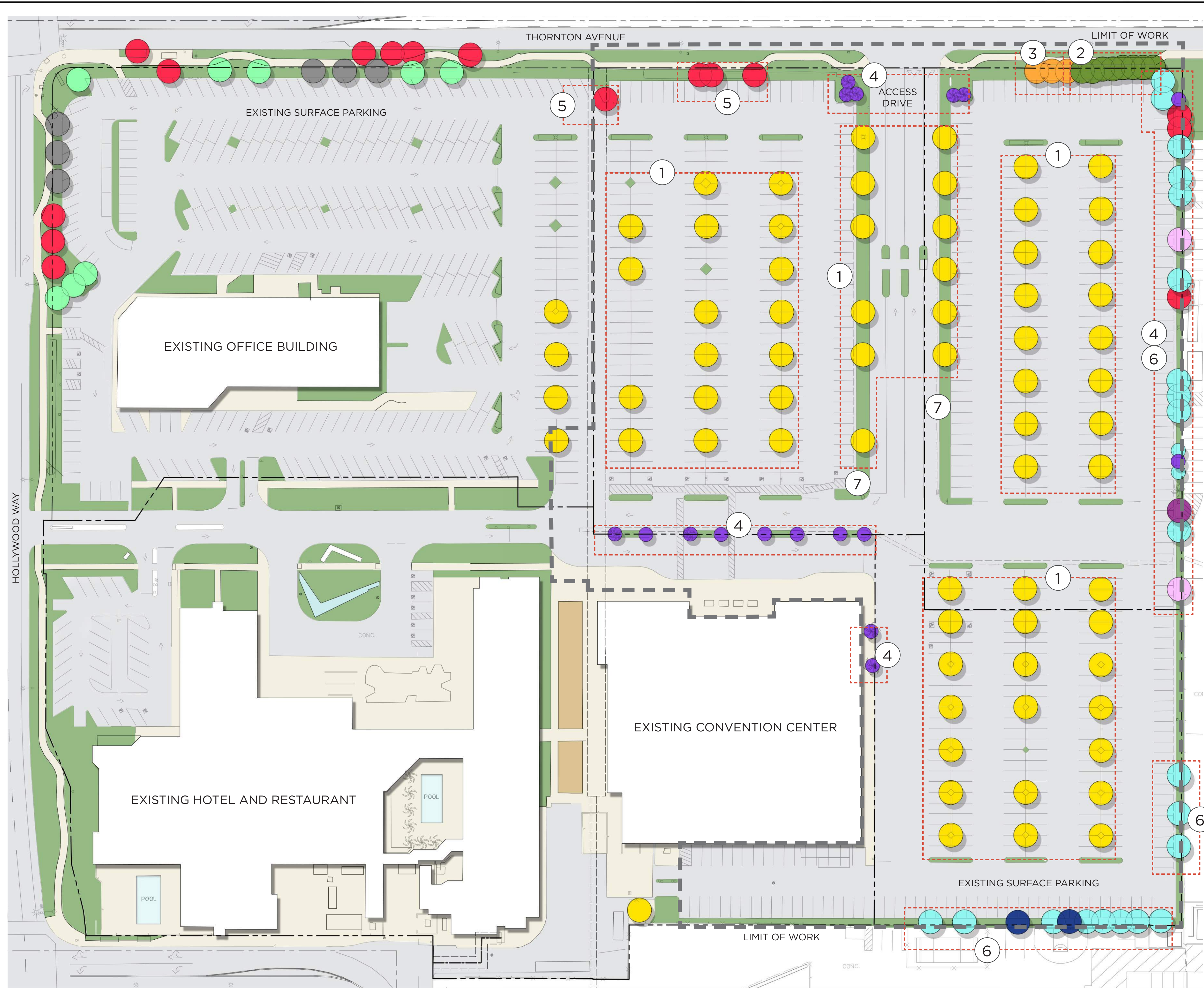
TRUCK TURNING – AASHTO WB-67  
FROM WEST AVON ST TO SOUTH AVON ST.



TRUCK TURNING – AASHTO WB-67  
FROM SOUTH AVON ST TO WEST AVON ST.





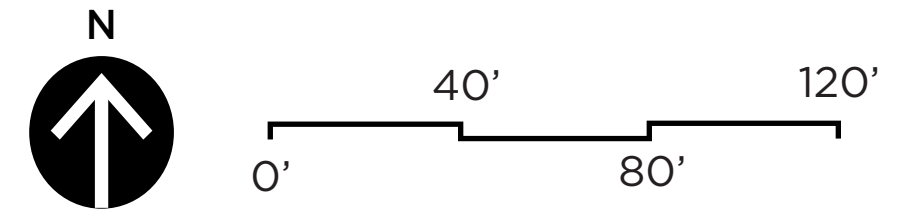


**EXISTING TREES**

- BAMBUSIA SPP. (BAMBOO)
- BRISBANE BOX (LOPHOSTEMON CONFERTUS)
- CAMPHORA CINNAMOMUM (CAMPHOR)
- CUPANIOPSIS ANACARDIOIDES (CARROTWOOD)
- FICUS CARICA (COMMON FIG)
- FICUS NITIDA (INDIAN LAUREL FIG)
- LIQUIDAMBAR STYRACIFLUA (LIQUIDAMBAR)
- PINUS CANARIENSIS (CANARY ISLAND PINE)
- ULMUS PARVIFLORA (CHINESE ELM)
- WASHINGTONIA ROBUSTA (MEXICAN FAN PALM)

**LANDSCAPE TO BE REMOVED**

- ① ULMUS PARVIFOLIA/EVERGREEN ELM (65)
- ② FICUS MICROCARPA/INDIAN LAUREL FIG (8)
- ③ CUPANIOPSIS ANACARDIOIDES/CAROTWOOD TREE (3)
- ④ WASHINGTONIA ROBUSTA/MEXICAN FAN PALM (17)
- ⑤ LIQUIDAMBAR STYRACIFLUA/SWEET GUM (4)
- ⑥ LOPHOSTEMON CONFERTUS/BRISBANE BOX & MISC. NON-NATIVE TREES (13)
- ⑦ TURF



**ARCHITECTURAL  
DIMENSIONS**

801 Ygnacio Valley Road  
Suite #230  
Walnut Creek, CA 94549  
TEL. 510.463.8300 FAX. 510.463.8395



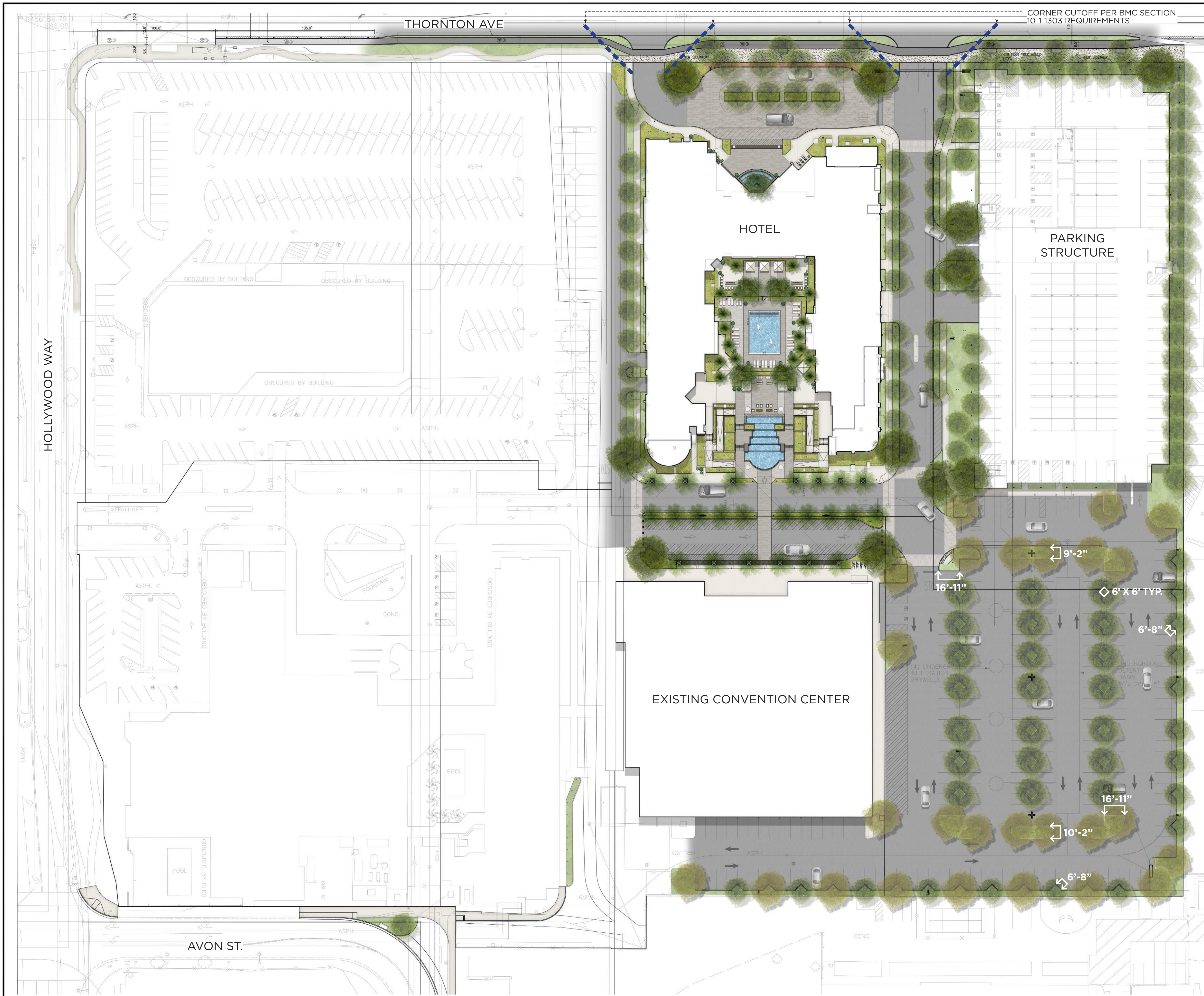
**PROJECT INFO.**  
 △ RESPONSE TO CITY COMMENTS  
 9/4/2023 VARIOUS SITE PLAN  
 ADJUSTMENTS  
 △ REVISED LANDSCAPE LAYOUT FOR  
 NEW HOTEL DROP OFF AREA

**MARRIOTT - ALOFT AND RESIDENCE INN**  
**2500 NORTH HOLLWOOD WAY**  
**BURBANK, CA**

JOB NO.  
**AWH04**  
1731090  
DATE:  
02/29/2024

**L1.101**  
**SCHEMATIC SITE**  
**LANDSCAPE**  
**CONTEXT PLAN**





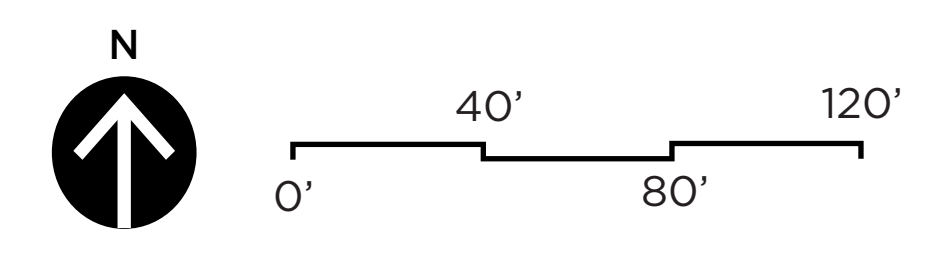
NEW LANDSCAPED AREA:	40,408 SF
NEW IRRIGATION AREA:	40,408 SF
TOTAL LOT AREA:	512,265 SF

**SITE TABULATIONS:**

TOTAL LOT AREA:	512,265 SF
EXISTING LANDSCAPE AREA:	27,275 SF
NEW LANDSCAPE AREA:	40,408 SF
TOTAL LANDSCAPE AREA:	67,683 SF
LANDSCAPE % OF TOTAL LOT:	13%

**LANDSCAPE NOTES:**

1. ALL AREAS REQUIRING LANDSCAPE SHALL INCLUDE THE INSTALLATION. TURF AND SHRUB IRRIGATION SYSTEMS SHALL BE IRRIGATED SEPARATELY.
2. PLANTS SHALL BE GROUPED ACCORDING TO WATER USE FACTORS PER WUCOLS ZONES
3. 3" MINIMUM DEPTH OF SHREDDED MULCH IN ALL PLANTER AREAS.
4. PLANTERS WITHIN PARKING LOT MEETS MINIMUM DIMENSION REQUIREMENTS PER MUNICIPAL CODE.



**ARCHITECTURAL  
DIMENSIONS**

801 Ygnacio Valley Road  
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Walnut Creek, CA 94549  
TEL. 510.463.8300 FAX. 510.463.8395



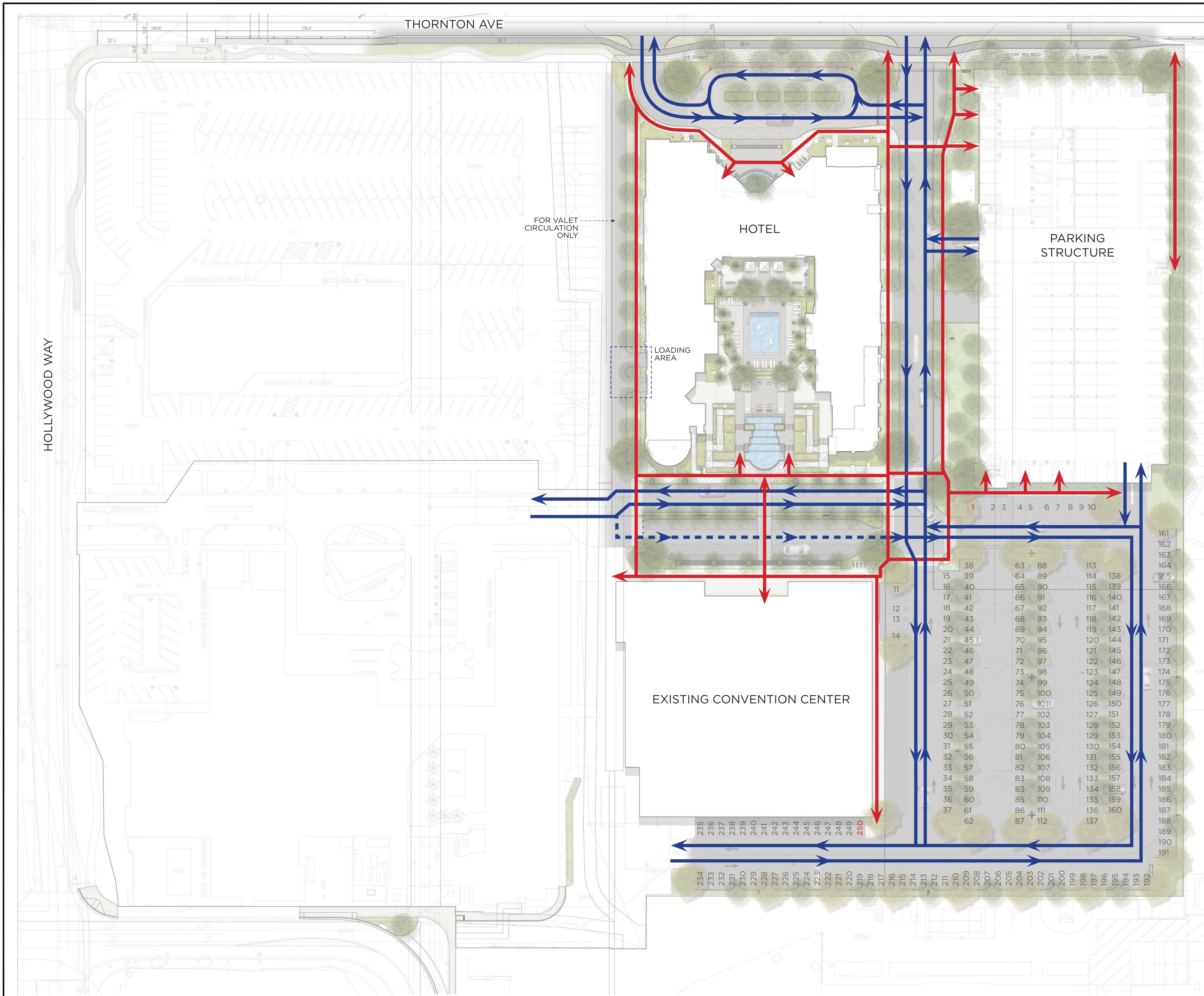
**PROJECT INFO.**  
 RESPONSE TO CITY COMMENTS  
 9/4/2023 VARIOUS SITE PLAN  
 ADJUSTMENTS  
 REVISED LANDSCAPE LAYOUT FOR  
 NEW HOTEL DROP OFF AREA

**MARRIOTT - ALOFT AND RESIDENCE INN**  
**2500 NORTH HOLLWOOD WAY**  
**BURBANK, CA**

JOB NO.  
**AWH04**  
1731090  
DATE:  
02/29/2024

**L2.101**  
**OVERALL SITE**  
**LANDSCAPE**  
**PLAN**



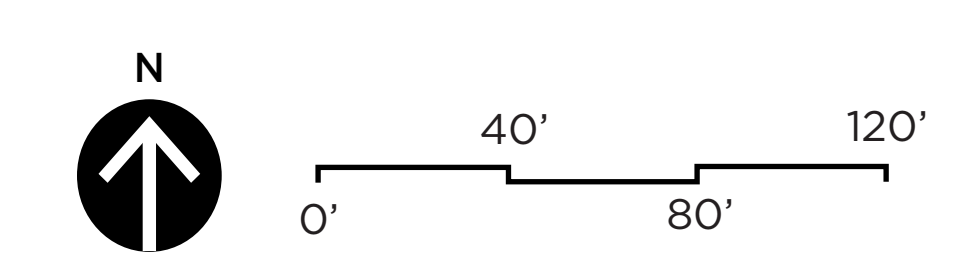


**LEGEND**

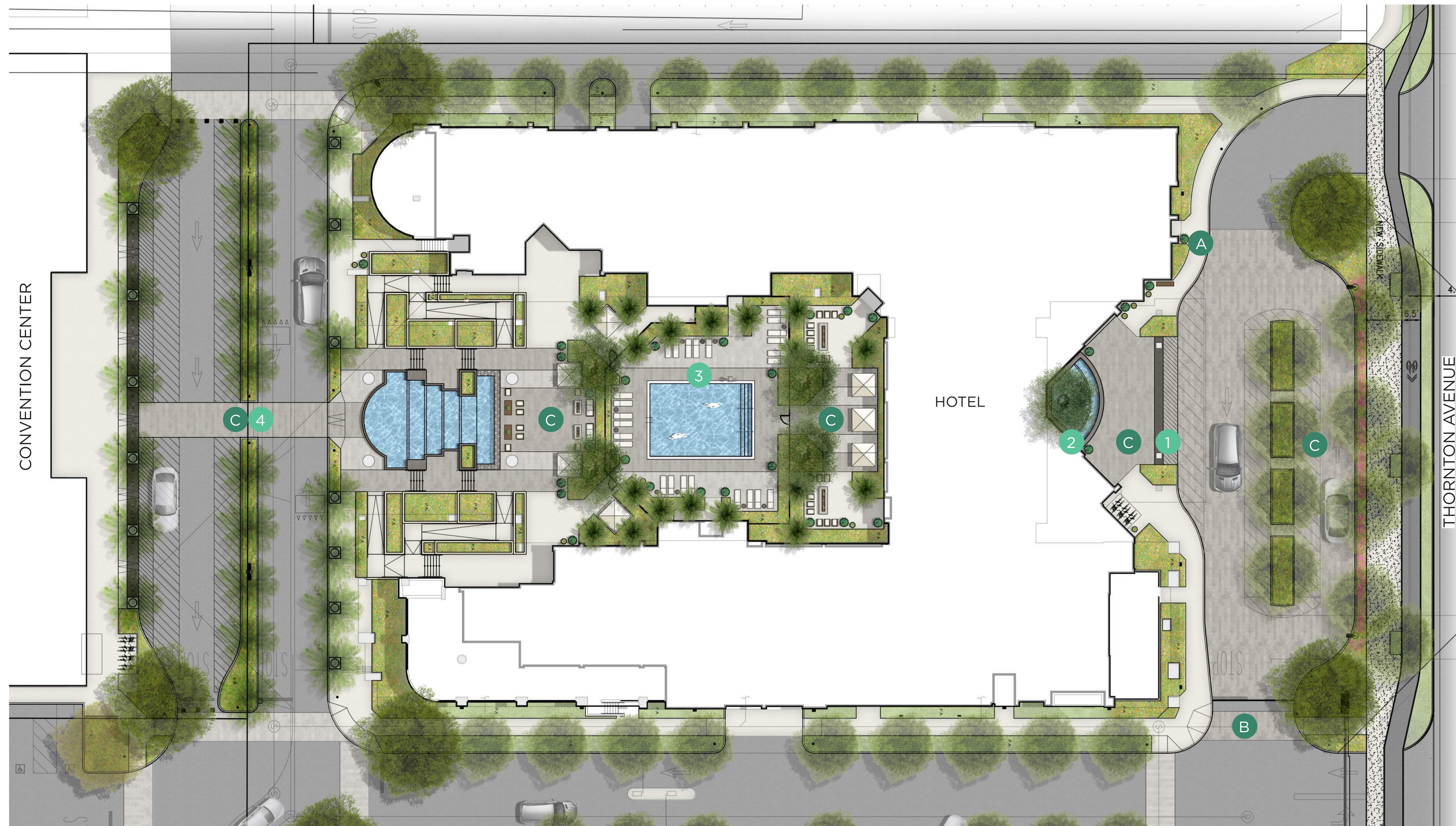
- VEHICULAR CIRCULATION
- EVENT-ONLY VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION

**SURFACE PARKING: 250**

- LANDSCAPE NOTES:**
1. ALL AREAS REQUIRING LANDSCAPE SHALL INCLUDE THE INSTALLATION, TURF AND SHRUB IRRIGATION SYSTEMS SHALL BE IRRIGATED SEPARATELY.
  2. PLANTS SHALL BE GROUPED ACCORDING TO WATER USE FACTORS PER WUCOLS ZONES
  3. 3" MINIMUM DEPTH OF SHREDDED MULCH IN ALL PLANTER AREAS.
  4. PLANTERS WITHIN PARKING LOT MEETS MINIMUM DIMENSION REQUIREMENTS PER MUNICIPAL CODE.







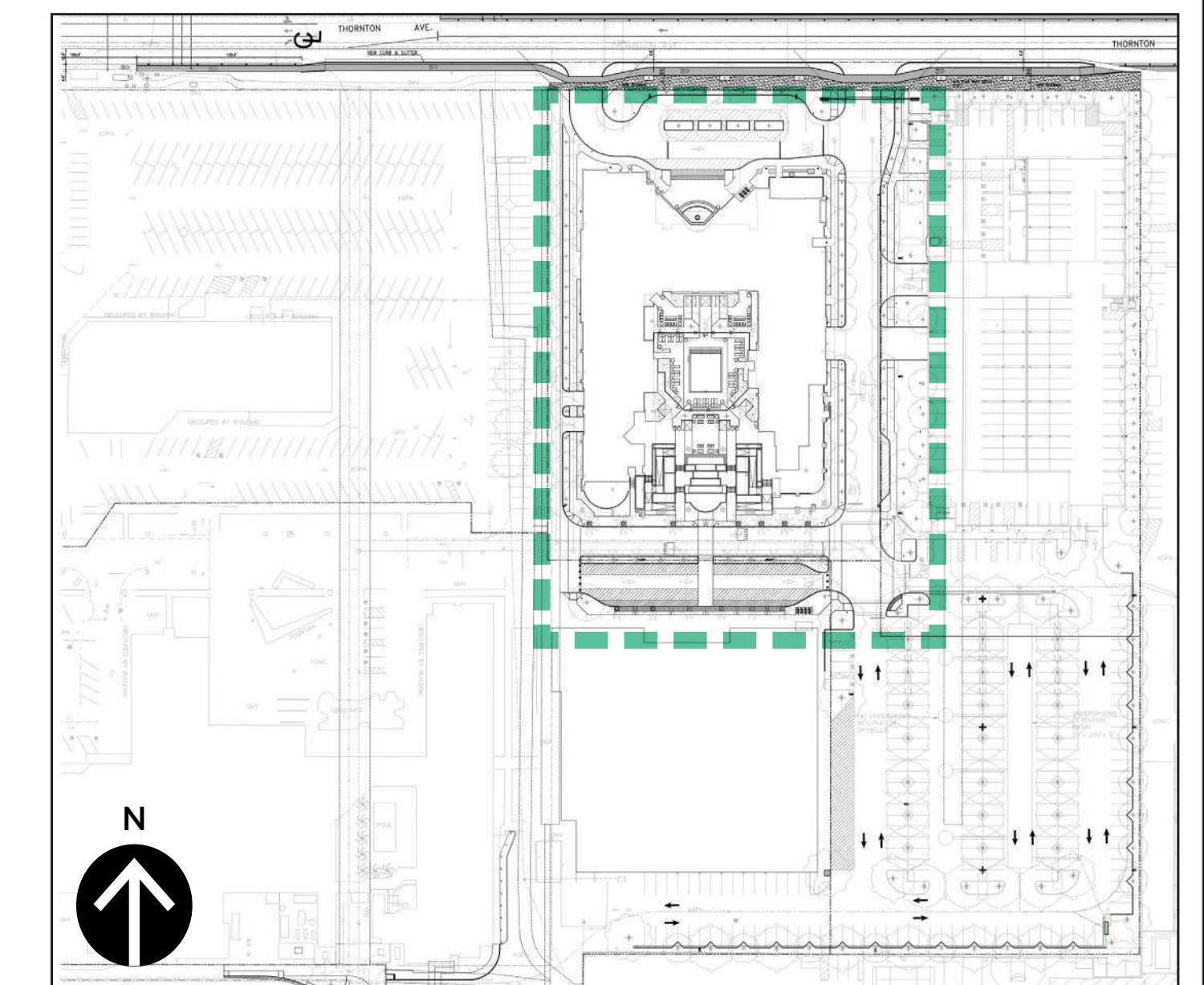
### LEGEND

- 1 HOTEL DROP-OFF
  - 2 WATER FEATURE
  - 3 POOL DECK
  - 4 WALK TOWARDS CONVENTION CENTER
  - A ACCENT/NATURAL GRAY CONCRETE
  - B CROSSWALK
  - C ACCENT PAVING
- LANDSCAPE AREAS
  - SITE HARDSCAPE AREAS
  - VEHICULAR ACCESS PAVING PER CIVIL

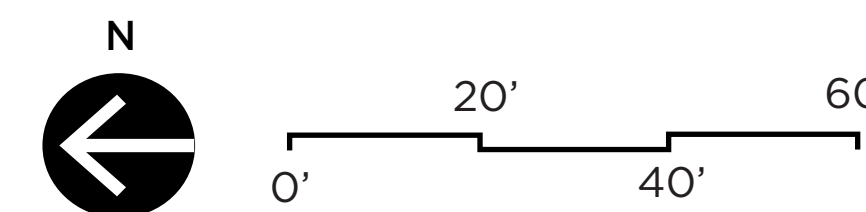
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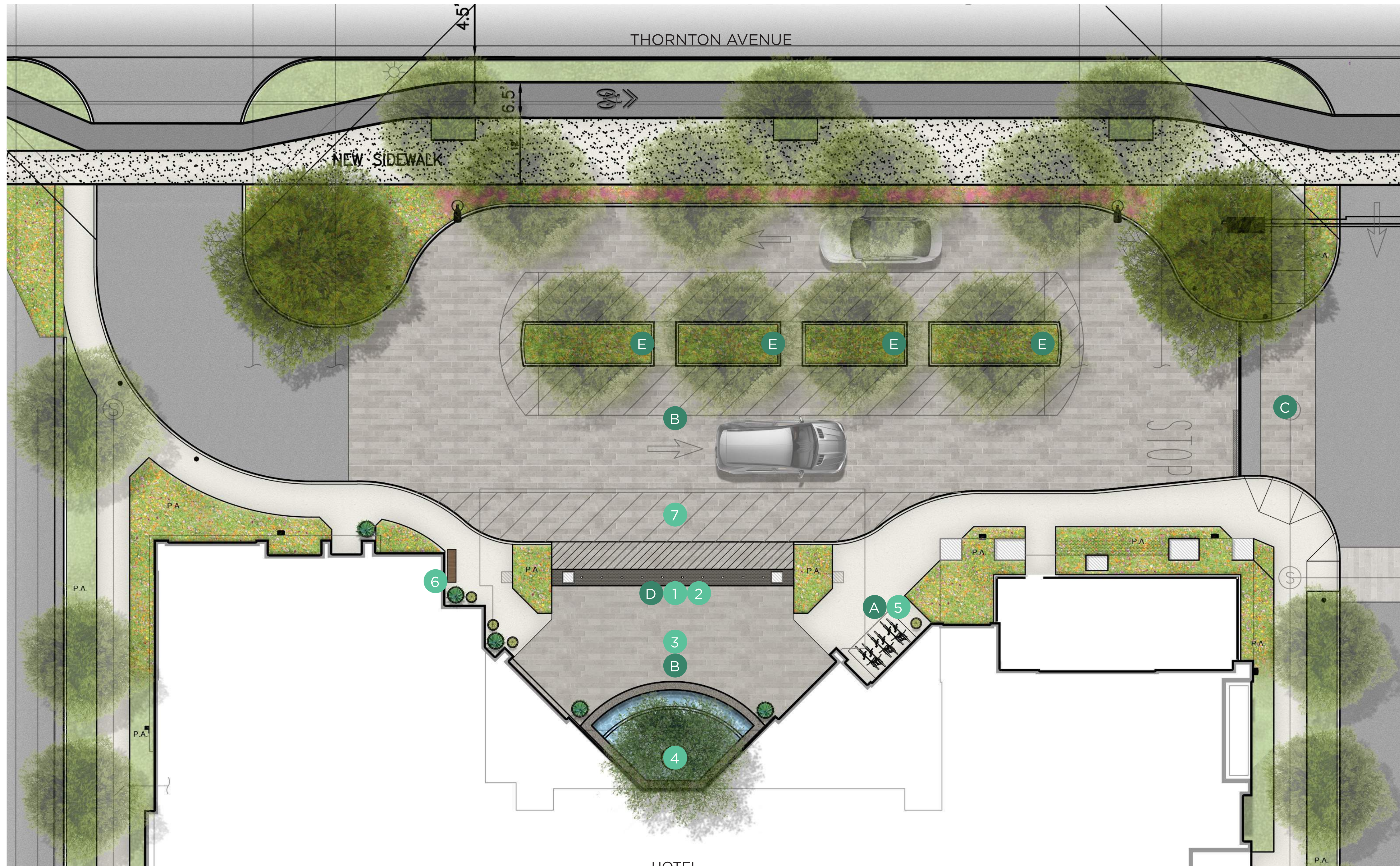
### KEY MAP



▼ PARKING STRUCTURE







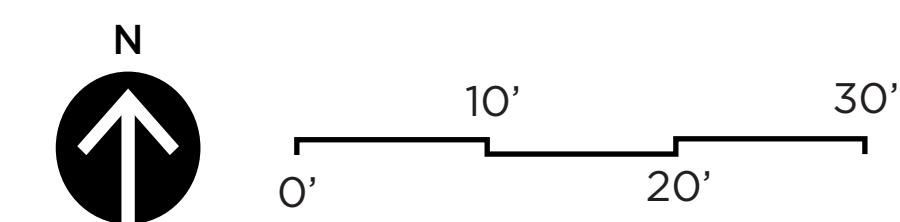
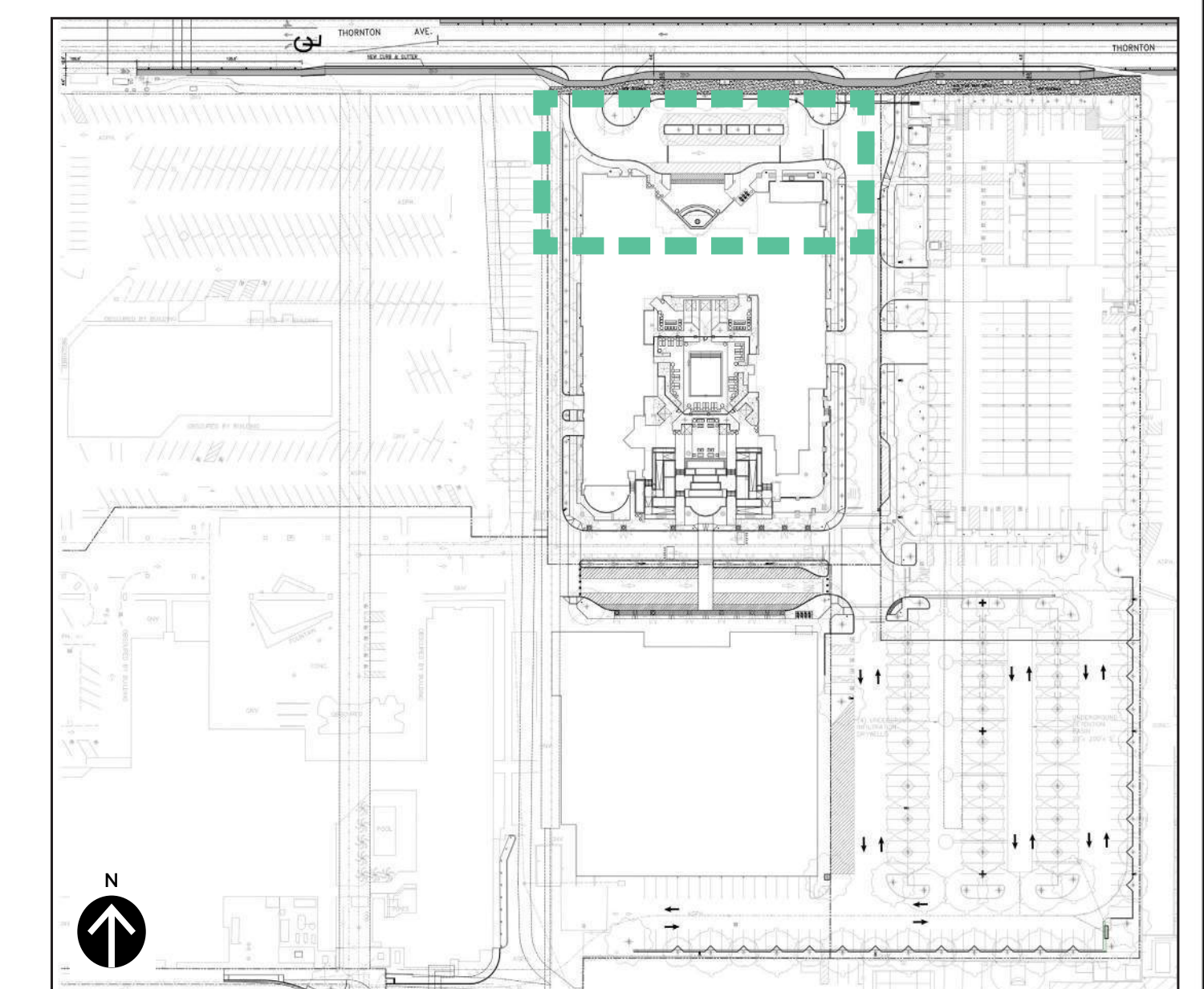
### LEGEND

- 1 BOLLARDS
- 2 RAMP UP
- 3 ARRIVAL PLAZA
- 4 FLOATING TREE WATER FEATURE
- 5 BIKE RACKS (3)
- 6 BENCH SEATING
- 7 DROP-OFF
- A ACCENT/NATURAL GRAY CONCRETE
- B ACCENT PAVING
- C CROSSWALK
- D TRUNCATED DOME PAVERS
- E 18" H. PLANTER
- LANDSCAPE AREAS
- SITE HARDSCAPE AREAS
- VEHICULAR ACCESS PAVING PER CIVIL

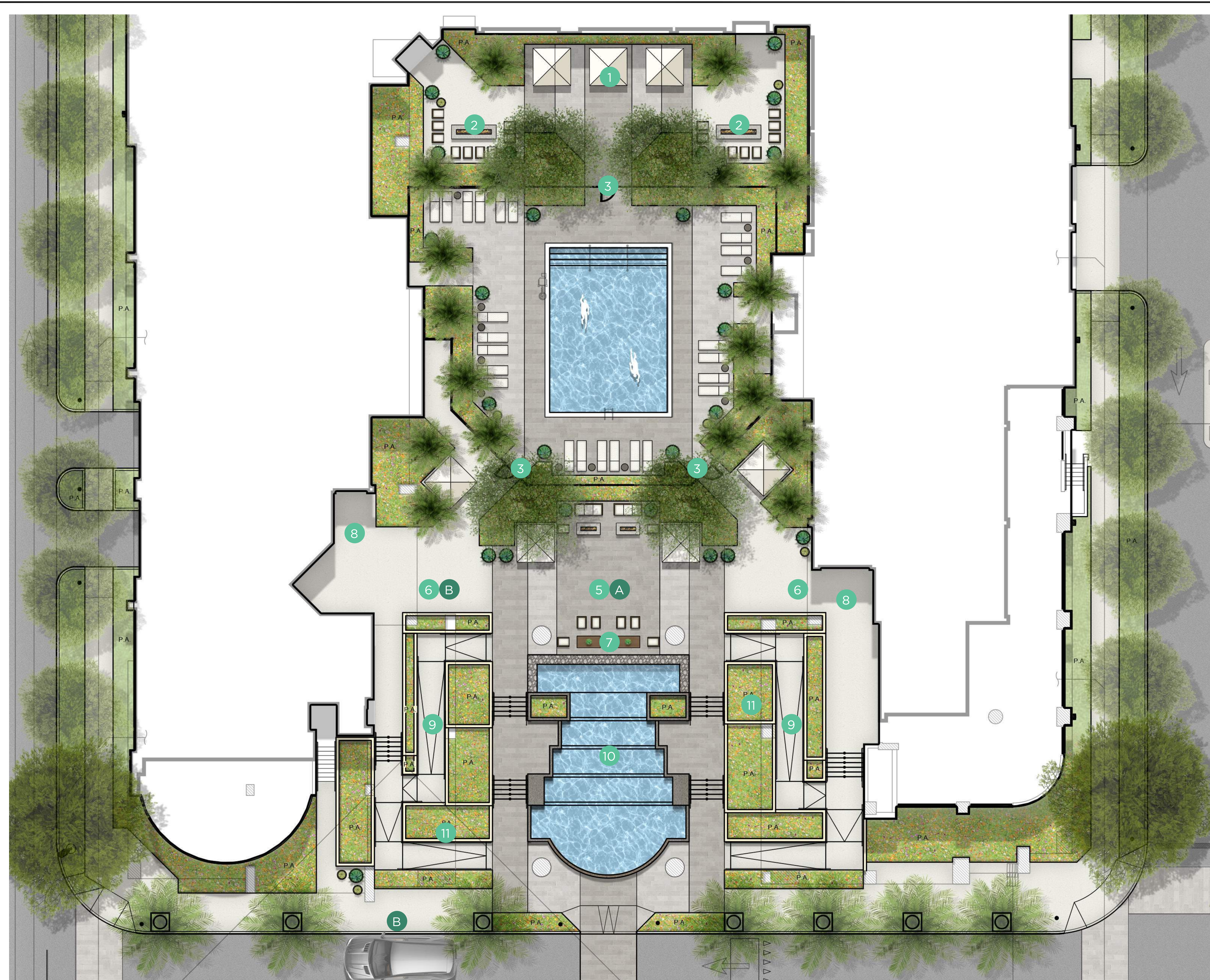
### LANDSCAPE NOTES:

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### KEY MAP







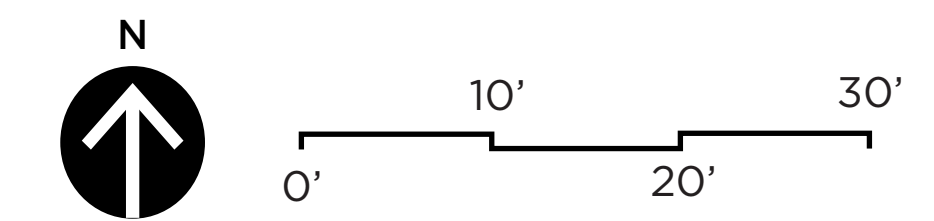
**LEGEND**

- 1 UMBRELLA SEATING
- 2 FIRE PIT LOUNGE
- 3 POOL ENTRANCE
- 4 POOL SCREEN
- 5 ARRIVAL PLAZA
- 6 ENTRY PLAZA
- 7 POTENTIAL ART/LOUNGE
- 8 HOTEL ENTRANCE
- 9 ACCESS RAMP
- 10 WATER FEATURE
- 11 PLANTER WALLS
- A ACCENT PAVERS
- B ACCENT/NATURAL GRAY CONCRETE

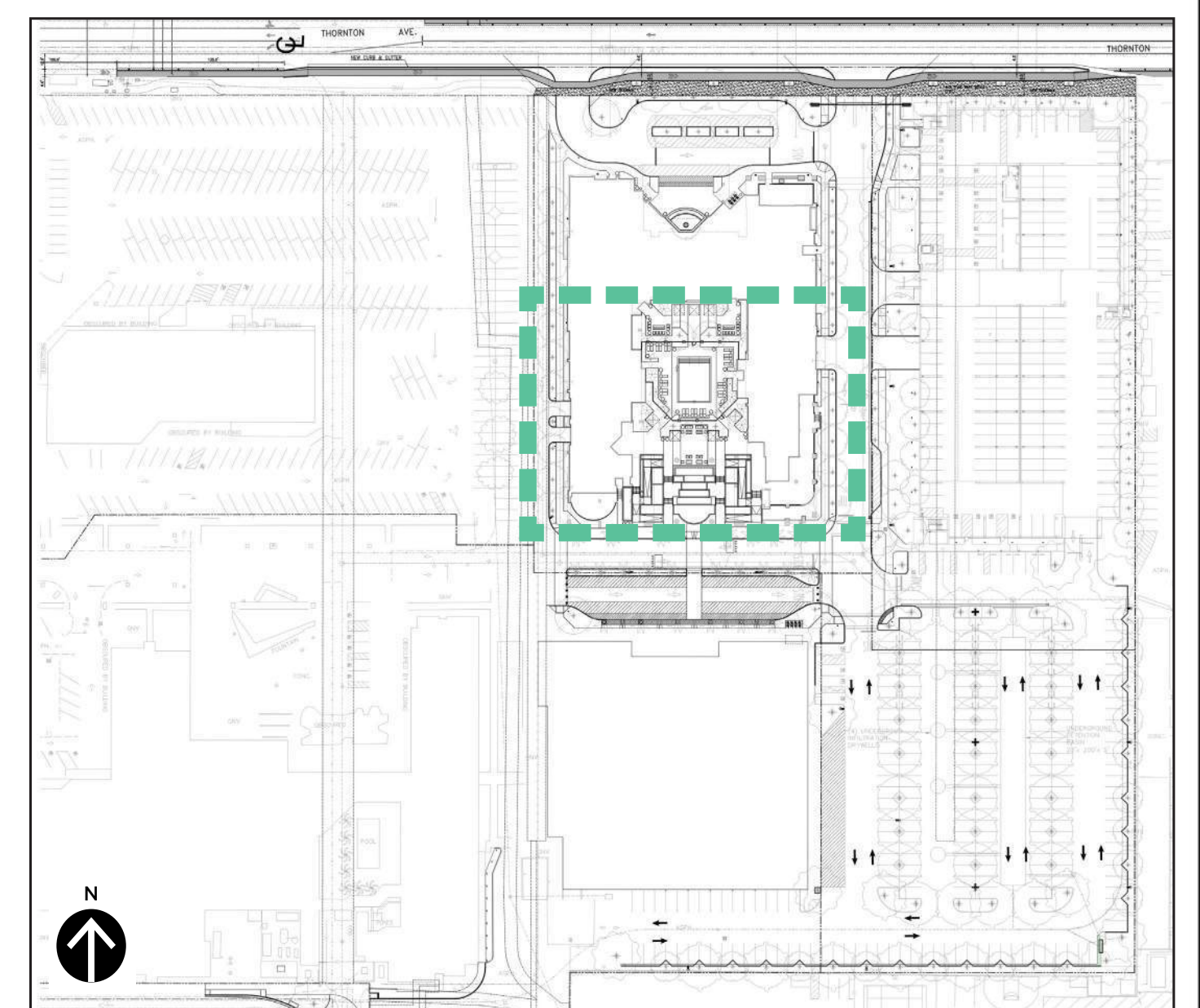
- LANDSCAPE AREAS
- SITE HARDSCAPE AREAS
- VEHICULAR ACCESS PAVING PER CIVIL

**LANDSCAPE NOTES:**

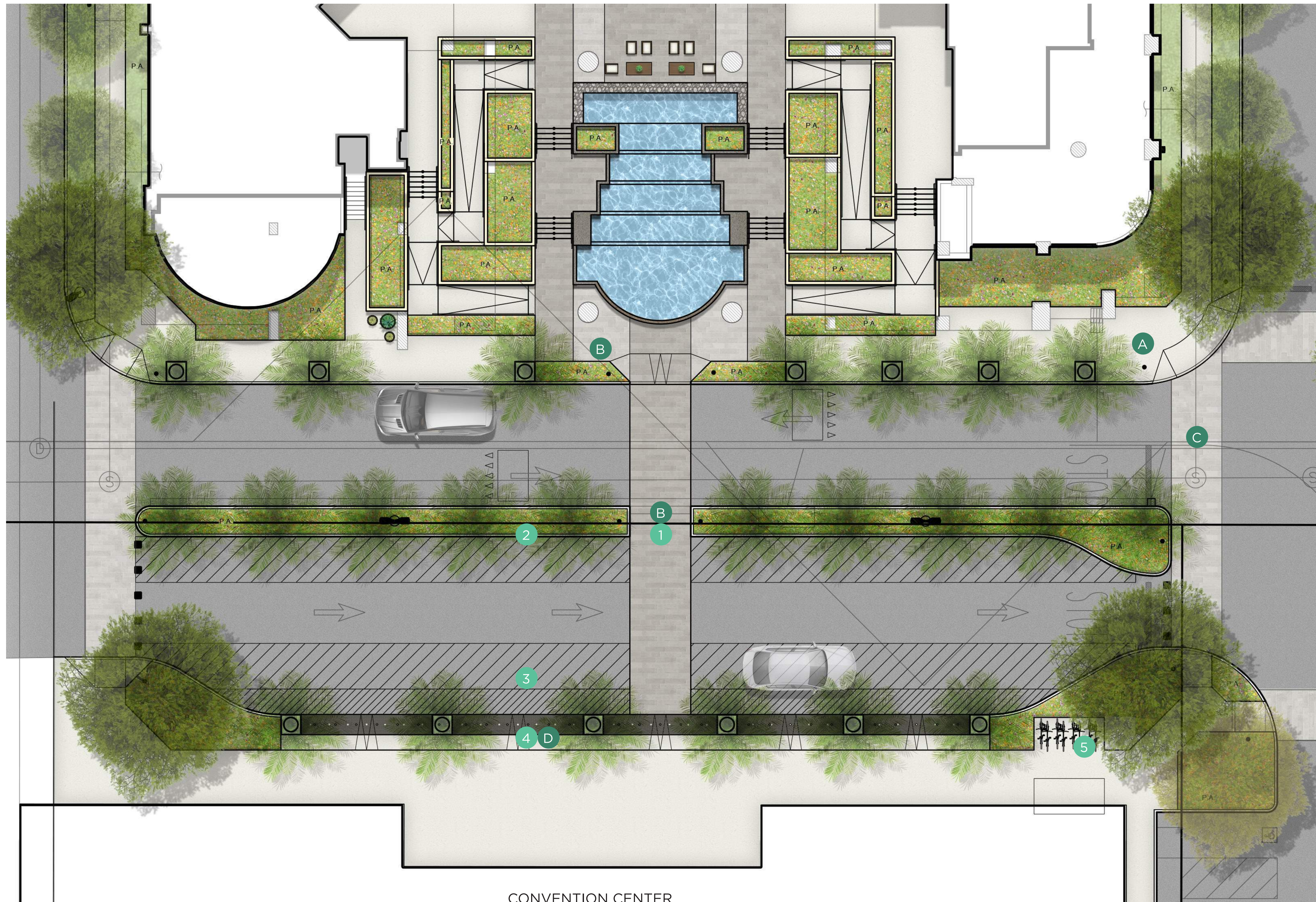
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**KEY MAP**







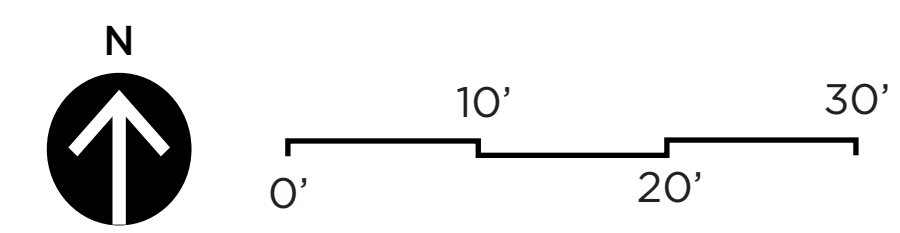
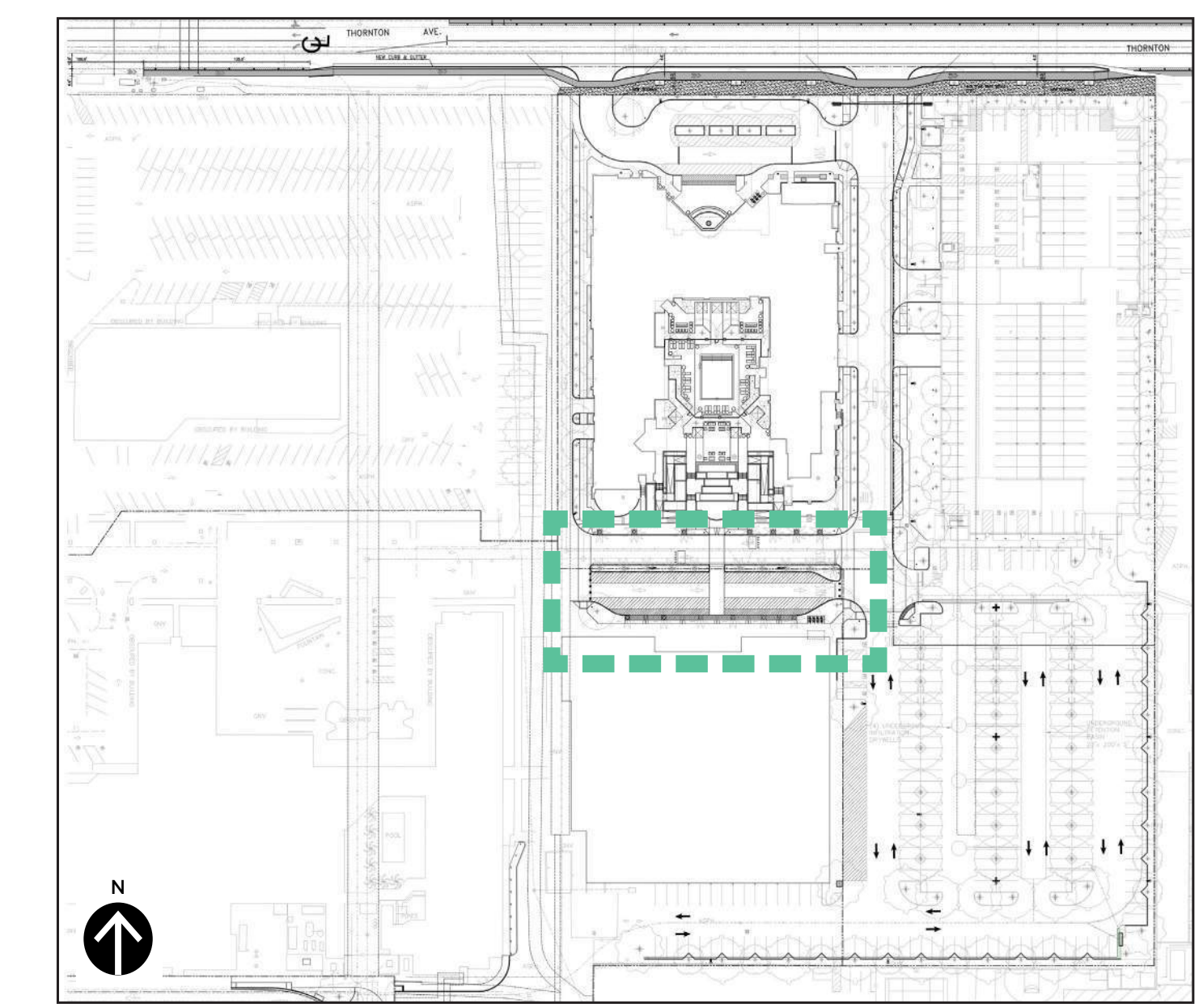
**LEGEND**

- 1 CROSSWALK
- 2 MEDIAN PLANTING
- 3 LOADING/UNLOADING
- 4 BOLLARDS
- 5 BIKE RACKS (6)
- A ACCENT/NATURAL GRAY CONCRETE
- B ACCENT PAVERS
- C CROSSWALK PAVERS
- D TRUNCATED DOME PAVERS
- LANDSCAPE AREAS
- SITE HARDSCAPE AREAS
- VEHICULAR ACCESS PAVING PER CIVIL

**LANDSCAPE NOTES:**

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**KEY MAP**

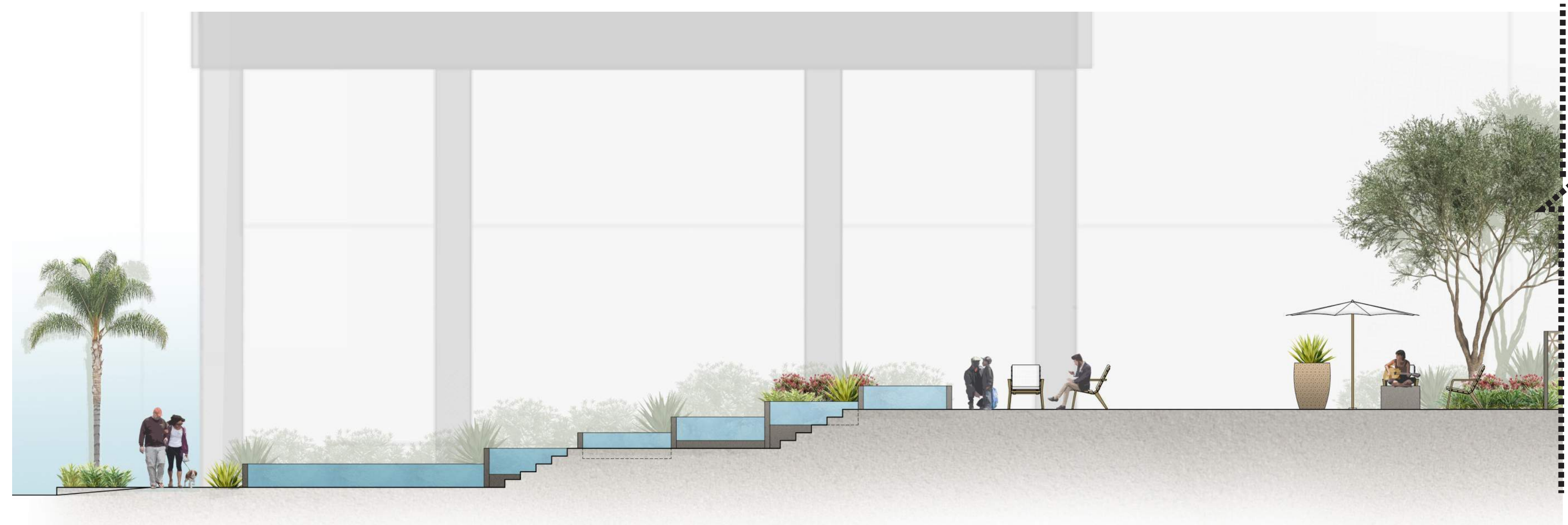






COURTYARD SECTION

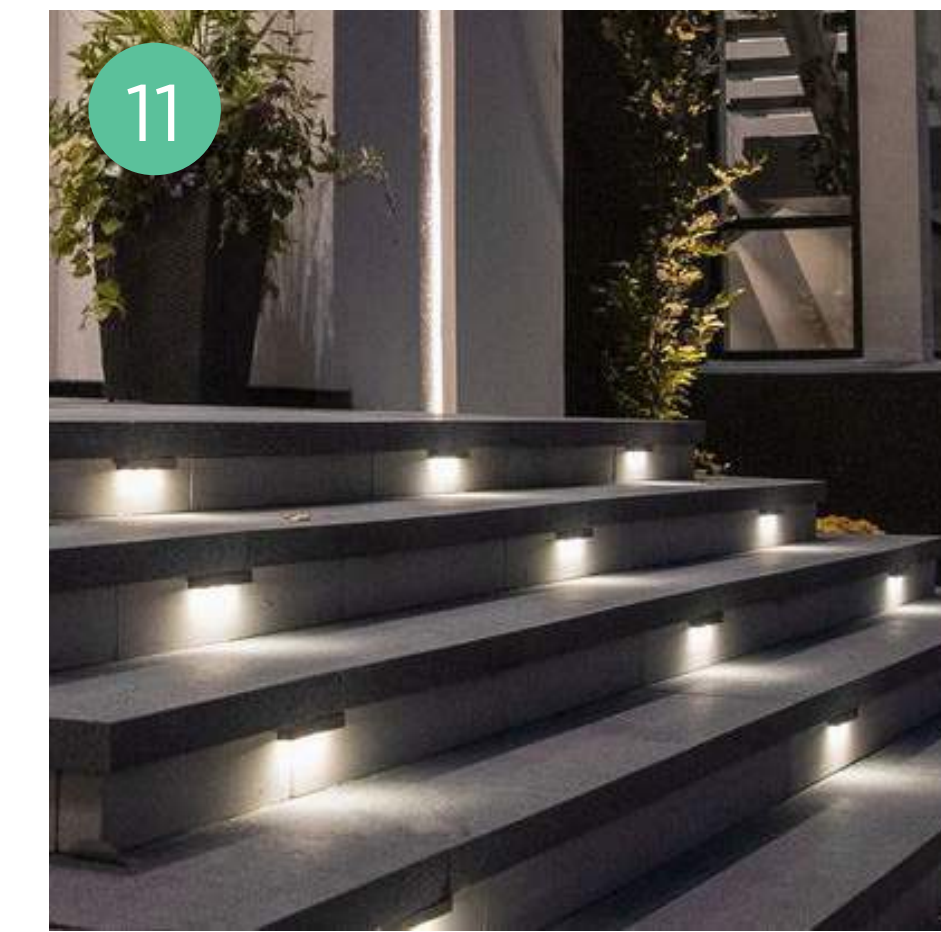
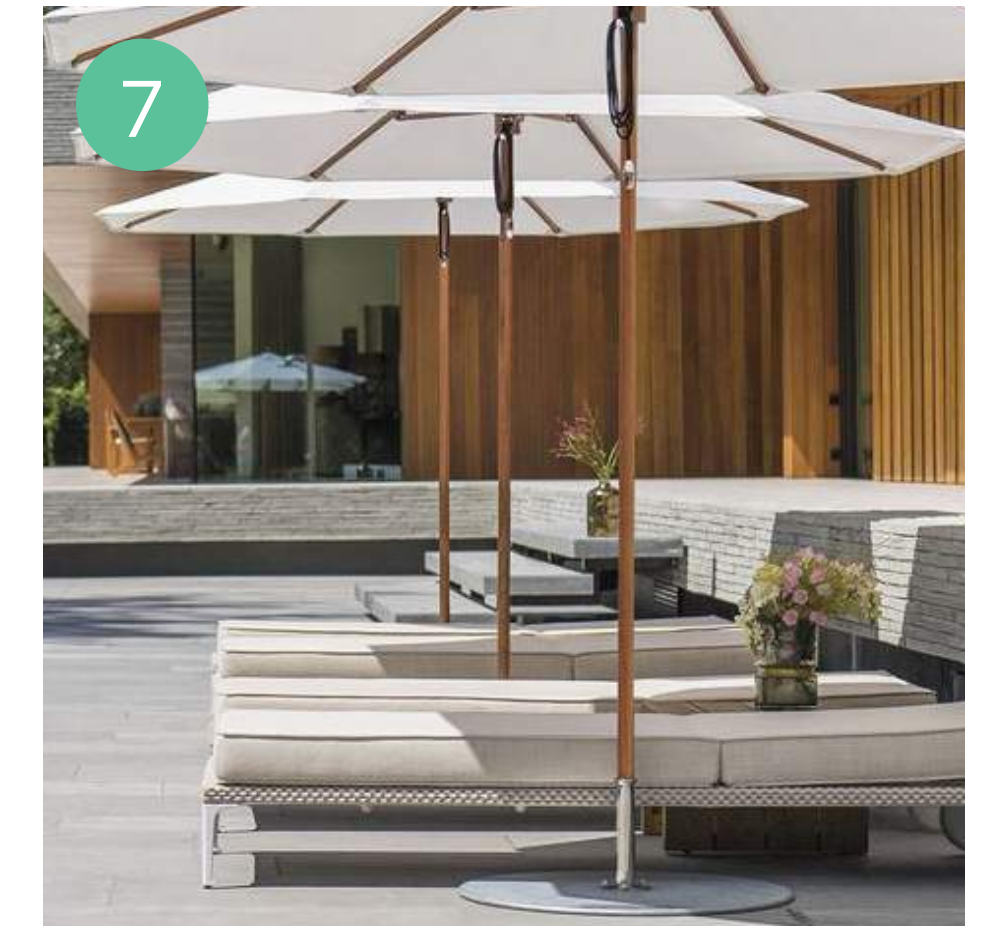
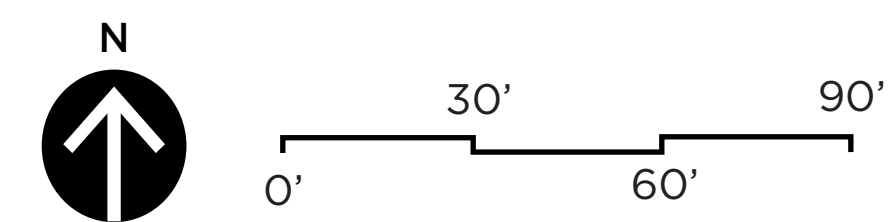
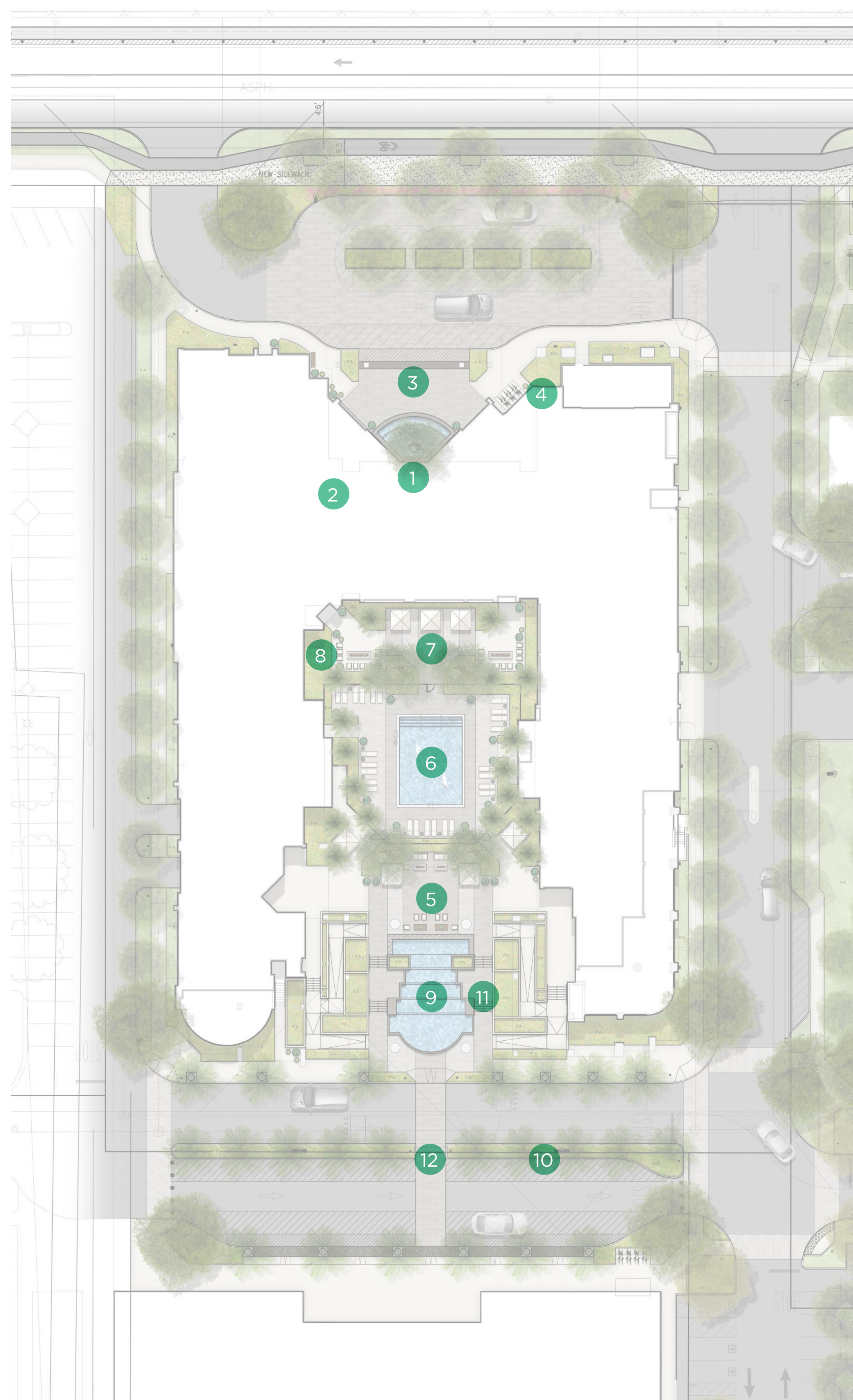
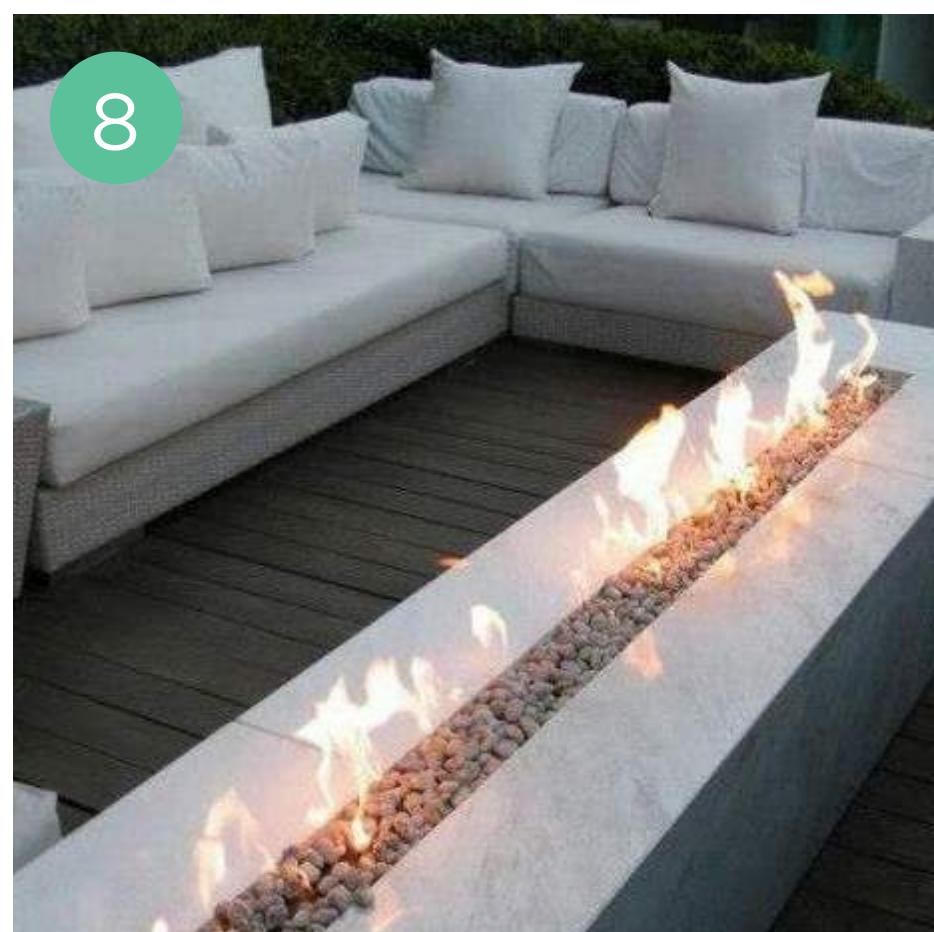
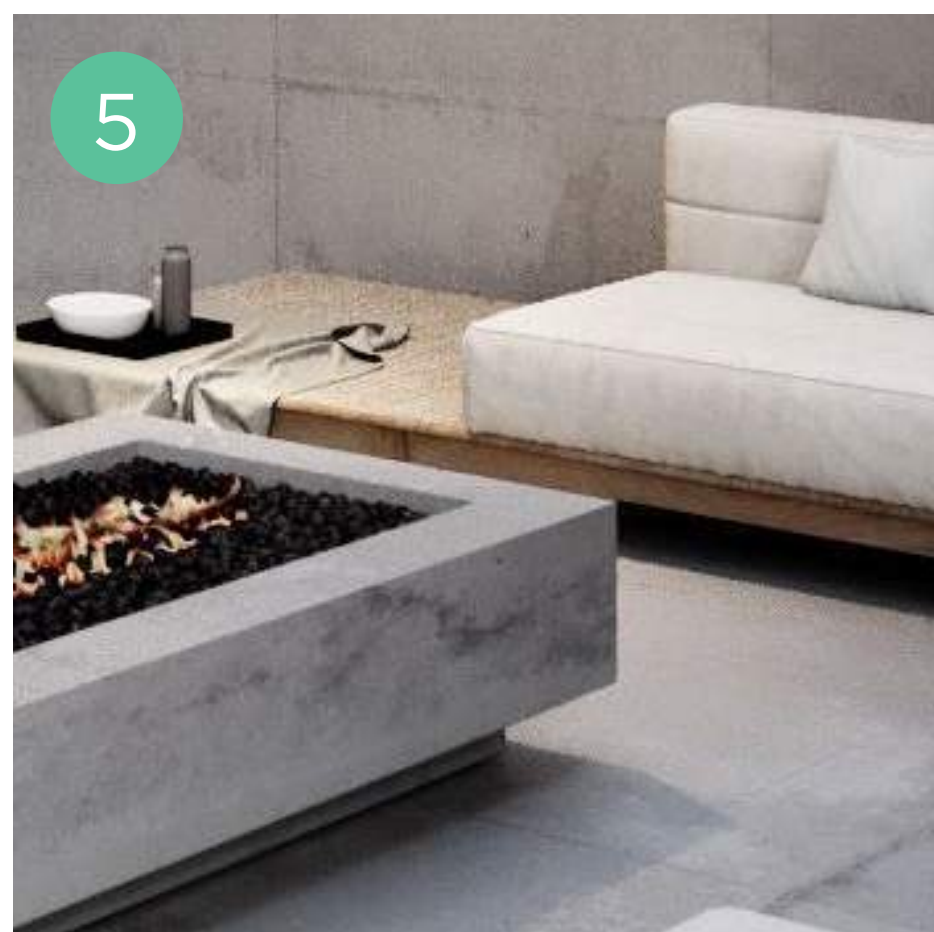
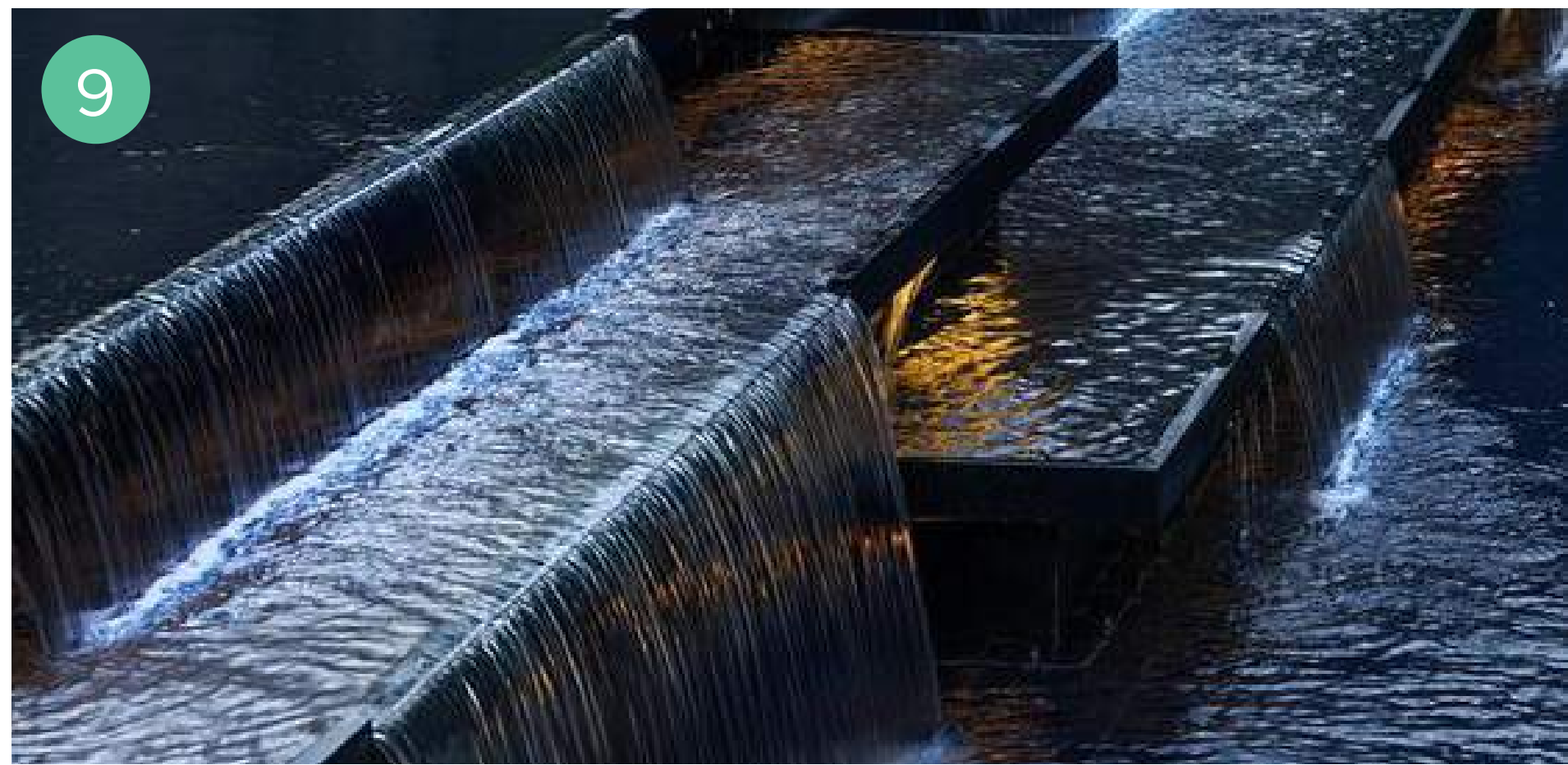
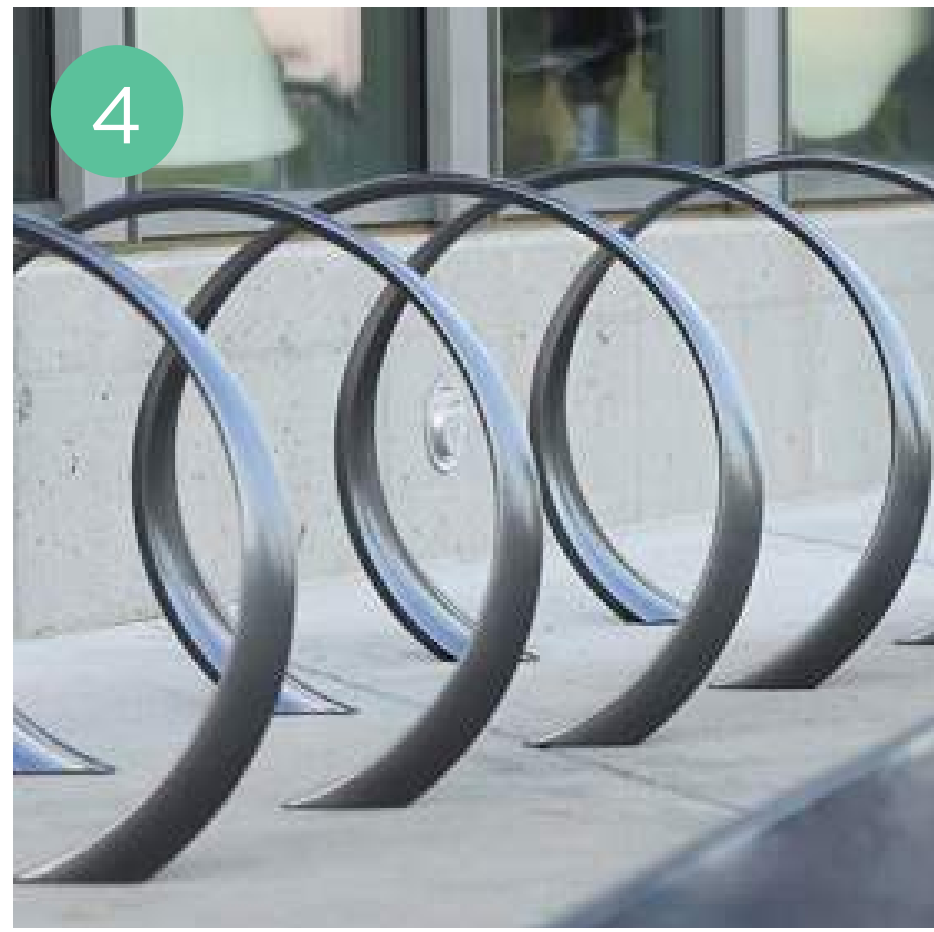
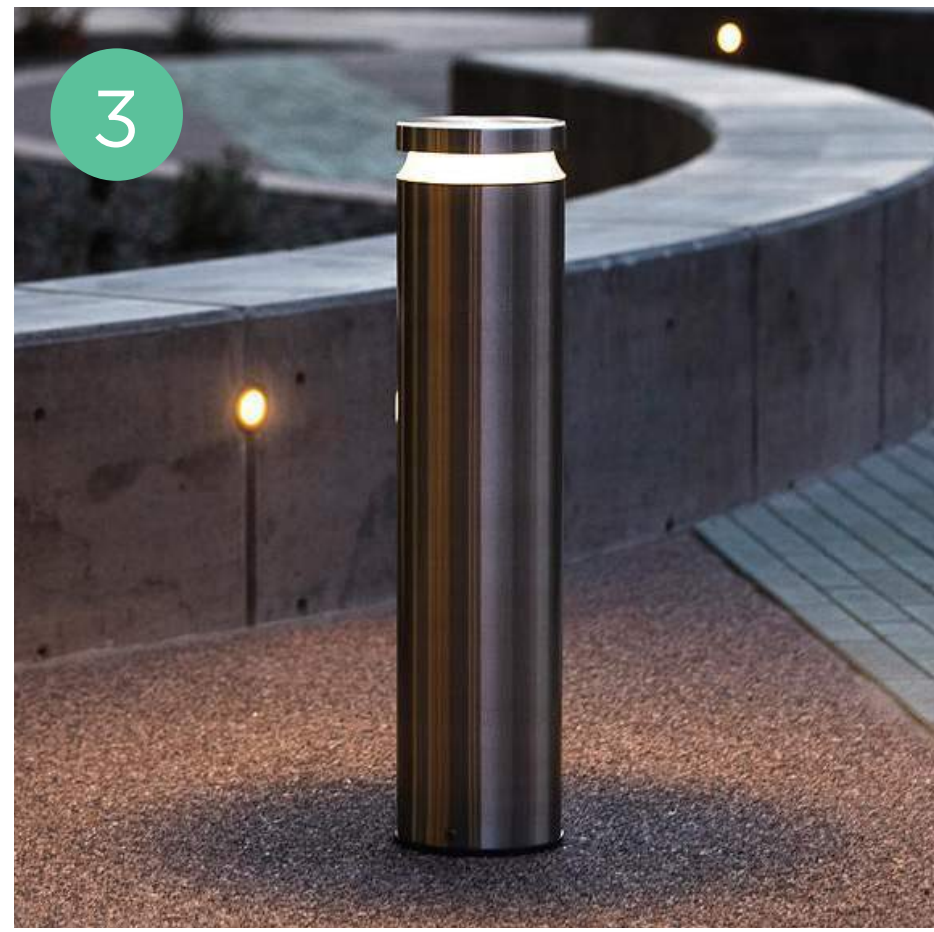
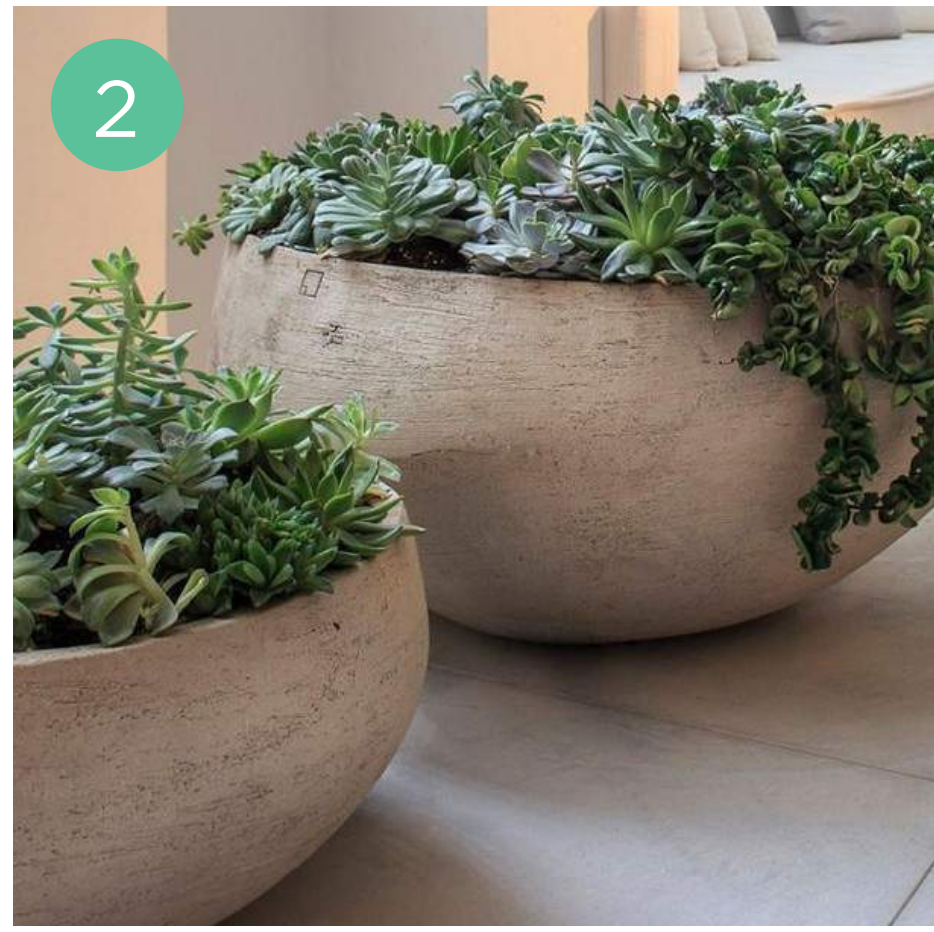
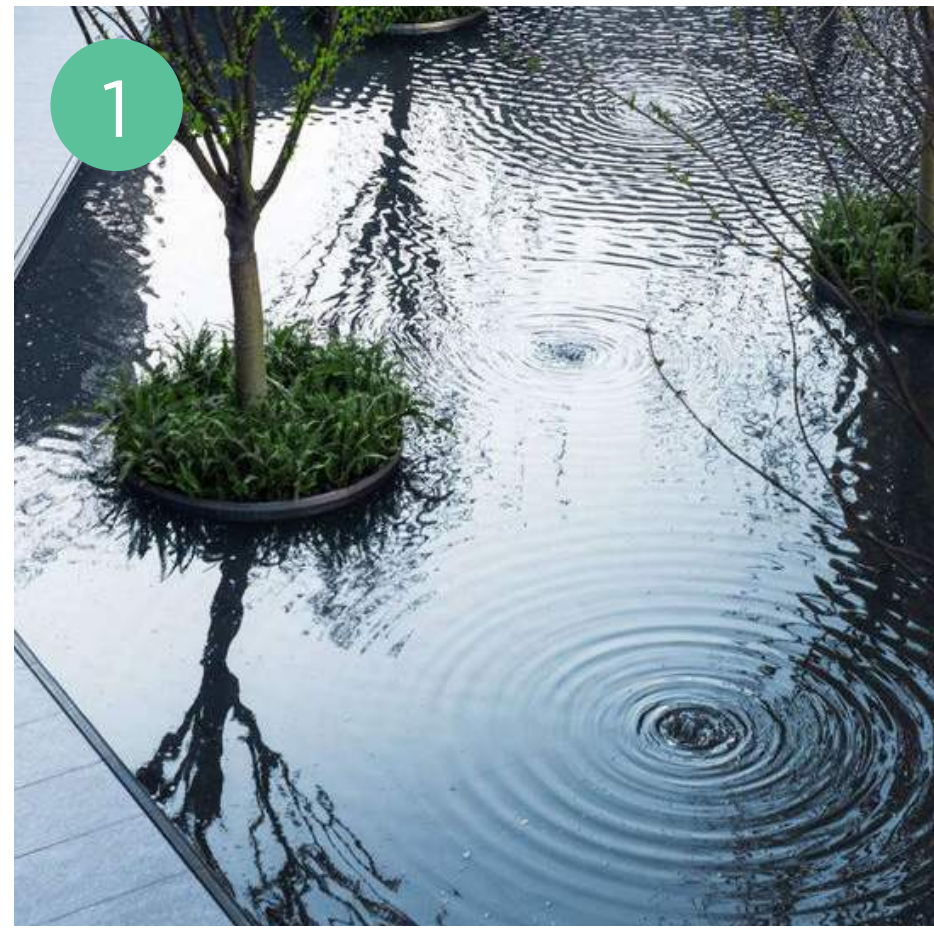
SCALE: 1/8" = 1'-0"



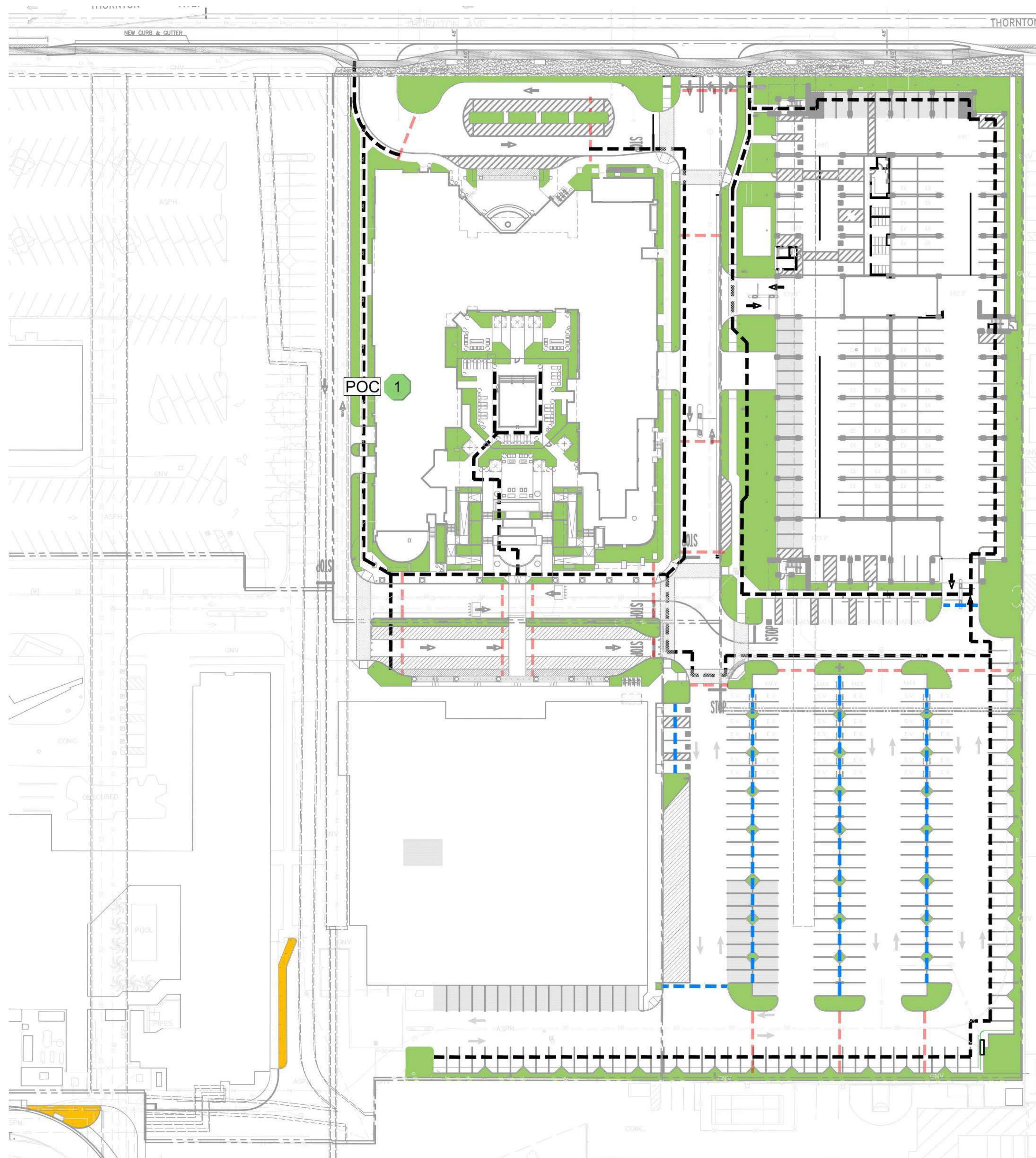
COURTYARD SECTION - ENLARGEMENT

SCALE: 3/16" = 1'-0"









### IRRIGATION SERVICE / SLEEVE LEGEND

SYMBOL	DESCRIPTION
(X)	POINT OF CONNECTION CALLOUT 2" RECYCLED WATER SERVICE / METER SIZE T.B.D.
POC	APPROXIMATE LOCATION OF IRRIGATION POC EQUIPMENT INCLUDING MASTER VALVE AND FLOW SENSOR EQUIPMENT. EQUIPMENT TO BE INSTALLED IN LANDSCAPE AREA, FIELD VERIFY RECYCLED WATER INLET LOCATION.
■	110 V. 1 PH. ELECTRICAL SERVICE - (TO BE DETERMINED) <b>CONTROLLER LOCATIONS NOTE:</b> 1. CONTROLLER LOCATIONS ARE PREFERRED TO BE AS CLOSE TO A POC AS POSSIBLE AND MAY NOT EXCEED A DISTANCE OF 1000' FROM POC
—	2-1/2" RECYCLED WATER IRRIGATION MAINLINE BURIED BELOW GRADE
- - -	ONE (1) 4" CLASS 315 P.V.C. SLEEVE & TWO (2) 3" CLASS 315 P.V.C. SLEEVES AT EACH LOCATION <b>SLEEVING NOTE:</b> THIS SCHEMATIC IRRIGATION PLAN INCLUDES STREET SLEEVING FOR REFERENCE ONLY AND ARE SUBJECT TO CHANGE AS COORDINATION BETWEEN CIVIL AND UTILITY INFRASTRUCTURE CONTINUES TO EVOLVE.
—	DRIVEWAY CROSSING ONE (2) 3" CLASS 315 P.V.C. SLEEVES AT EVERY DRIVEWAY LOCATION

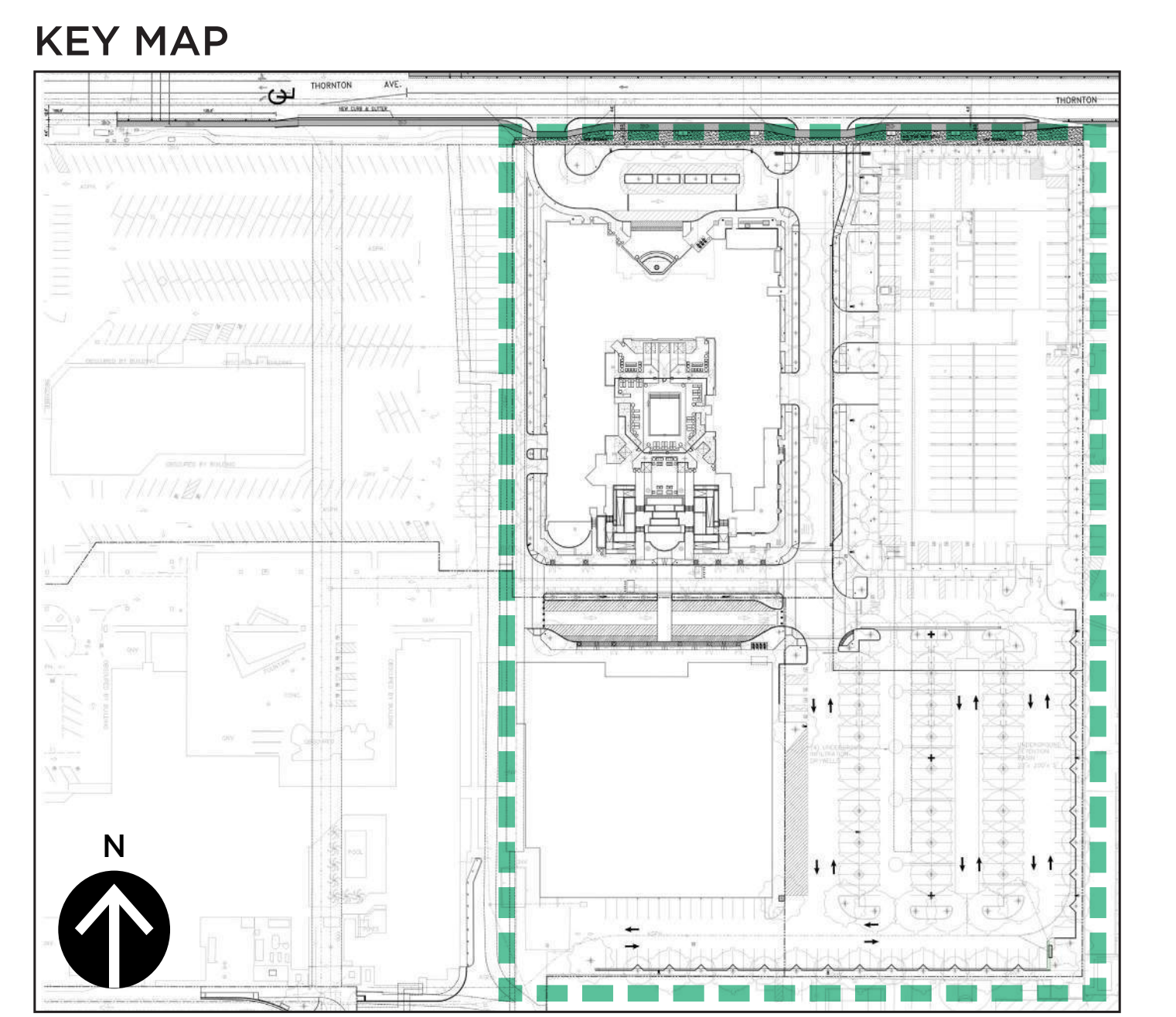
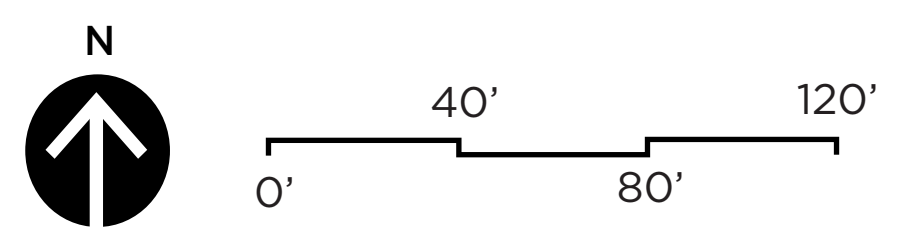
- ### IRRIGATION NOTES:
1. ALL AREAS REQUIRING LANDSCAPE SHALL INCLUDE THE INSTALLATION. TURF AND SHRUB IRRIGATION SYSTEMS SHALL BE IRRIGATED SEPARATELY.
  2. SPRINKLER HEADS ADJACENT TO ALL WALKWAYS AND AREAS OF PEDESTRIAN OR VEHICULAR TRAFFIC SHALL BE SPRING RETRACTABLE TYPES.
  3. POP-UP SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATES,
  4. ALL VALVES SHALL BE WIRED INDEPENDENTLY.
  5. IRRIGATION BACKFLOW PREVENTION DEVICES AND CONTROLLERS SHALL BE LOCATED AND/OR SCREENED WITH APPROPRIATE PLANT MATERIAL TO MINIMIZE VISIBILITY.
  6. DETAIL IRRIGATION PLANS SHALL BE PREPARED BY A LICENSED LANDSCAPE ARCHITECT.
  7. IRRIGATION PLANS SHALL BE SUBMITTED TO THE APPROPRIATE REVIEWING AGENCIES FOR APPROVAL PRIOR TO INSTALLATION.
  8. IRRIGATION DESIGN SHALL COMPLY THE STATE'S LATEST MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
  9. NO OVERHEAD IRRIGATION SHALL BE WITHIN 24" OF NON-PERMEABLE SURFACE.
  10. SUBSURFACE OR LOW-VOLUME IRRIGATION SHALL BE USED FOR IRREGULARLY SHAPED AREAS, OR AREAS LESS THAN 10' IN WIDTH.
  11. ALL EQUIPMENT AND PLANS SHALL CONFIRM TO RECYCLED WATER USE REQUIREMENTS.

### RECYCLED WATER SERVICE LEGEND

POC #	MAINT. RESP.	COMPLETE LANDSCAPE AREA IN SQUARE FEET	GPM	SERVICE SIZE	METER SIZE	PRESSURE ZONE	*HGL	METER ELEVATION	STATIC PRESSURE @ METER	HIGHEST ELEVATION	STATIC PRESSURE @ HIGHEST PT.	STATIC PRESSURE REQUIRED @ METER	PUMP
1	A	40,408 S.F.	65	2"	1 1/2"	PENDING	-	-	-	-	-	-	-

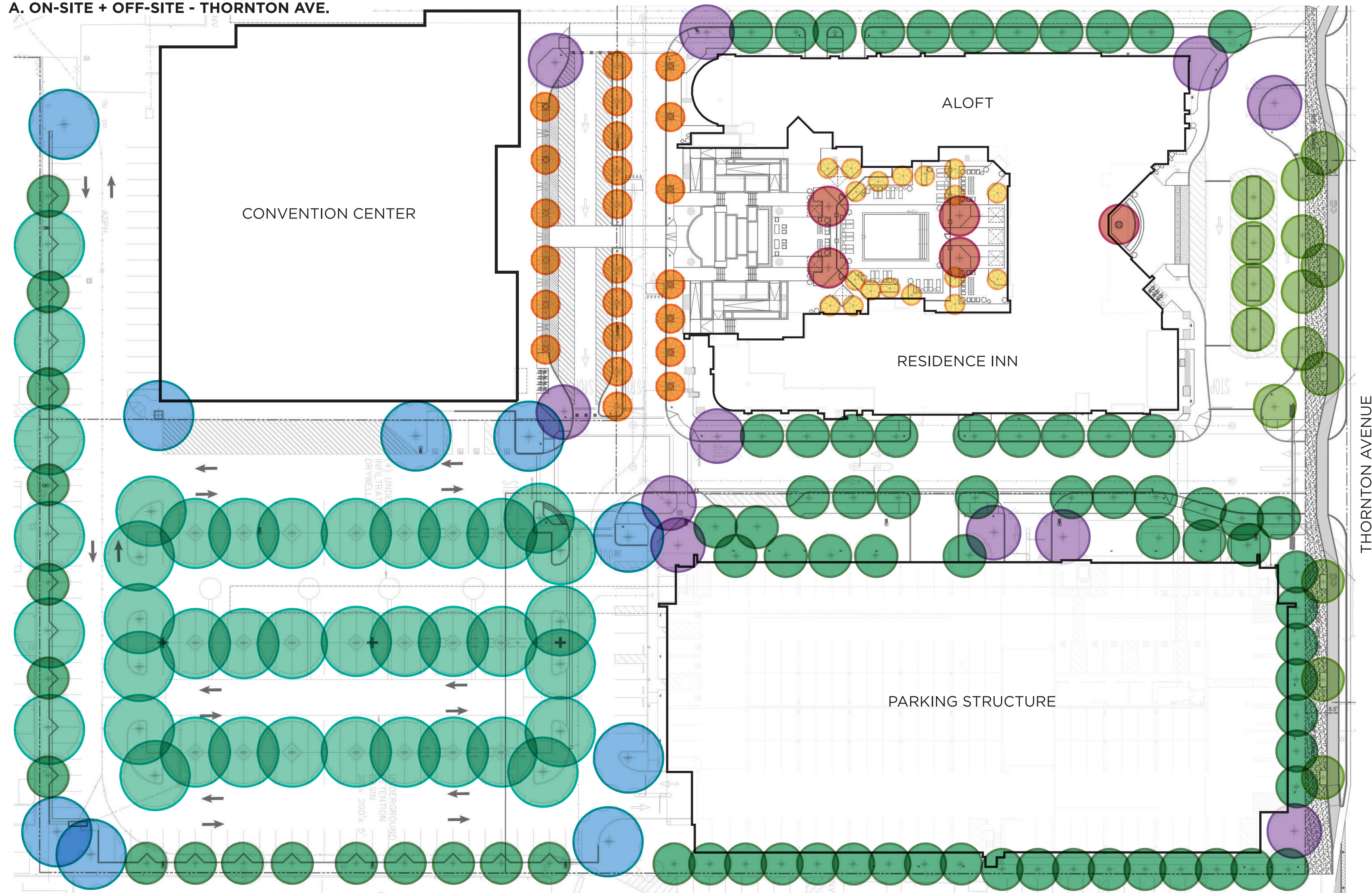
\* NOTES:  
1. Highdraulic Grade Line (HGL) does not guarantee static PSI at meter. The static PSI will be determined when all pipe lines are completed and reviewed by City of Burbank Water and Power.

■ AVON ST. IMPROVEMENTS AND PASEO EXTENSION PLANTER AREAS (986 SF) TO BE CONNECTED TO ADJACENT EXISTING IRRIGATION SYSTEM





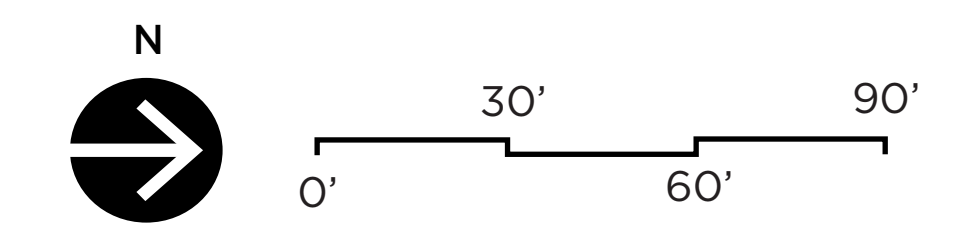
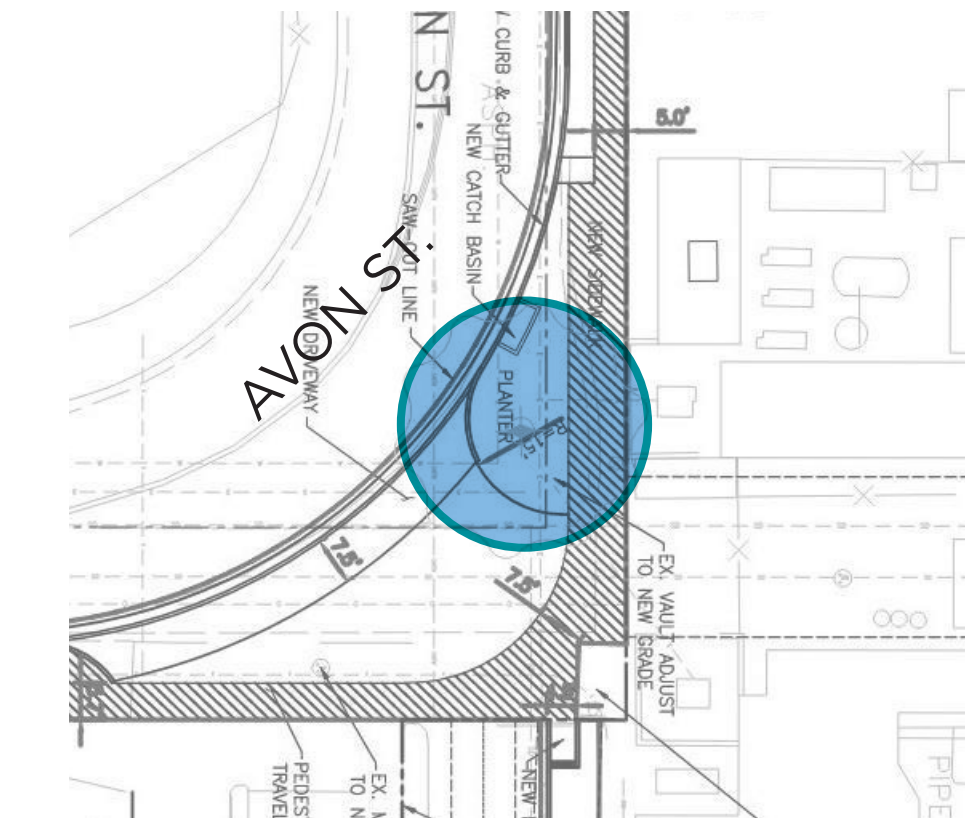
**A. ON-SITE + OFF-SITE - THORNTON AVE.**



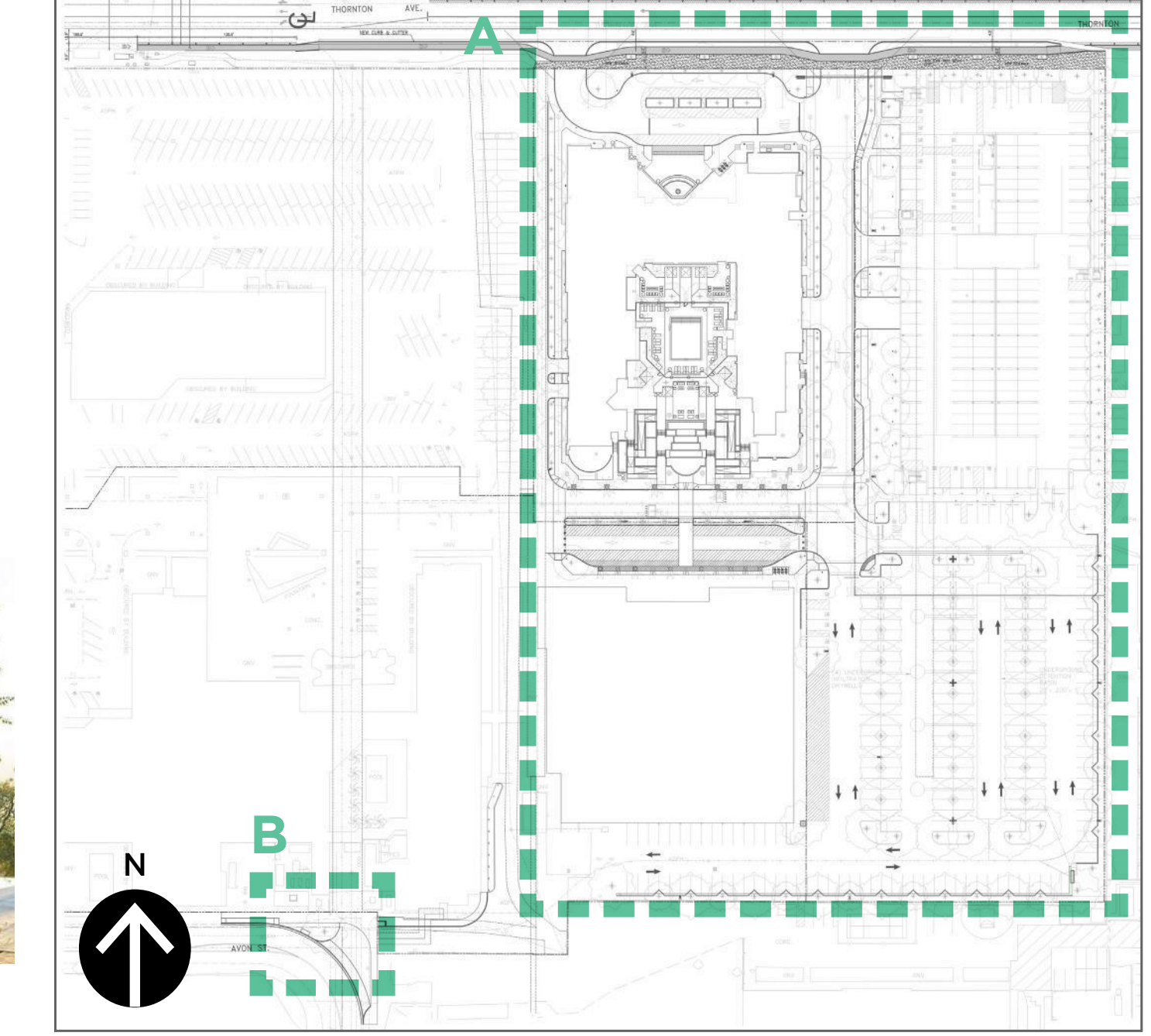
**TREE LEGEND**

SYMBOL	TREE SPECIES	SIZE	WUCOLS
	<i>ARCHONTOPHOENIX CUNNINGHAMIANA</i> KING PALM	36" BOX	MEDIUM
	<i>KOELREUTERIA PANICULATA</i> GOLDEN RAIN TREE	48" BOX	LOW
	<i>LOPHOSTEMON CONFERTUS</i> BRISBANE BOX	48" BOX	MEDIUM
	<i>OLEA EUROPAEA 'SWAN HILL'</i> SWAN HILL FRUITLESS OLIVE	48" BOX	LOW
	<i>PLATANUS RACEMOSA</i> CALIFORNIA SYCAMORE	48" BOX	MEDIUM
	<i>QUERCUS AGRIFOLIA</i> COAST LIVE OAK	48" BOX	LOW
	<i>SYAGRUS ROMANZOFFIANA</i> QUEEN PALM	36" BOX	MEDIUM
	<i>ULMUS PARVIFOLIA</i> LACEBARK ELM	48" BOX	MEDIUM

**B. OFF-SITE - AVON ST.**



**KEY MAP**



*ARCHONTOPHOENIX CUNNINGHAMIANA*  
KING PALM



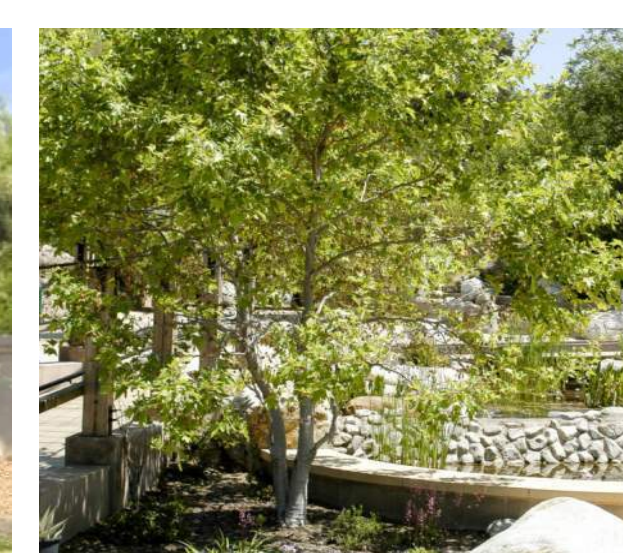
*KOELREUTERIA PANICULATA*  
GOLDEN RAIN TREE



*LOPHOSTEMON CONFERTUS*  
BRISBANE BOX



*OLEA EUROPAEA 'SWAN HILL'*  
SWAN HILL FRUITLESS OLIVE



*PLATANUS RACEMOSA*  
CALIFORNIA SYCAMORE



*QUERCUS AGRIFOLIA*  
COAST LIVE OAK

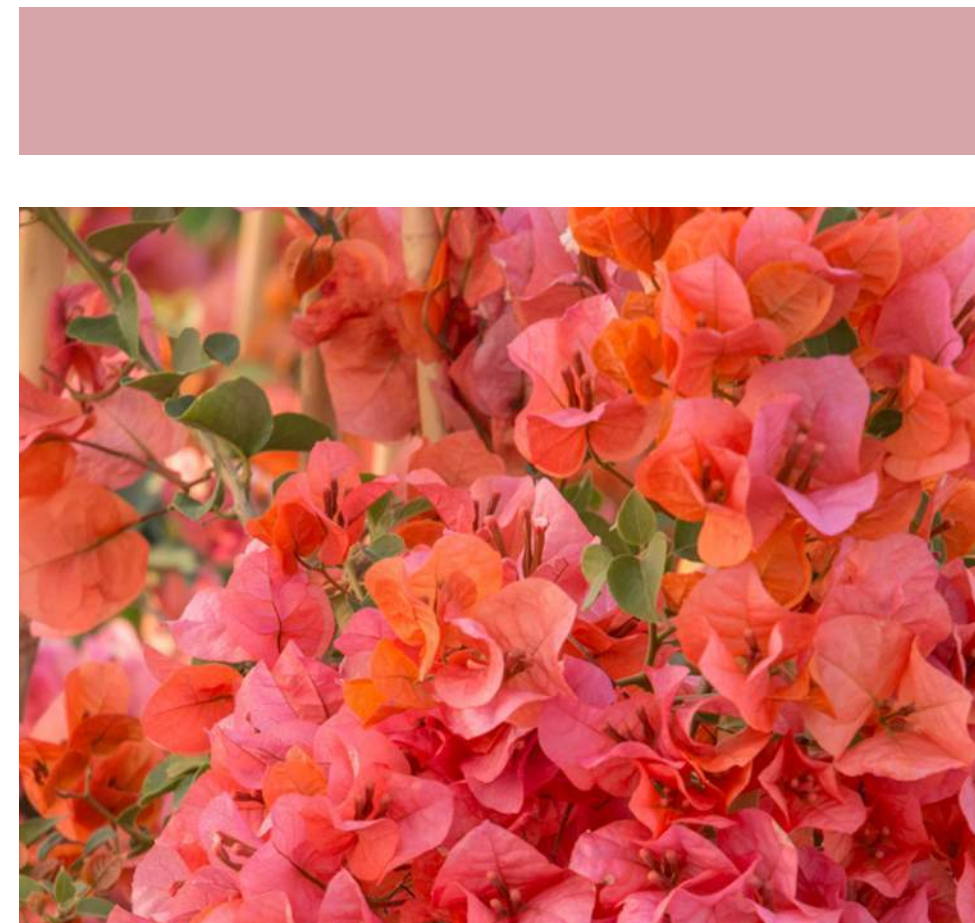


*SYAGRUS ROMANZOFFIANA*  
QUEEN PALM



*ULMUS PARVIFOLIA*  
LACEBARK ELM





*BOUGAINVILLEA 'ORANGE KING'*  
ORANGE KING BOUGAINVILLEA



*CAREX DIVULSA*  
EUROPEAN GREY SEDGE



*SALVIA GREGGII*  
AUTUMN SAGE



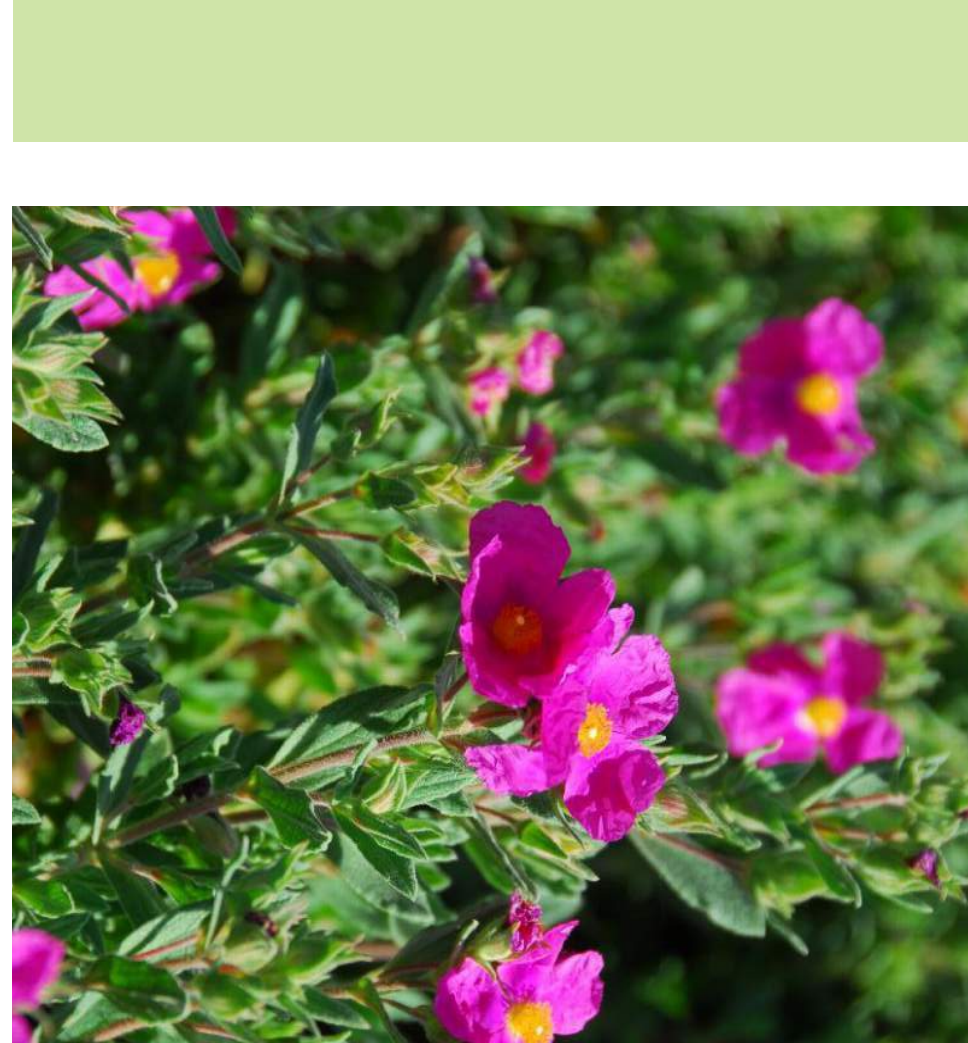
*FRANGULA CALIFORNICA*  
COFFEEBERRY



*LOMANDRA 'PLATINUM BEAUTY'*  
PLATINUM BEAUTY LOMANDRA



*ELAEAGNUS X EBBINGEI*  
EBBING'S SILVERBERRY



*CISTUS X PULVERULENTUS 'SUNSET'*  
SUNSET ROCKROSE



*CRASSULA ARBORESCENS SUBSP. UNDULATIFOLIA*  
RIPPLE JADE



*ALOE ARBORESCENS*  
TORCH ALOE



*MUHLENBERGIA CAPILLARIS 'REGAL MIST'*  
PINK MUHLY



*CISTANTHE GRANDIFLORA*  
ROCK PURSLANE



*AGAVE ATTENUATA*  
FOXTAIL AGAVE



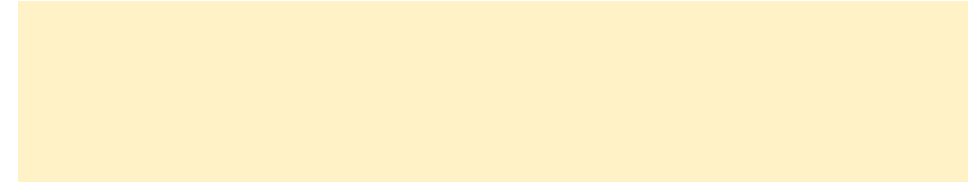
*WESTRINGIA 'BLUE GEM'*  
BLUE GEM COAST ROSEMARY



*ECHVERIA SPP.*  
ECHVERIA VARIETIES



*SALVIA LEUCANTHA*  
MEXICAN BUSH SAGE



*SESLERIA AUTUMNALIS*  
AUTUMN MOOR GRASS



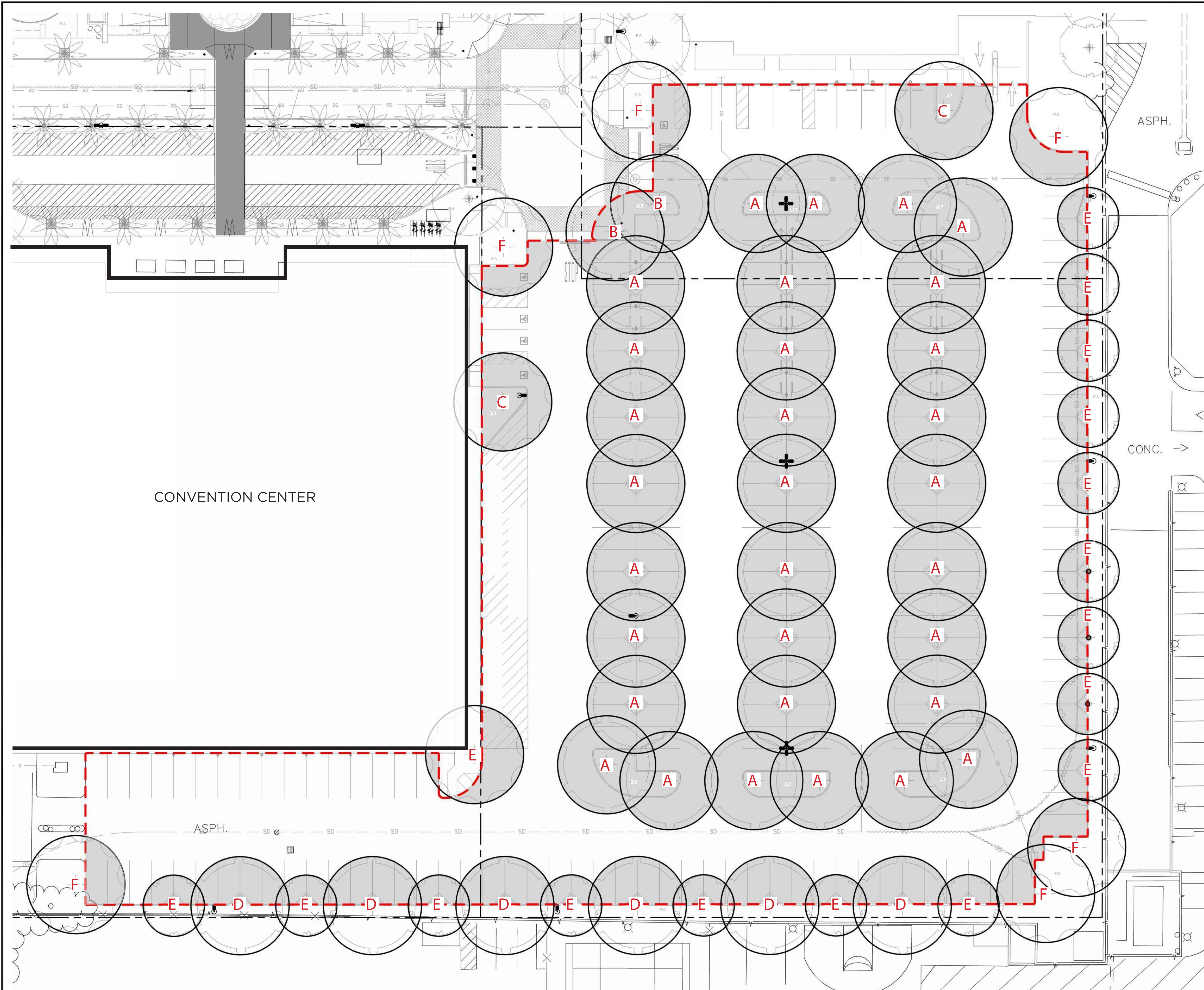
*DIETIES BICOLOR*  
FORTNIGHT LILY

## SHRUB PALETTE

CITY OF BURBANK  
USDA ZONE 10A

SHRUBS	SIZE	WUCOLS
<i>AGAVE ATTENUATA</i> FOXTAIL AGAVE	5 GAL.	LOW
<i>ALOE ARBORESCENS</i> TORCH ALOE	5 GAL.	LOW
<i>ALOE ARBORESCENS 'LUTEA'</i> GOLDEN TORCH ALOE	5 GAL.	LOW
<i>ALOE BARBADENSIS</i> ALOE VERA	5 GAL.	LOW
<i>ARISTIDA PURPUREA</i> PURPLE THREE-AWN	5 GAL.	LOW
<i>BOUGAINVILLEA 'ORANGE KING'</i> ORANGE BOUGAINVILLEA	15 GAL.	MEDIUM
<i>CAREX DIVULSA</i> EUROPEAN GREY SEDGE	5 GAL.	MEDIUM
<i>CISTUS X PULVERENTUS 'SUNSET'</i> SUNSET ROCKROSE	5 GAL.	LOW
<i>CISTANTHE 'GOLLOM'</i> GOLLOM JADE	1 GAL.	LOW
<i>CISTANTHE GRANDIFLORA</i> ROCK PURSLANE	1 GAL.	LOW
<i>CRASSULA ARBORESCENS 'RIPPLE'</i> RIPPLE JADE	1 GAL.	LOW
<i>CRASSULA MULTICAVA</i> FAIRY DUSTER	1 GAL.	LOW
<i>DIANELLA CAERULEA 'CASSA BLUE'</i> BLUE FLAX LILY	5 GAL.	LOW
<i>DIETIES BICOLOR</i> FORTNIGHT LILY	5 GAL.	MEDIUM
<i>ECHVERIA SPP.</i> ECHVERIA	1 GAL.	LOW
<i>ELAEAGNUS X EBBINGEI</i> EBBING'S SILVERBERRY	15 GAL.	MEDIUM
<i>FESTUCA MAIREI</i> ATLAS FESCUE	5 GAL.	L/M
<i>FRANGULA CALIFORNICA</i> COFFEEBERRY	15 GAL.	L/VL
<i>HETEROMELES ARBUTIFOLIA</i> TOYON	15 GAL.	LOW
<i>KALANCHOE BEHARENSIS</i> VELVET ELEPHANT EAR	24" BOX	LOW
<i>LANTANA MONTEVIDENSIS</i> TRAILING LANTANA	5 GAL.	LOW
<i>LANTANA MONTEVIDENSIS 'ALBA'</i> WHITE TRAILING LANTANA	5 GAL.	LOW
<i>LOMANDRA 'PLATINUM BEAUTY'</i> PLATINUM BEAUTY LOMANDRA	5 GAL.	LOW
<i>MUHLENBERGIA CAPILLARIS 'REGAL MIST'</i> PINK MUHLY	5 GAL.	LOW
<i>NANDINA 'GULFSTREAM'</i> DWARF HEAVENLY BAMBOO	5 GAL.	LOW
<i>PACHIRA AQUATICA</i> MONEY PLANT	5 GAL.	MEDIUM
<i>SALVIA GREGGII</i> AUTUMN SAGE	5 GAL.	LOW
<i>SALVIA LEUCANTHA</i> MEXICAN BUSH SAGE	5 GAL.	LOW
<i>SANSEVIERA SPP.</i> SNAKE PLANT	5 GAL.	LOW
<i>SANSEVIERA 'MOONSHINE'</i> MOONSHINE SNAKE PLANT	5 GAL.	LOW
<i>SCHEFFLERA ARBORICOLA</i> UMBRELLA PLANT	5 GAL.	MEDIUM
<i>SESLERIA AUTUMNALIS</i> AUTUMN MOOR GRASS	5 GAL.	LOW
<i>WESTRINGIA 'BLUE GEM'</i> BLUE GEM COAST ROSEMARY	15 GAL.	LOW





**SURFACE PARKING CALCULATIONS**

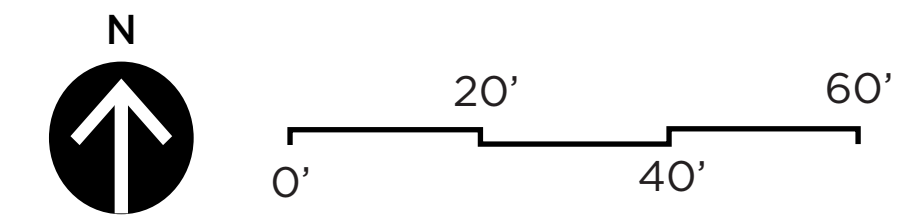
Symbol/Type	Plant Name	Count	% Shade
A	<i>Ulmus parviflora</i> Laceback Elm	31	100%
B	<i>Ulmus parviflora</i> Laceback Elm	2	75%
C	<i>Ulmus parviflora</i> Laceback Elm	6	50%
D	<i>Platanus racemosa</i> California Sycamore	2	75%
E	<i>Platanus racemosa</i> California Sycamore	1	50%
F	<i>Platanus racemosa</i> California Sycamore	6	25%
G	<i>Lophostemon confertus</i> Brisbane Box	16	50%

**TOTAL SHADED TREE AREA PROVIDED: 45,012 SF**

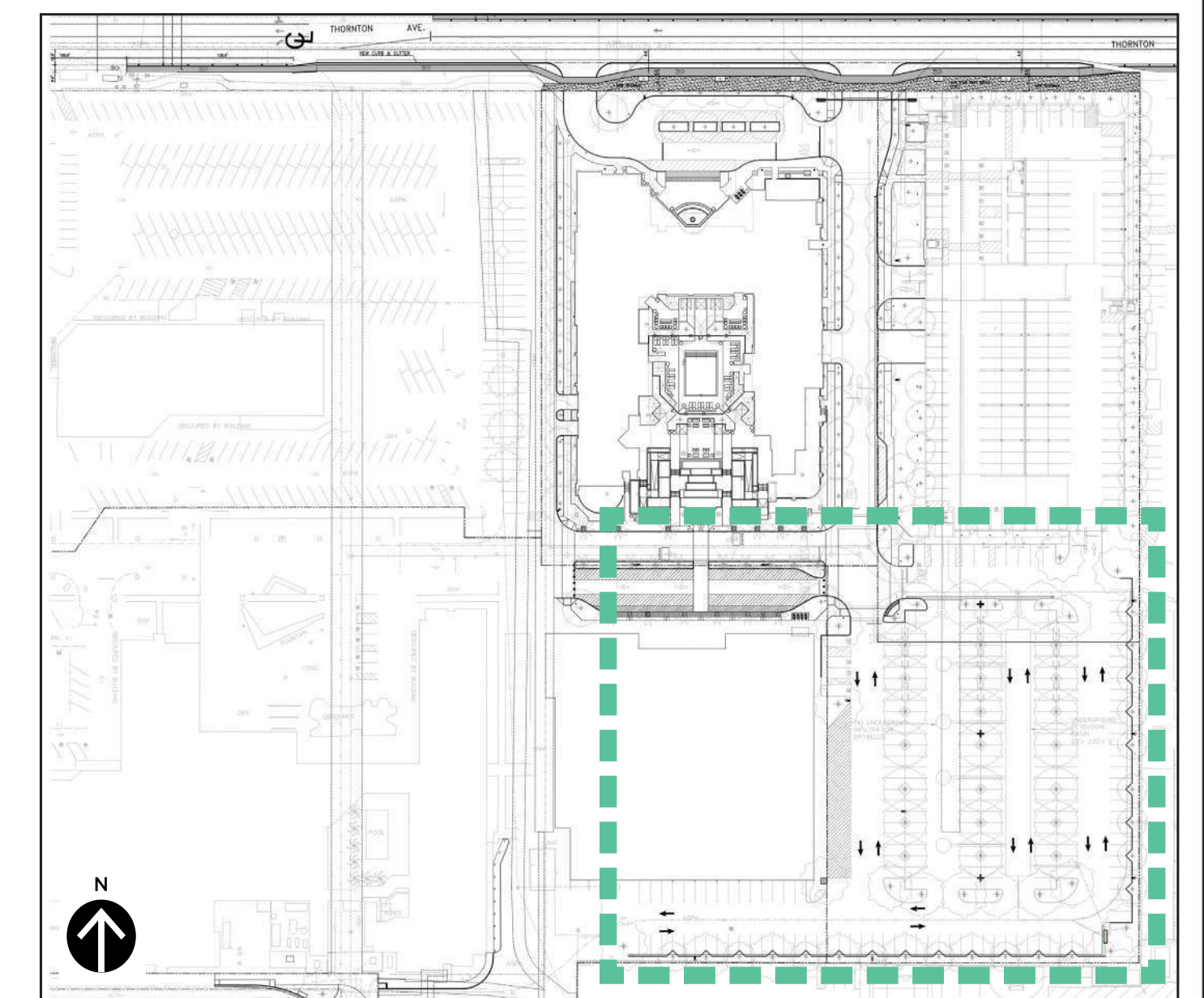
(TOTAL UNSHADED PARKING AREA: 41,753 SF)

**TOTAL PARKING SPACE AREA: 86,765 SF**

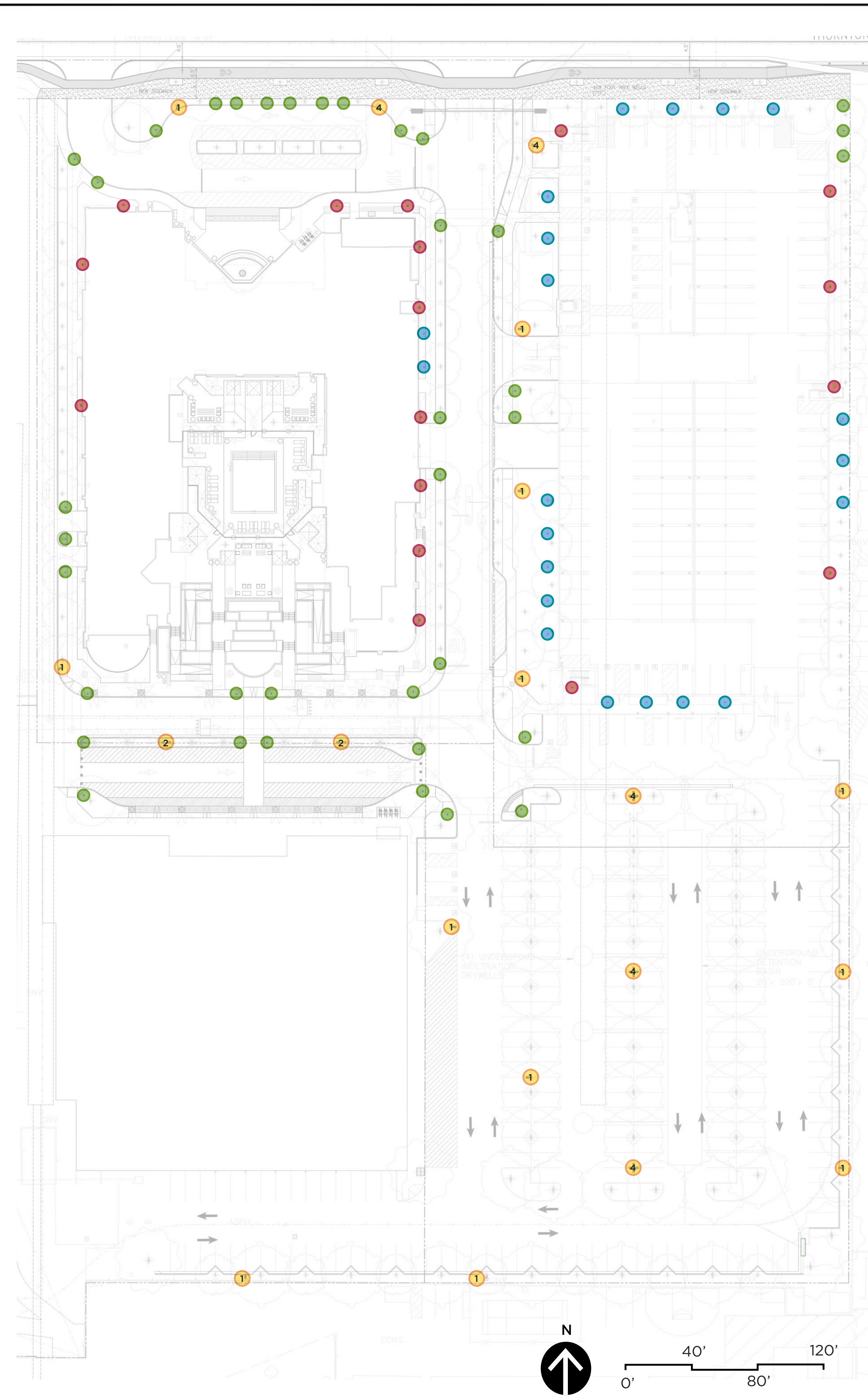
TOTAL SHADE TREE AREA REQUIRED: **52%**



**KEY MAP**







# LIGHTING FIXTURE LEGEND

- 1 POLE-TOP (SINGLE)
- 2 POLE-TOP (TWIN)
- 4 POLE-TOP (4X)
- B BOLLARD
- F FLOOD LIGHT
- W WALL LIGHT

# FIXTURE CUTSHEETS

### POLE-TOP

#### D-Series Size 1 LED Area Luminaire

**Specifications**  
 EPA: 0.69 ft  
 Length: 32.71"  
 Width: 14.26"  
 Height H1: 2.88"  
 Height H2: 2.22"  
 Weight: 10.8 lbs

**Introduction**  
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 45% and expected service life of over 100,000 hours.

Series	LED	Beam Spread	Color Temperature	CEC	Distribution	Height	Mounting
DS01 LED	Asymmetric	100°	3000K	70CRI	WFL	30'-0"	Shipped included
	Symmetric	100°	3000K	70CRI	WFL	30'-0"	Shipped included
	Asymmetric	100°	4000K	70CRI	WFL	30'-0"	Shipped included
	Symmetric	100°	4000K	70CRI	WFL	30'-0"	Shipped included

### BOLLARD

#### KBD8 LED LED Specification Bollard

**Specifications**  
 Height: 42"  
 Weight (max): 27 lbs

**Introduction**  
 The KBD8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBD8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Series	LED	Beam Spread	Color Temperature	CEC	Distribution	Height	Mounting
KBD8 LED	Asymmetric	100°	3000K	70CRI	WFL	30'-0"	Shipped included
	Symmetric	100°	3000K	70CRI	WFL	30'-0"	Shipped included
	Asymmetric	100°	4000K	70CRI	WFL	30'-0"	Shipped included
	Symmetric	100°	4000K	70CRI	WFL	30'-0"	Shipped included

### FLOOD LIGHT

#### D-Series DSXF2 LED Floodlight

**Specifications**  
 EPA @ 90°: 0.8 ft  
 Depth: 4.32"  
 Height: 7.83"  
 Overall Height: 15.33"  
 Weight: 12.0 lbs

**Introduction**  
 The D-Series Floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series Flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mounting and three color temperatures, D-Series Floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF2 delivers 7,000 to 17,000 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 175W, 250W and 400W HID Floodlights. All configurations are assembled in the USA, allowing for quick delivery.

Series	LED	Beam Spread	Color Temperature	CEC	Distribution	Height	Mounting
DS02 LED	Asymmetric	100°	3000K	70CRI	WFL	30'-0"	Shipped included
	Symmetric	100°	3000K	70CRI	WFL	30'-0"	Shipped included
	Asymmetric	100°	4000K	70CRI	WFL	30'-0"	Shipped included
	Symmetric	100°	4000K	70CRI	WFL	30'-0"	Shipped included

### WALL LIGHT

#### WEDGE1 LED Architectural Wall Sconce

**Specifications**  
 Depth (D1): 5.5"  
 Depth (D2): 1.5"  
 Height: 8"  
 Width: 9"  
 Weight: 9 lbs

**Introduction**  
 The WEDGE1 family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solutions.

WEDGE1 delivers up to 2,000 lumens with a soft, non-polluted light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

Lumens	Standard (EM, FT)	Color Temp.	CEC	Series	Height	Width	Depth
1,200	W1	3000K	70CRI	W1	8"	9"	5.5"
2,000	W2	3000K	70CRI	W2	8"	9"	5.5"
4,000	W4	3000K	70CRI	W4	8"	9"	5.5"
12,000	W12	3000K	70CRI	W12	8"	9"	5.5"

### ARC2 LED Architectural Wall Luminaire

**Specifications**  
 Depth (D1): 9.25"  
 Depth (D2): 7.5"  
 Height: 5"  
 Width: 14"  
 Weight: 11 lbs

**Introduction**  
 The Lithonia Lighting ARC2 LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 4,500 lumens with a soft, non-polluted light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8V cold temperature option, making it suitable for pedestrian scale applications in any environment.

Lumens	Standard (EM, FT)	Color Temp.	CEC	Series	Height	Width	Depth
1,500	A1	3000K	70CRI	A1	5"	14"	9.25"
2,000	A2	3000K	70CRI	A2	5"	14"	9.25"
3,000	A3	3000K	70CRI	A3	5"	14"	9.25"
4,500	A4	3000K	70CRI	A4	5"	14"	9.25"

# KEY MAP

