

NORTH

**LEGENDS :**

- (E) EXISTING
- (N) NEW
- PROPERTY LINE
- [Hatched] HATCHED AREA SHOW NEW 2ND FLR. HOUSE ADDITION
- [Hatched] HATCHED AREA SHOW NEW 1ST FLR. HOUSE ADDITION
- [Hatched] HATCHED AREA SHOW NEW ADDITION TO EXISTING GARAGE

**GENERAL NOTES :**

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 NEW EDITION OF THE CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION INCLUDING BURBANK BLDG. & SAFETY CODE.
- WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- "NO MATERIALS" SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- NO NEW ROOF TOP EQUIPMENT IS ALLOWED.
- THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THIS LOT OR WITHIN 20 FEET OF THE LOT. (CRC SECTION R106.1.1)
- INSTALL 6" SISALKRAFT FLASHING AT EXTERIOR OPENING.
- ALL DIMENSIONS ARE GIVEN FROM FACE TO FACE OF STUDS U.N.O.
- CONTRACTOR TO MAINTAIN CITY STREET AND SIDEWALKS CLEAR OF DIRT AND DEBRIS AT ALL TIMES.
- PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASED SHEATHING PRIOR TO EXTERIOR LATH APPLICATION
- THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCES OR STATE LAW.
- ALL WALLS TO BE 1-HOUR RATED U.N.O.
- ALL WORKS SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THIS PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO INSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
- THE FOLLOWING LOCATION SHALL BE PROVIDED WITH SAFETY GLAZING (2406.4 VOL. 1, CBC 2016).
  - ALL GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOL, SAUNAS, STEAM ROOM, BATH TUBS & SHOWER EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE OR DRAIN INLET
  - ALL GLAZING WITHIN 24" INCHES OF A DOOR AND WITHIN 60" INCHES OF THE FLOOR.
  - GLASS OVER 9 SQ. FT. IN AREA WITHIN 18" OF THE FLOOR OR 36" INCHES OF GRADE AND GLASS DOOR AND WALL PANELS.
- ALL WINDOW GLASS ARE TO BE DUAL TYPE UNLESS OTHERWISE STATED

- S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. \* A SMOKE DETECTOR SHALL BE WIRED TO THE BLDG ELECTRICAL SYSTEM AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND SHALL BE CAPABLE OF SOUNDING AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE HOUSE (PROVIDE INTERCONNECTION) (2016 CBC (PROVIDE SMOKE DETECTORS IN :
  - EACH SLEEPING ROOM
  - IN THE ADJACENT AREA OR HALLWAY GIVING ACCESS TO THE BEDROOMS
  - ON EACH LEVEL AND IN THE BASEMENT
  - AT THE TOP AND BOTTOM OF THE STAIRWELLS
  - WHERE CEILING HEIGHTS OF ROOMS OPEN TO THE HALLWAY SERVING A BEDROOM EXCEEDS THE HALLWAY CEILING HEIGHTS 24" OR MORE, SMOKE DETECTOR SHALL ALSO BE PROVIDED IN THE ADJACENT ROOM.
- A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA AND SHALL BE INSTALLED PRIOR TO EXCAVATION AND / OR FOUNDATION TRENCHING. (BMC 9-1-1-3302.3).
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-1-3305).
- RETAINING WALLS, POOLS, SPAS, AND JACUZZIS, FENCE & PATIO COVERS REQUIRE A SEPARATE PERMIT.

**HERS FEATURE SUMMARY**  
 THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERSTESTER AS A CONDITION FOR MEETING THE MODELLED ENERGY PERFORMANCE FOR THIS COMPLETE ANALYSIS. ADDITIONAL DETAIL IS PROVIDED IN THE BUILDING LABELS BELOW. REGISTERED CF2S AND CF3S ARE REQUIRED TO BE COMPLETED IN THE HERSTESTER REGISTER.

- BUILDING -LEVEL VERIFICATIONS :
  - NONE
- COOLING SYSTEM VERIFICATIONS :
  - NONE
- HEATING SYSTEM VERIFICATIONS :
  - NONE
- HVAC DISTRIBUTION SYSTEM VERIFICATIONS :
  - NONE
- DOMESTIC HOT WATER SYSTEM VERIFICATIONS :
  - NONE

**HERS VERIFICATION REQUIREMENTS :**  
 FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION :  
 NAME : TEO TOMASIAN LICENSE NO. : N/A  
 HERSTests.com

**PW-SEWER NOTES :**

- BEFORE APPROVAL FROM THE PUBLIC WORKS WASTEWATER DIVISION CAN OCCUR BACKWATER VALVE TO BE INSTALLED ON PRIVATE BUILDING SEWER PER BMC 8-1-313 AND REQUIREMENTS OF THE CITY'S CDD-BUILDING DEPARTMENT. IT IS NOTED AND ACKNOWLEDGE THAT CITY STAFF WILL NOT SIGN OFF ON THE FINAL BUILDING PERMIT APPROVAL AND / OR CERTIFICATE OF OCCUPANCY UNTIL THE OWNER DEVELOPER PROVIDES PROOF THAT THE BACKWATER VALVE(S) HAVE BEEN INSTALLED. ANY EXISTING FIXTURES OR CONNECTION TO THE SEWER MAIN LINE MUST BE CAPPED BEFORE BUILDING DEMOLITION ACTIVITIES OCCUR. PER BMC 9-3-407 BEST MANAGEMENT PRACTICES SHALL APPLY TO ALL CONSTRUCTION PROJECTS. AND SHALL BE REQUIRED FROM THE TIME OF LAND CLEARING DEMOLITION OR COMMENCEMENT OF CONSTRUCTION UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY.



**2 LOCATION / VICINITY MAP**  
NOTE TO SCALE

**PROJECT DESCRIPTION**

**PROJECT TITLE :** FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

**ADDRESS :** 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

**OWNER :** MARINA ISOUNT  
**LOT AREA :** 12,750 SQ. FT. (MAX. FLR. AREA = 7,500 X 0.4) + (5,250 X 0.3) = 4,575 SQ. FT.

**BUILDING CODE :** COMPLY W/ 2019 CBC, CRC, CPC, CMC, CEC, CEC, CEC, CEC, CEC AND 2020 GBSC (GLENDALE BUILDING STANDARD CODE)

**PROJECT DATE :** YEAR 2020  
**ZONING :** R-1 (HILLSIDE) ZONE

**TOTAL AREA OF EACH OCCUP. CL. / BLDG. STRUCTURE :**  
 PROPOSED :  
 PROPOSED TOTAL FIRST FLOOR HOUSE : 2,236.38 SQ. FT.  
 PROPOSED TOTAL SECOND FLOOR HOUSE : 1,249.5 SQ. FT.  
 PROPOSED COVERED ENTRY PORCH : 108.21 SQ. FT.  
 PROP. COVERED PATIO (AFTER ADDITION) : 70.74 SQ. FT.  
 PROPOSED 3 CAR GARAGE : 630 SQ. FT. (500 S.F. EXEMPT)

**TOTAL PROPOSED FLR. AREA :** 3,794.83 SQ. FT. < 4,575 S.F. (MAX.)  
**PROP. SECOND FLR. BALCONY :** 329 SQ. FT.

**EXISTING (DEMOLISH) :**  
 EXISTING FIRST FLOOR : 2,101.28 SQ. FT.  
 EXISTING SECOND FLOOR : 614.55 SQ. FT.  
**TOTAL EXISTING FIRST & SECOND FLOOR AREA :** 2,715.83 SQ. FT.  
 EXIST'G. COVERED ENTRY PORCH : 108.21 SQ. FT.  
 EXIST'G. REAR COVERED PATIO : 205.98 SQ. FT.  
 EXIST'G. 2 CAR GARAGE : 473 SQ. FT. (500 S.F. EXEMPT)

**TOTAL EXIST'G. FLR. AREA (DEMOLISH / REMOVE) :** 3,030.02 SQ. FT. < 4,575 S.F. (MAX.)

**PROPOSED FLR. AREA RATIO :** 3,794.83 SQ. FT. / 12,750 SQ. FT. = 29.76 %  
**EXIST'G. FLR. AREA RATIO :** 3,030.02 SQ. FT. / 12,750 SQ. FT. = 23.76 %  
**PROPOSED LOT COVERAGE :** 2,045.5 SQ. FT. / 12,750 SQ. FT. = 23.89 %  
**EXIST'G. LOT COVERAGE :** 2,885 SQ. FT. / 12,750 SQ. FT. = 22.65 %

**PROPOSED NOS. OF STORY :** 2- STORY HOUSE SINGLE FAMILY HOUSE  
**TYPE OF CONSTRUCTION :** TYPE V B  
**PROPOSED BLDG. HEIGHT :** PROPOSED HOUSE = 25'-0.25" EXISTING GARAGE = 13'-0" (RETAINED)

**REQUIRED :** NO SPRINKLER (EXISTING HOUSE NO SPRINKLER) NOT REQUIRED FULLY SPRINKLER REQUIRED FOR GARAGE

**ARCHITECTURAL STYLE :** PROPOSED : CONTEMPORARY SPANISH (RETAINED)  
 EXISTING : CONTEMPORARY SPANISH

**LEGAL DESCRIPTION**

ASSESSORS PARCEL NO. : 5608 -030-027  
 VILLA LOTS IN BURBANK SE 85 FT OF SW 150 FT OF LOT 14

**CONSULTANT**

**BLDG. DESIGNER :** V J & ASSOCIATES  
 ADDRESS : 1224 E. BROADWAY, SUITE 202, GLENDALE, CA. 91205  
 TEL. : 818 - 956 - 0570 FAX : 818 - 956 - 0571

**STRUCT'L. ENGR' :** EPHEN S. TORRES  
 ADDRESS : 1224 E. BROADWAY, SUITE 202, GLENDALE, CA. 91205  
 TEL. : 818 - 956 - 0570 FAX : 818 - 956 - 0571

**SHEET INDEX**

DRWG. NO.	DRAWING TITLE	STRUCTURAL
A-1	SITE DEV'T. PLAN, PROJECT DESCRIPTION, LEGAL DESC., CONSULTANT, SHEET INDEX	
A-1	SCOPE OF WORKS, NOTES, VICINITY MAP & LOCATION PLAN	
A-1.1	(EXISTING) FIRST FLOOR PLAN / SITE PLAN, LEGENDS & NOTES	
A-1.2	(EXISTING) SECOND FLOOR PLAN / SITE PLAN, BASEMENT / CRAWL SPACE PLAN, EXIST'G. BASEMENT / CRAWL SPACE PLAN, NEW STAIR RELOCATION, LEGENDS & NOTES	
A-1.3	(EXISTING) BUILDING ELEVATIONS, LEGENDS & NOTES	
A-1.4	(EXISTING) PROJECT SIGN & VEHICLES NOTES	
A-1.5	(EXISTING) PROPOSED 2-STORY HOUSE / GARAGE	
A-2	PROPOSED 2-STORY HOUSE / GARAGE	
A-3	PROPOSED FIRST FLOOR PLAN / SITE PLAN, LEGENDS & NOTES	
A-3.1	PROPOSED 3 CAR GARAGE	
A-4	PROPOSED SECOND FLOOR PLAN, LEGENDS & NOTES	
A-5	PROPOSED ROOF PLAN, LEGENDS & NOTES	
A-6	PROPOSED BUILDING ELEVATIONS, LEGENDS & NOTES	
A-7	PROPOSED BUILDING ELEVATIONS, LEGENDS & NOTES	
A-8	SCHEDULE OF DOORS & WINDOW, FINISHES & NOTES	
A-9	WINDOW DETAILS	
A-10	BUILDING SECTIONS, AVERAGE SETBACK CALC.	
D-1	DEMOLITION PLAN HOUSE FIRST FLR. & GARAGE	S-1 STRUCTURAL NOTES
D-2	DEMOLITION PLAN HOUSE SECOND FLR. & BASEMENT	S-2.1 STRUCTURAL DETAILS
D-3	DEMOLITION ELEVATIONS (HOUSE & GARAGE)	S-2.2 STRUCTURAL DETAILS
D-4	DEMOLITION ELEVATIONS (HOUSE & GARAGE)	S-2.3 STRUCTURAL DETAILS
1	DEMOLITION ELEVATIONS (HOUSE & GARAGE)	S-2.4 STRUCTURAL DETAILS
1	TOPOGRAPHIC / SURVEY MAP	S-2.5 STRUCTURAL DETAILS
CG-1	CAL GREEN NOTES & REQUIREMENTS	S-2.6 STRUCTURAL DETAILS
CG-2	CAL GREEN NOTES & REQUIREMENTS	S-3 FOUNDATION PLAN
CG-3	CAL GREEN NOTES & REQUIREMENTS	S-4 SECOND FLR. & LOW ROOF FRAMING PLAN
T24-A	TITLE 24 ENERGY CALCULATIONS	
T24-B	TITLE 24 ENERGY CALCULATIONS	S-5 ROOF FRAMING PLAN

**SCOPE OF WORK**

- FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY.
- EXISTING POOL RETAINED - PART OF EXISTING POOL REPAIR. PER SITE PLAN ABOVE.
- SEE REST OF THE DRAWINGS FOR MORE INFORMATION.

Revisions	By

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**V J & ASSOCIATES**  
 building design • planning • interior  
 1224 E. BROADWAY, SUITE 105,  
 Glendale, CA 91205  
 (818) 956-0570

**PROJECT TITLE :** FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

**PROJ. ADD :** 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

**OWNER :** MARINA ISOUNT  
 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

**DRWG. TITLE :** INDEX, VICINITY MAP, SCOPE OF WORKS, GEN. NOTES & DETAILS

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

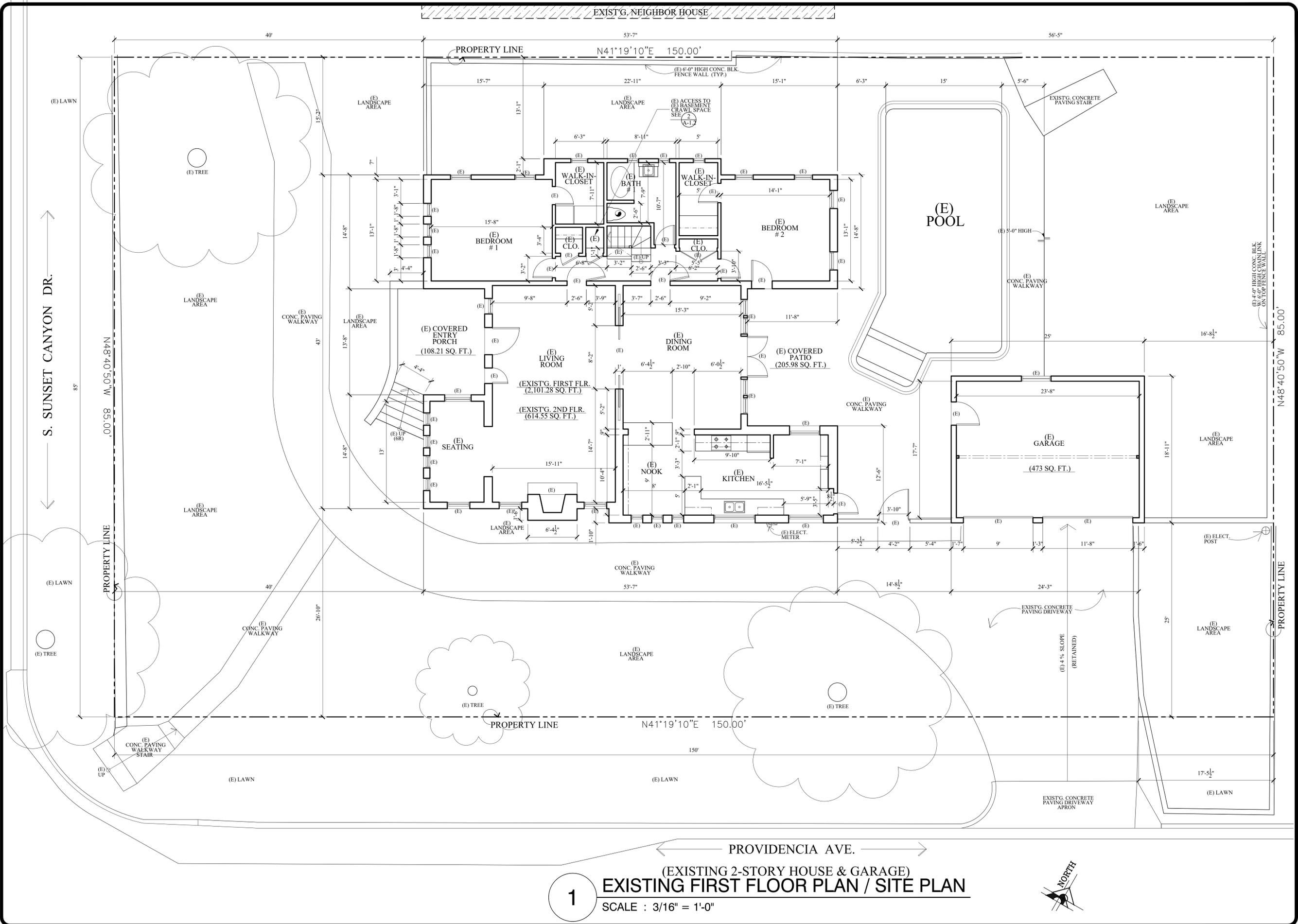
Date  
**SEPT. 29, 2023**

Scale  
**1/8" = 1'-0"**

Job No.

Sheet No.  
**A-1**

of Sheets



**1** (EXISTING 2-STORY HOUSE & GARAGE)  
**EXISTING FIRST FLOOR PLAN / SITE PLAN**  
 SCALE : 3/16" = 1'-0"

Revisions	By

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**V J & ASSOCIATES**  
*building design • planning • interior*

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 (818) 956-0570

PROJ. TITLE : **FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY**

PROJ. ADDR. : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : (EXISTING HOUSE & GARAGE) EXISTG. / AS BUILT FIRST FLR. PLAN / SITE PLAN, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

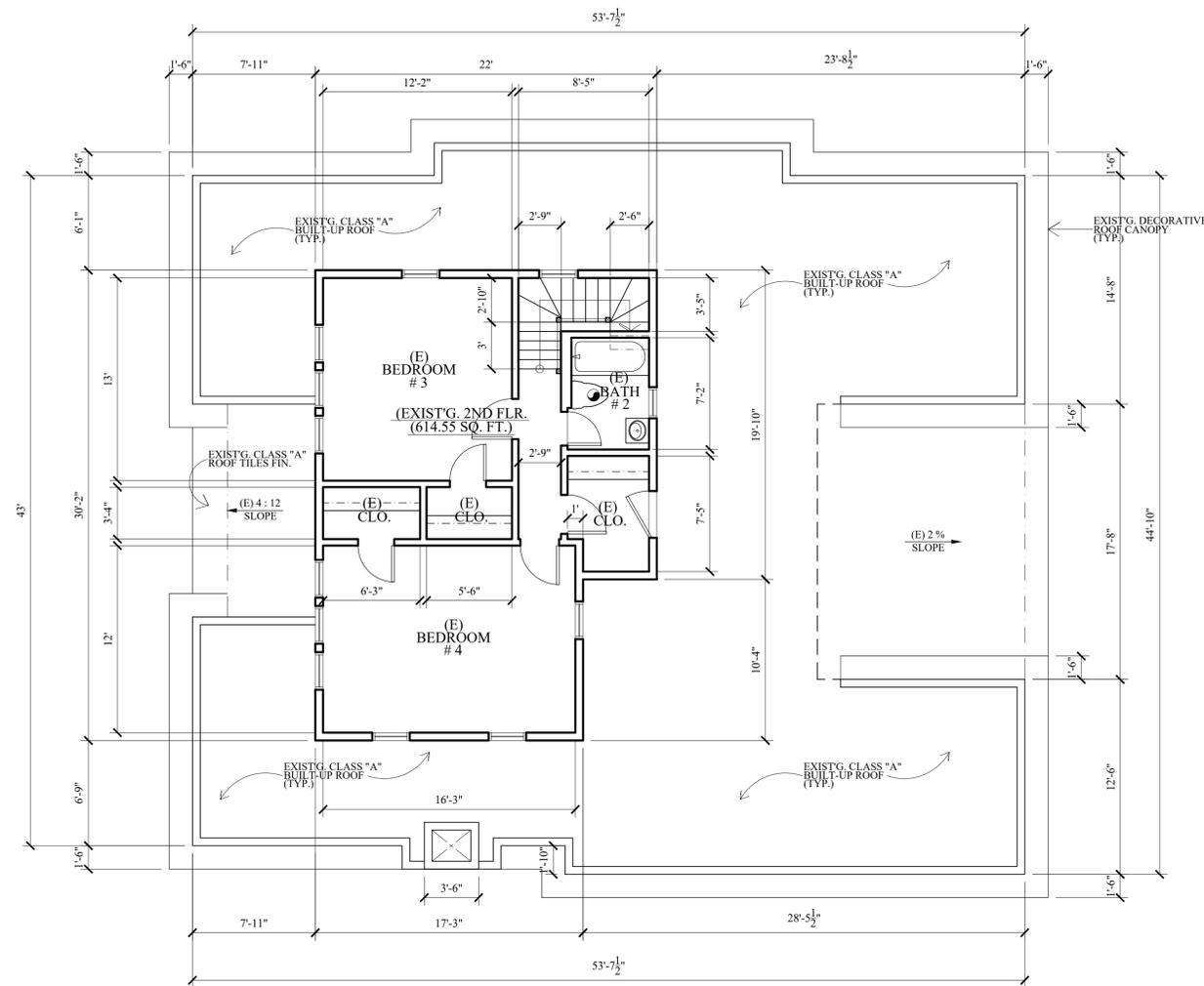
Date  
**SEPT. 10, 2023**

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**3/16" = 1'-0"**

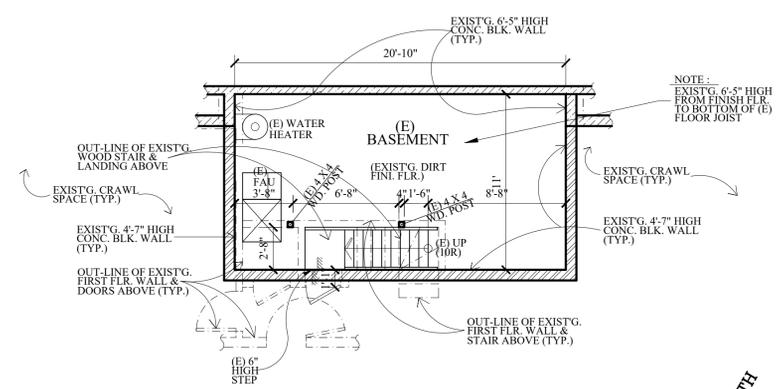
Job No.

Sheet No.  
**A-1.1**

of  Sheets



(EXISTING 2-STORY HOUSE)  
**1 EXISTING SECOND FLOOR PLAN**  
 SCALE : 3/16" = 1'-0"



(EXISTING 2-STORY HOUSE)  
**2 EXIST'G. BASEMENT CRAWL SPACE PLAN**  
 SCALE : 3/16" = 1'-0"

**NOTES :**

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**LEGENDS :**

(E) EXISTING

Revisions	By

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 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT  
 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE : EXIST'G. / AS-BUILT SECOND FLOOR PLAN, EXIST'G. BASEMENT  
 PEAN LEIBSON & NOTES

Drawn by  
 NEIL A.

Checked by  
 V. J.

Date  
 SEPT. 10, 2023

Scale  
 3/16" = 1'-0"

Job No.

Sheet No.  
**A-1.2**

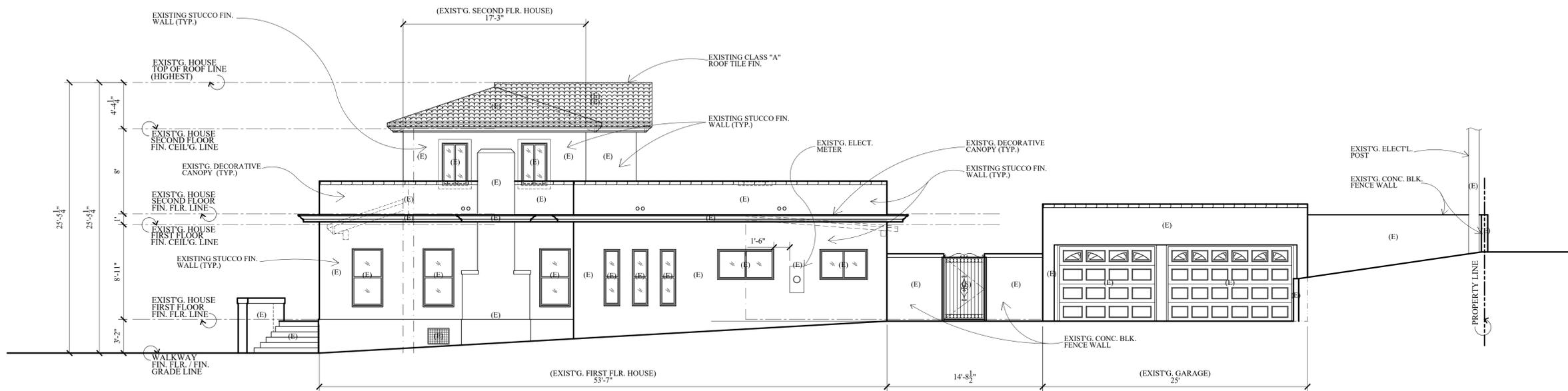
of  
 Sheets

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**LEGENDS :**  
 (E) EXISTING



**1** EXISTING FRONT / WEST ELEVATION  
 SCALE : 3/16" = 1'-0"



**2** EXISTING RIGHT SIDE / SOUTH ELEVATION  
 SCALE : 3/16" = 1'-0"

Revisions	By

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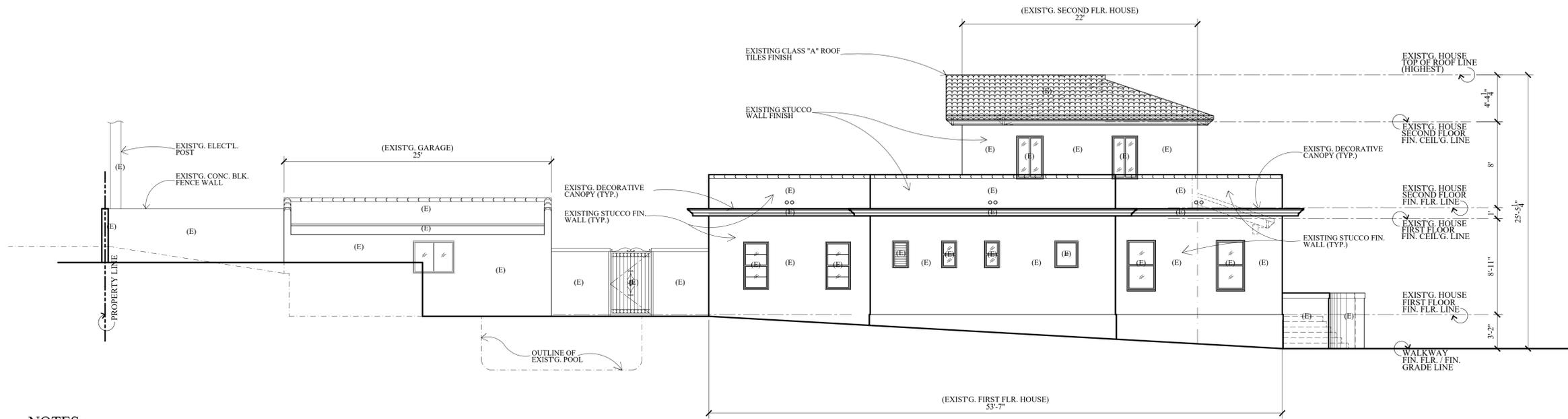
**V J & ASSOCIATES**  
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1224 E. BROADWAY, SUITE 105,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
 PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 OWNER : MARINA ISQUANT, 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 DRWG. TITLE : EXIST'G. HOUSE (EXIST'G. AS BUILT) ELEVATIONS W/EXIST'G. GARAGE FRONT ELEV.

Drawn by  
 NEIL A.  
 Checked by  
 V. J.  
 Date  
 SEPT. 10, 2023  
 Scale  
 3/16" = 1'-0"  
 Job No.

Sheet No.  
**A-1.3**  
 of Sheets



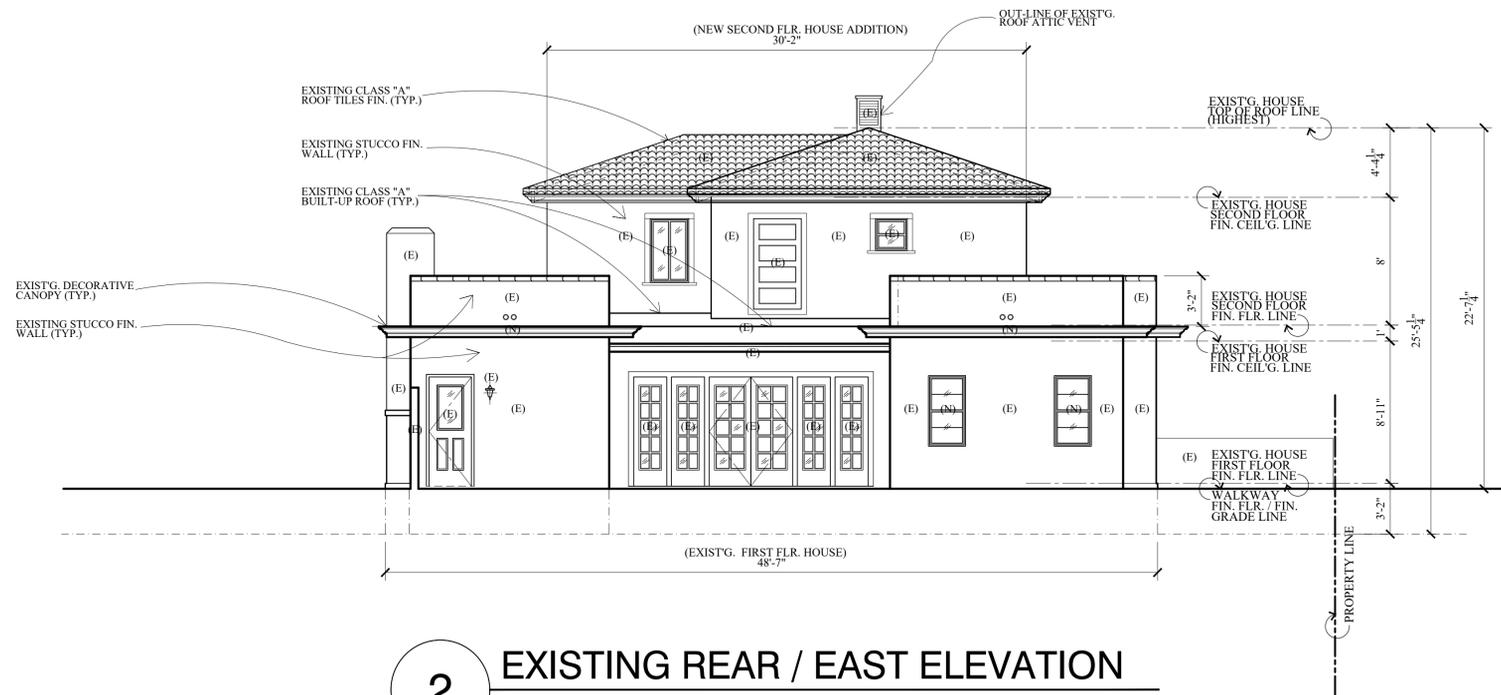
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**1** EXISTING LEFT SIDE / NORTH ELEVATION  
SCALE : 3/16" = 1'-0"

**LEGENDS :**

(E) EXISTING



**2** EXISTING REAR / EAST ELEVATION  
SCALE : 3/16" = 1'-0"

Revisions	By

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PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
PROJ. ADD : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
OWNER : MARINA ISQUANT  
526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
DRWG. TITLE : EXIST'G. HOUSE (EXIST'G. & BUILT) ELEVATIONS W/EXIST'G. GARAGE REAR ELEV.

Drawn by  
**NEIL A.**  
Checked by  
**V. J.**  
Date  
**SEPT. 10, 2023**  
Scale  
**3/16" = 1'-0"**  
Job No.

Sheet No.  
**A-1.4**  
of  
Sheets

# SIZING WATER METER & SERVICE LINE :



**Burbank Water and Power - Water Engineering**  
**SIZING WATER METER AND SERVICE LINE**  
(Per California Plumbing Code, 2019 Edition, Title 24, Part 5)

Owner's Name: MARINA ISUNTS Date: 07/14/2023  
 Project Address: 526 S. SUNSET CYN Agent: V. JANGOZIAN  
 Zone: R-1 Agent Ph.#: (818) 207-1114  
 Owner's Phone #: (818) 419-9914 (Home, Business, or Cell)

Description	Water Supply Fixture Units			SubTotal
	Fixture	Private Use	Public Use	
Bathub or Combination Bath/Shower (fill)	1	4	4	4
3/4" Bathub Fill Valve	1	10	10	10
Shower, per head	1	2	2	2
Clothes washer	1	4	4	4
Dishwasher, domestic	1	1.5	1.5	1.5
Hose Bibb	1	2.5	2.5	2.5
Hose Bibb, each additional *	5	1	1	5
Lawn Sprinkler each head *	30	1	1	30
Sinks				
Kitchen, domestic	2	1.5	1.5	3
Bar		1	2	
Bathroom (lavatory)	5	1	1	5
Laundry	1	1.5	1.5	1.5
Service or Mop Basin		1.5	3	
Wash-up, each set of faucets		-	2	
Clinic Faucet		-	3	
Clinic Flushometer Valve with or without faucet		-	8	
Water Closet, 1.6 GPF Gravity Tank	4	2.5	2.5	10
Water Closet, 1.6 GPF Flushometer Tank		2.5	2.5	
Water Closet, 1.6 GPF Flushometer Valve		See Note 5		
Water Closet, greater than 1.6 GPF Gravity Tank		3	5.5	
Water Closet, greater than 1.6 GPF Flushometer Valve		See Note 5		
Urinal, 1.0 GPF Flushometer Valve		See Note 5		
Urinal, greater than 1.0 GPF Flushometer Valve		See Note 5		
Urinal, flush tank		2	2	
Bidet		1	-	
Dental Unit, cuspidor		-	-	
Drinking Fountain or Watercooler		0.5	0.5	
Washfountain, circular spray		-	4	
Mobile Home, each (minimum)		6	-	80
Owner's/Agent's Initials: <u>V.J.</u>	Total Fixture Units			
	Distance from meter to most remote outlet			<u>120</u>

Notes:

- Appliances, Appurtenances or Fixtures not included in this Table may be sized by reference to fixtures having a similar flow rate and frequency of use.
- For fixtures or supply connections likely to impose continuous flow demands, determine the required flow in gallons per minute (GPM) and add it separately to the demand (in GPM) for the distribution system or portions thereof.
- Reducing fixture unit loading for additional hose bibbs is to be used only when sizing total building demand and for pipe sizing when more than one hose bibb is supplied by a segment of water distributing pipe. The fixture branch to each hose bibb shall be sized on the basis of 2.5 fixture units.
- Fixture quantities are total plumbing fixtures existing and new.
- When sizing flushometer systems, see 610.10.

For Water Division Use Only

Pressure at highest outlet \_\_\_\_\_

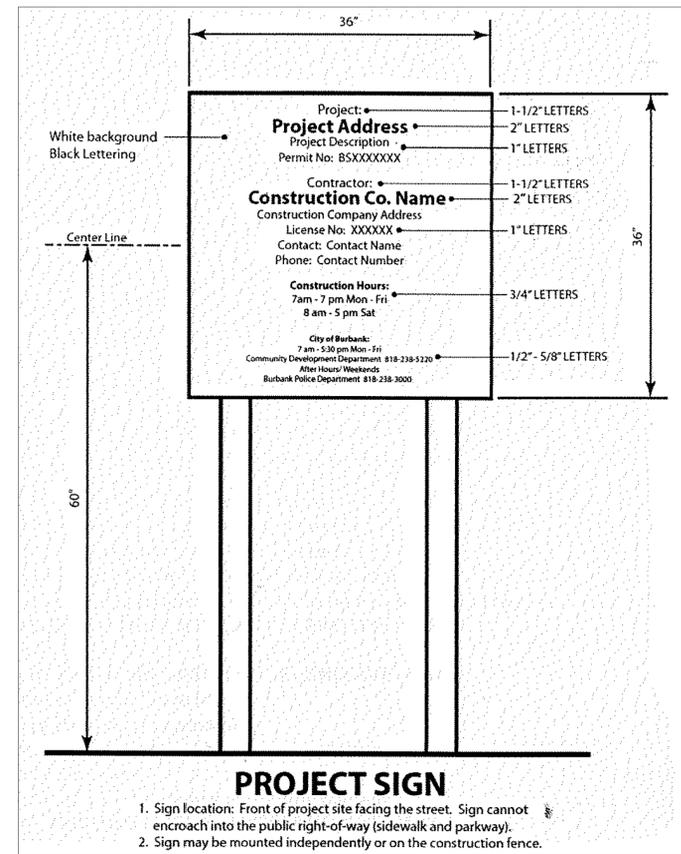
City to Install Meter and Service Size \_\_\_\_\_

Customer to Install Min. Building Supply Line Size (from meter to building) \_\_\_\_\_

# VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) NOTES :

- ROOFING :**  
SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING WHERE THE ROOF PROFILE ALLOWS A SPACE, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR PROVIDE ONE LAYER OF 72 POUNDS MINERAL SURFACED NON-PERFORATED CAP SHEET MEETING ASTM D5909 (705.; R337.5.2)
- ROOF GUTTERS :**  
ROOF GUTTERS SHALL BE DESIGN TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. (705.4; R337.5.4)
- VENTS :**  
VENT OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVES SOFFIT SPACES, ENCLOSED RAFTER SPACES AND UNDERFLOOR VENTS SHALL RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME, THROUGH THE VENT OPENINGS. VENT OPENINGS SHALL COMPLY WITH ONE OF THE FOLLOWING :  
 a. LISTED VENT COMPLYING WITH ASTM E2886 OR  
 b. PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN. 1/6" AND MAX 1/8" OPENINGS (706A.2; R337.6.2)
- EXTERIOR WALLS :**  
EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY BY MEETING ONE OF THE FOLLOWING :  
 a. NONCOMBUSTIBLE CONSTRUCTION OR  
 b. IGNITION RESISTANT MATERIAL OR  
 c. HEAVY TIMBER CONSTRUCTION OR  
 d. LOG WALL CONSTRUCTION OR  
 e. COMPLIES WITH SFM 12-7A-1 (707A.3; R337.7.3)
- ENCLOSED ROOF EAVES & ROOF EAVES SOFFIT :**  
EXPOSED UNDERSIDE SHALL BE PROTECTED BY ONE OF THE FOLLOWING :  
 a. NONCOMBUSTIBLE CONSTRUCTION  
 b. IGNITION RESISTANT MATERIAL  
 c. ONE LAYER OF 5/8" TYPE "X" APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.  
 d. EXTERIOR PORTION OF A 1-HR. FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY PER GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.  
 e. BOX-IN ROOF EAVES SOFFIT ASSEMBLIES COMPLYING WITH SFM 12-7 A-3 OR ASTM E2957. (707A.5; R337.7.5)
- EXTERIOR PORCH CEILINGS :**  
EXPOSED UNDERSIDE SHALL BE PROTECTED BY ONE OF THE FOLLOWING :  
 a. NONCOMBUSTIBLE CONSTRUCTION  
 b. IGNITION RESISTANT MATERIAL  
 c. ONE LAYER OF 5/8" TYPE "X" APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.  
 d. EXTERIOR PORTION OF A 1-HR. FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY PER GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.  
 e. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE COMPLYING WITH SFM 12-7 A-3 OR ASTM E2957.  
 7a. EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR MINIMUM 20-MIN. RATED, OR COMPLIES WITH SFM # 2-7A-2 (708A.2.1; R337.8.2.1)
- EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING :**  
 a. NONCOMBUSTIBLE MATERIAL OR  
 b. IGNITION RESISTANT MATERIAL OR  
 c. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4 IN. THICK OR  
 d. MINIMUM 20 - MINS. RATED OR  
 e. COMPLIES WITH SFM 12-7A-1 (708A.3; R337.8.3)
- DECKING :**  
WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS WHEN ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING :  
 a. IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH SFM 12-7A-4 AND 12-7A-5  
 b. EXTERIOR FIRE RETARDANT TREATED WOOD  
 c. NONCOMBUSTIBLE MATERIAL  
 d. COMPLIES WITH SFM 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. (708A.3; R337.9.3)
- ACCESSORY STRUCTURES :**  
WHEN ANY PORTION OF AN ATTACHED OR DETACHED ACCESSORY STRUCTURE (TRELLISES, ARBORS, PATIO COVERS, CARPORT, GAZEBOS AND SIMILAR STRUCTURES OF AN ACCESSORY OR MISCELLANEOUS CHARACTER) LIES WITHIN 50 FEET OF AN APPLICABLE BUILDING, IT SHALL BE CONSTRUCTED OF :  
 a. NONCOMBUSTIBLE MATERIALS OR  
 b. IGNITION-RESISTANT MATERIALS OR  
 c. HEAVY TIMBER CONSTRUCTION (710A; R337.10)

# PROJECT SIGN :



Revisions	By

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**V J & ASSOCIATES**  
 building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE: **FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY**

PROJ. ADDR: **526 S. SUNSET CYN., DR., BURBANK, CA. 91501**

OWNER: **MARINA ISUNTS, 526 S. SUNSET CYN. DR., BURBANK, CA. 91501**

DRWG. TITLE: **SIZING WATER METER AND SERVICE LINE**

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

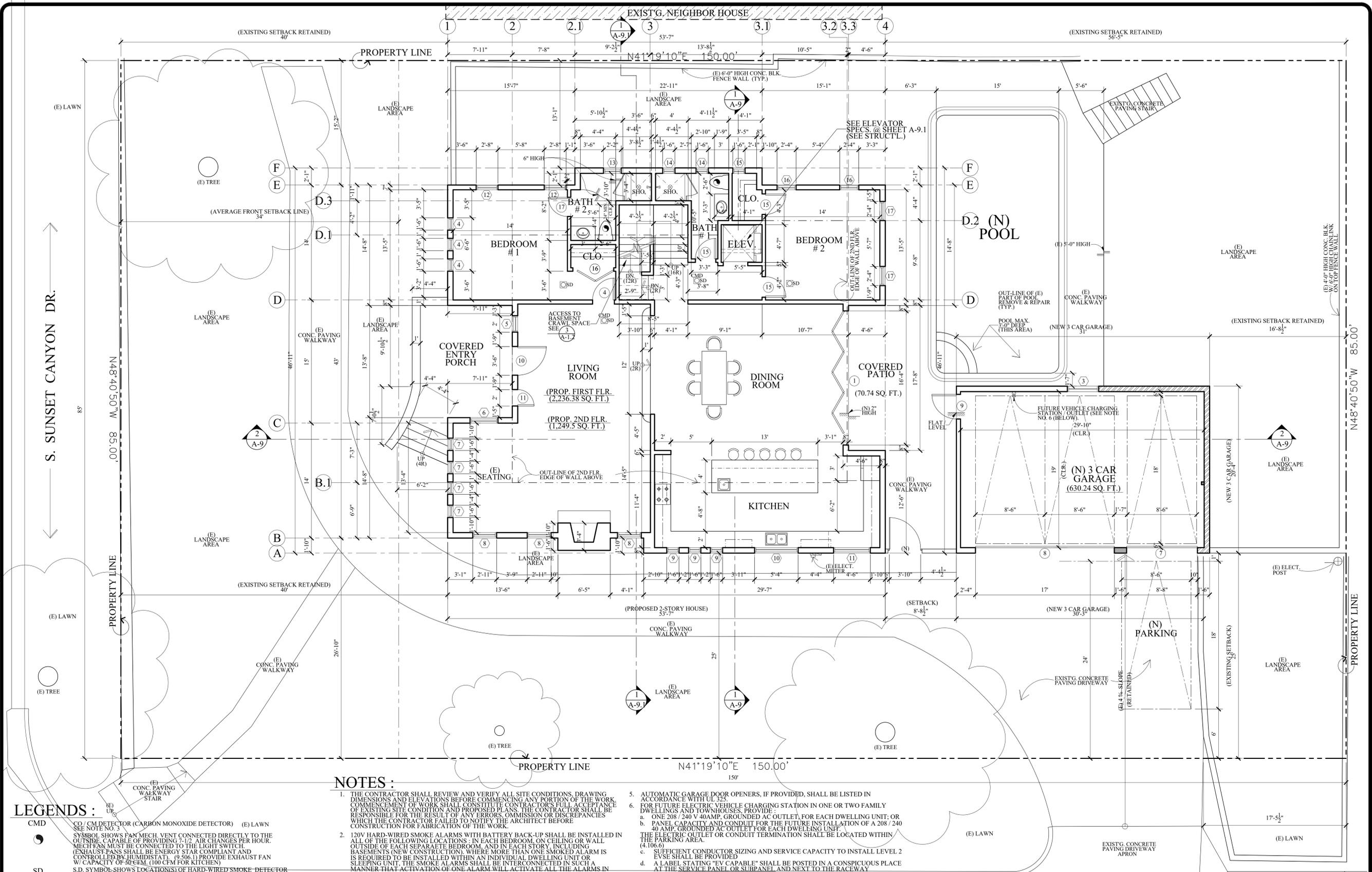
Date  
**SEPT. 10, 2023**

Scale  
**1/8" = 1'-0"**

Job No.  
 \_\_\_\_\_

Sheet No.  
**A-1.5**

of \_\_\_\_\_ Sheets



**NOTES:**

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE THE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
- 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT. THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
- PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS. THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
- EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- FOR FUTURE ELECTRIC VEHICLE CHARGING STATION IN ONE OR TWO FAMILY DWELLINGS AND TOWNHOUSES, PROVIDE:
  - ONE 208 / 240V 40AMP, GROUNDED AC OUTLET, FOR EACH DWELLING UNIT; OR PANEL CAPACITY AND CONDUIT FOR THE FUTURE INSTALLATION OF A 208 / 240 40 AMP, GROUNDED AC OUTLET FOR EACH DWELLING UNIT.
  - THE ELECTRIC OUTLET OR CONDUIT TERMINATION SHALL BE LOCATED WITHIN THE PARKING AREA.
  - SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
  - A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT.
  - PROVIDE MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY INSTALLED TO ACCOMMODATE A DEDICATED 208-240VOLT BRANCHED CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
- ELECTRIC VEHICLE CHARGING FOR NEW CONSTRUCTION, ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

**LEGENDS:**

- CMD CO. / CM DETECTOR (CARBON MONOXIDE DETECTOR) (E) LAWN
- SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE. CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FANS MUST BE CONNECTED TO THE LIGHT SWITCH (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT). (9-206.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 30CFM. (100 CFM FOR KITCHEN)
- SD S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 2)
- WINDOW NO. REFERENCE
- DOOR NO. REFERENCE
- NEW WALL (STUD WALL)
- NEW CONC. BLK. WALL

1

PROVIDENCIA AVE.  
 (PROPOSED 2-STORY HOUSE & GARAGE)  
**PROPOSED FIRST FLOOR PLAN / SITE PLAN**  
 SCALE : 3/16" = 1'-0"

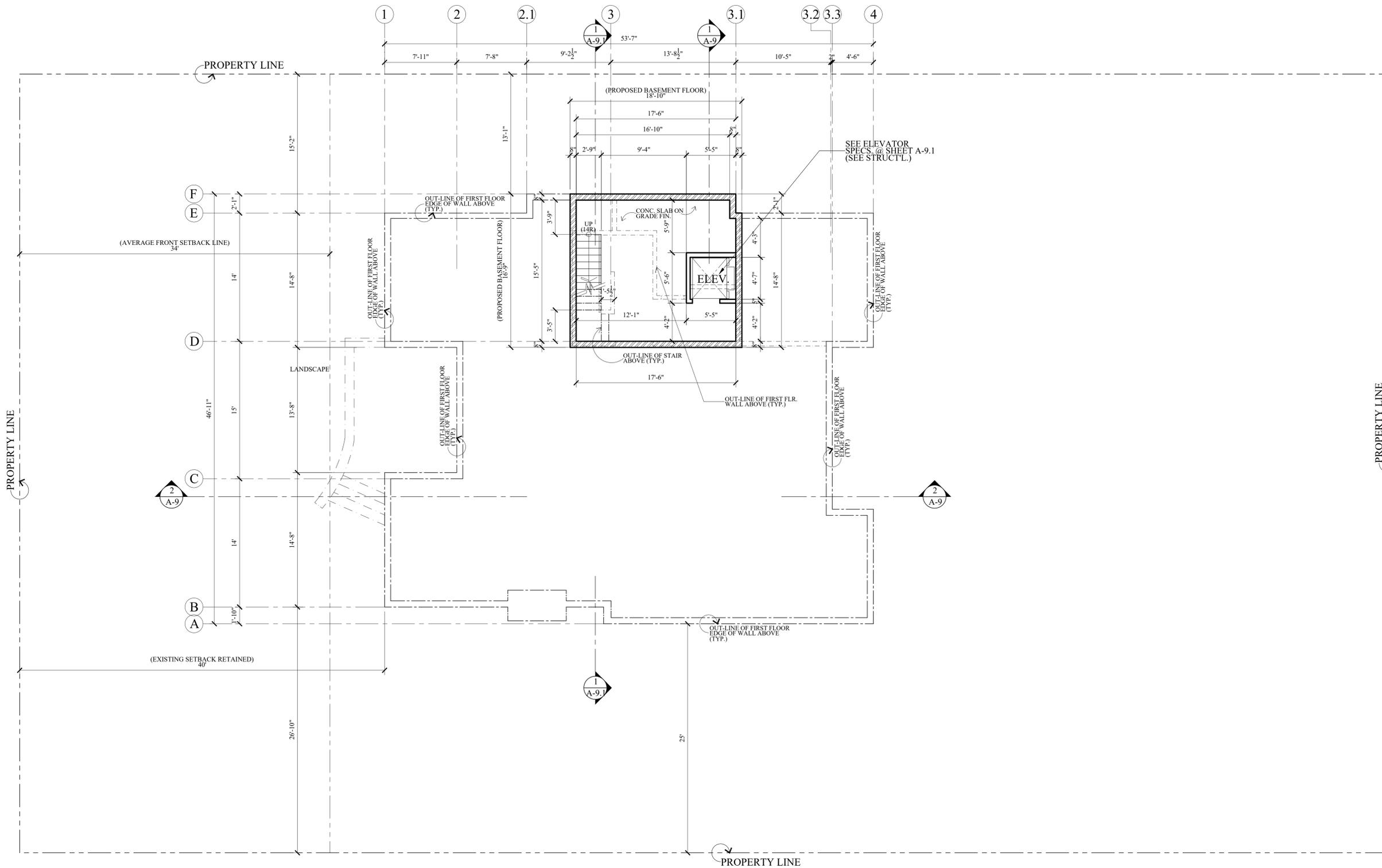
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**V J & ASSOCIATES**  
*building design • planning • interior*  
 1224 E. BROADWAY, SUITE 105,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : **FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY**  
 PROJ. ADDR : MARINA ISQUANT 526 S. SUNSET CYN. DR., BURBANK, CA. 91501  
 OWNER : MARINA ISQUANT 526 S. SUNSET CYN. DR., BURBANK, CA. 91501  
 DRWG. TITLE : (PROPOSED) FIRST FLOOR PLAN, SITE PLAN, LEGENDS & NOTES

Drawn by **NEIL A.**  
 Checked by **V. J.**  
 Date **SEPT. 10, 2023**  
 Scale **3/16" = 1'-0"**  
 Job No. \_\_\_\_\_  
 Sheet No. **A-2**  
 of \_\_\_\_\_ Sheets



**LEGENDS :**

- NEW WALL (STUD WALL)
- NEW CONC. BLK. WALL

**NOTES :**

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

(PROPOSED 2-STORY HOUSE)  
**1 PROPOSED BASEMENT FLOOR PLAN**  
 SCALE : 3/16" = 1'-0"



Revisions	By

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**V J & ASSOCIATES**  
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 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
 OWNER : MARINA ISQUANT  
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 DRWG. TITLE : (PROPOSED) BASEMENT FLOOR PLAN, LEGENDS & NOTES

Drawn by NEIL A.
Checked by V. J.
Date SEPT. 13, 2023
Scale 3/16" = 1'-0"
Job No.
Sheet No. <b>A-2.1</b>
of Sheets

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**V J & ASSOCIATES**  
*building design • planning • interior*

1224 E. BROADWAY, SUITE 105,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT  
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : EXISTING HOUSE PROPOSED SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

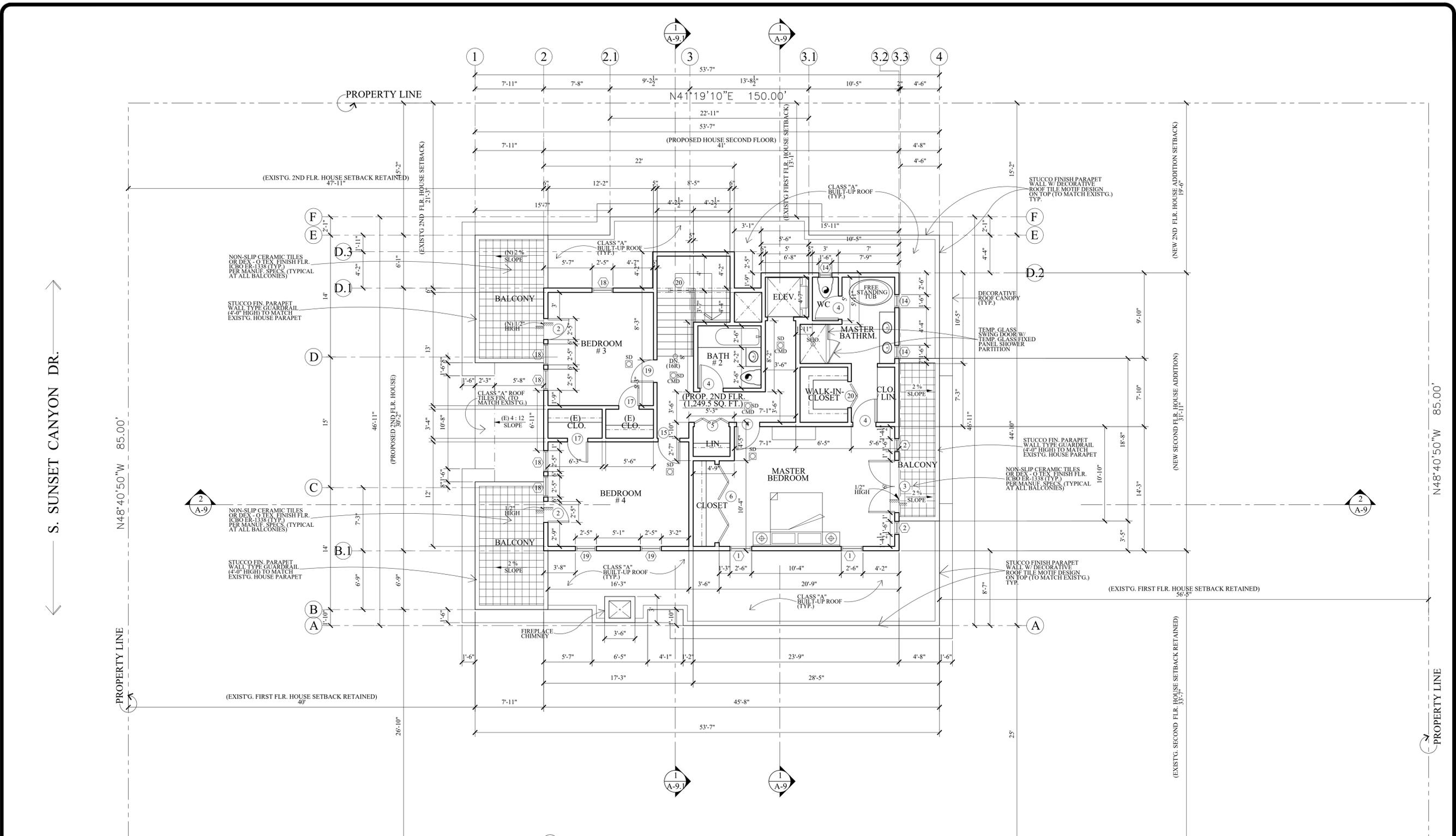
Date  
**SEPT. 10, 2023**

Scale  
**3/16" = 1'-0"**

Job No.

Sheet No.  
**A-3**

of Sheets



- LEGENDS :**
- CMD CO. / CMD DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 3
  - MECH FAN SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE. CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH. (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT. (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHEN)
  - SD S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 2)
  - 1 WINDOW NO. REFERENCE
  - 1 DOOR NO. REFERENCE
  - NEW WALL (STUD WALL)
  - NEW CONC. BLK. WALL

**(PROPOSED 2-STORY HOUSE)  
 PROPOSED SECOND FLOOR PLAN**

SCALE : 3/16" = 1'-0"

4. BALCONIES, DECKS, PORCHES & PATIOS : UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDING WITH HABITABLE SPACES SHALL BE A MINIMUM ONE-HOUR FIRE RESISTIVE CONSTRUCTION, HEAVY TIMBER CONSTRUCTION, APPROVED NON-COMBUSTIBLE MATERIALS, OR FIRE RETARDANT-TREATED WOOD. UNENCLOSED BALCONIES, DECKS, PORCHES MAYBE CONSTRUCTED OF :
- a. COLUMNS : 6 X 6 INCHES MINIMUM
  - b. BEAMS AND GIRDERS : 6 X 6 INCHES MINIMUM.
  - c. JOISTS : 4 X 6 INCHES MINIMUM.
  - d. ROOF AND FLOOR DECKING : 2-INCH TONGUE AND GROOVE PLANKS OR 1-1/8-INCH TONGUE AND GROOVE PLYWOOD MINIMUM.

- NOTES :**
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  2. 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS : IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS NEW CONSTRUCTION). WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
  3. PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CBC R315.1)

Revisions	By

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**V J & ASSOCIATES**  
*building design • interior*

1224 E. BROADWAY, SUITE 202,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : **FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY**

PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT  
 5745 SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : **PROPOSED HOUSE (PROPOSED) ROOF PLAN**  
 LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

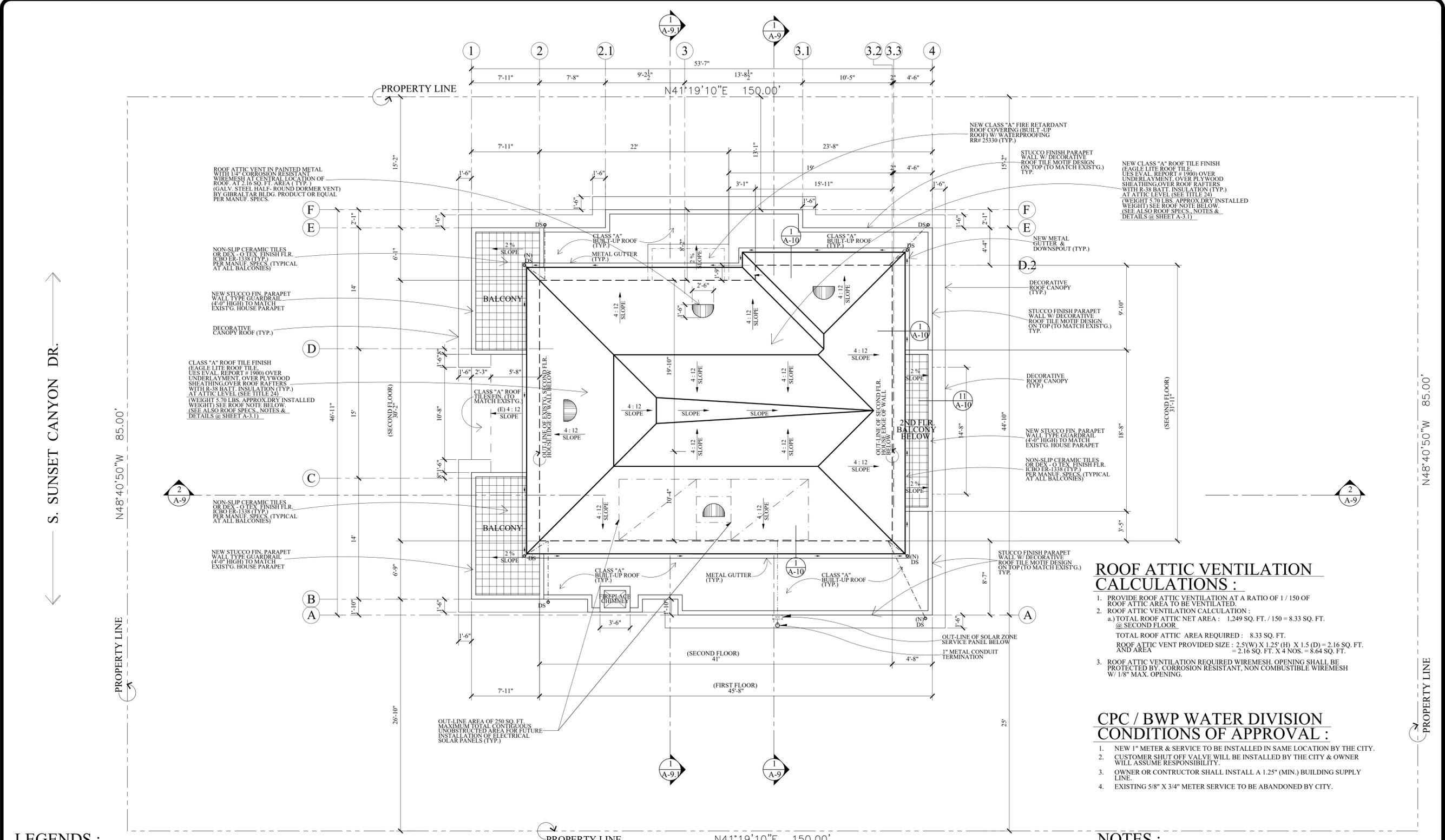
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**SEPT. 10, 2023**

Scale  
**3/16" = 1'-0"**

Job No.

Sheet No.  
**A-4**

of Sheets



**ROOF ATTIC VENTILATION CALCULATIONS :**

- PROVIDE ROOF ATTIC VENTILATION AT A RATIO OF 1 / 150 OF ROOF ATTIC AREA TO BE VENTILATED.
- ROOF ATTIC VENTILATION CALCULATION :
  - TOTAL ROOF ATTIC NET AREA : 1,249 SQ. FT. / 150 = 8.33 SQ. FT. @ SECOND FLOOR
  - TOTAL ROOF ATTIC AREA REQUIRED : 8.33 SQ. FT.
  - ROOF ATTIC VENT PROVIDED SIZE : 2.5(W) X 1.25(H) X 1.5(D) = 2.16 SQ. FT.
  - AND AREA = 2.16 SQ. FT. X 4 NOS. = 8.64 SQ. FT.
- ROOF ATTIC VENTILATION REQUIRED WIREMESH. OPENING SHALL BE PROTECTED BY CORROSION RESISTANT, NON COMBUSTIBLE WIREMESH W/ 1/8" MAX. OPENING.

**CPC / BWP WATER DIVISION CONDITIONS OF APPROVAL :**

- NEW 1" METER & SERVICE TO BE INSTALLED IN SAME LOCATION BY THE CITY.
- CUSTOMER SHUT OFF VALVE WILL BE INSTALLED BY THE CITY & OWNER WILL ASSUME RESPONSIBILITY.
- OWNER OR CONTRACTOR SHALL INSTALL A 1.25" (MIN.) BUILDING SUPPLY LINE.
- EXISTING 5/8" X 3/4" METER SERVICE TO BE ABANDONED BY CITY.

**NOTES :**

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
- 120V HARD WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS : IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION). WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
- PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CBC R315.1)

**LEGENDS :**

- CMD** CO. / CMD DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 3
- SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE. CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT). (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHEN)
- SD** S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 2)
- PROPERTY LINE
- DS** DOWNSPOUT

(PROPOSE 2-STORY HOUSE)  
**PROPOSED SECOND FLOOR PLAN**  
 SCALE : 3/16" = 1'-0"



**NOTES :**

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS, AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
2. ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATIONS DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING & SAFETY DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.
3. ALL NEW WINDOWS & DOORS TO MATCH EXISTING. ALL WINDOWS & DOORS MUST BE OF THE SAME SPECIFICATION, SIZE, MATERIALS, ETC AS EXISTING.
4. ALL NEW EXTERIOR WALL MATERIAL IN STUCCO FINISH TO MATCH EXISTING (FOR HOUSE & GARAGE).
5. BUILDING ELEVATIONS APPEARANCE, DESIGN & MATERIALS SHALL BE THE SAME AS PER EXISTING HOUSE & GARAGE.

**LEGENDS :**

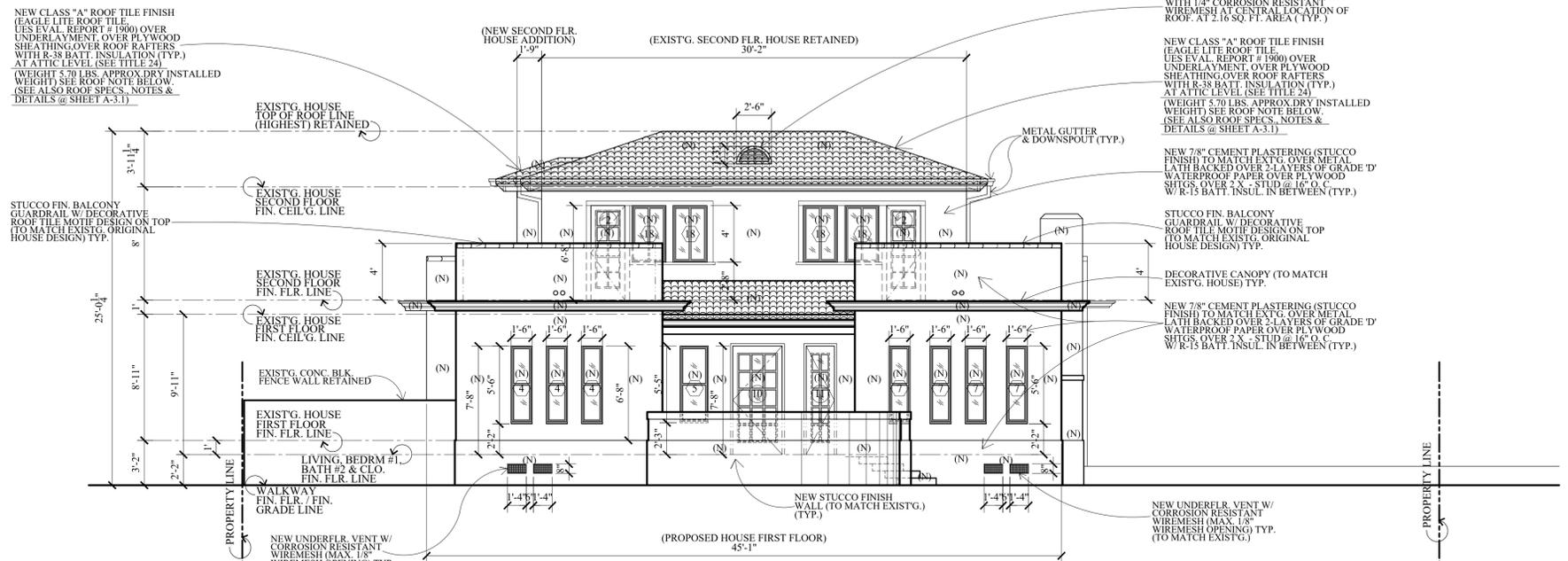
- (E) EXISTING
- (N) NEW

**UNDERFLOOR VENTILATION CALCULATIONS :**

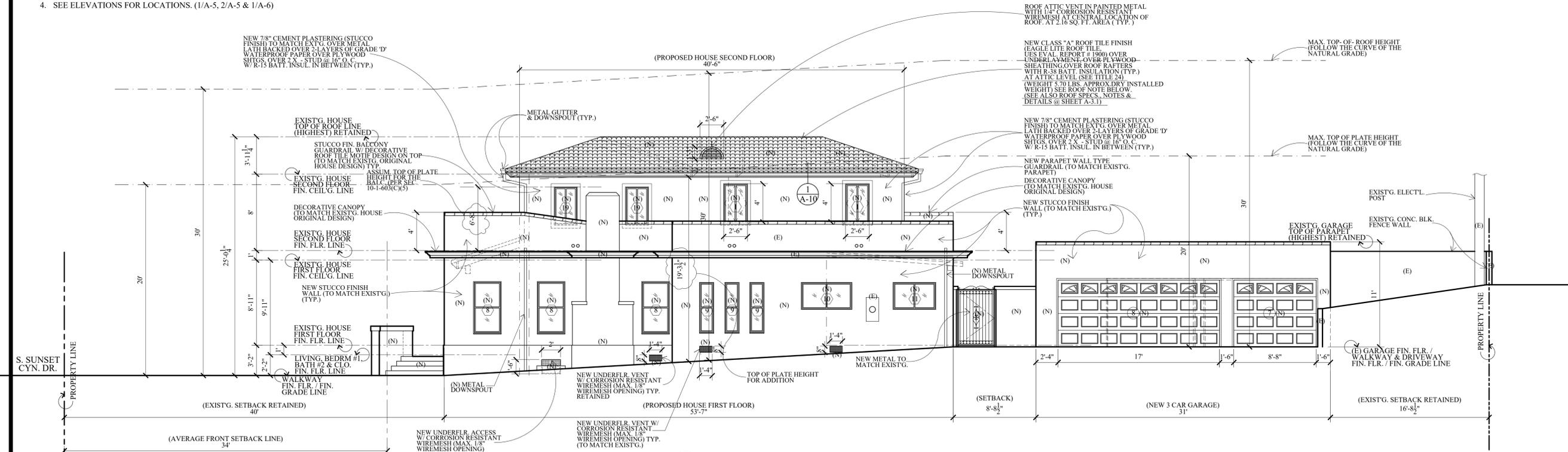
1. PROVIDE UNDERFLOOR VENTILATION AT A RATIO OF 1 / 150 OF ROOF ATTIC AREA TO BE VENTILATED.
2. UNDERFLOOR VENTILATION CALCULATION :  
 a.) TOTAL ROOF ATTIC NET AREA : 2,236.38 SQ. FT. / 150 = 14.91 SQ. FT. @ FIRST FLOOR  
 TOTAL ROOF ATTIC AREA REQUIRED : 14.91 SQ. FT.  
 UNDERFLOOR VENT PROVIDED SIZE : 1.33' (W) X 0.67' (H) = 0.89 SQ. FT.  
 12 NOS. X 0.89' (H) = 10.68 SQ. FT.  
 UNDERFLOOR ACCESS W/ VENT : 2' (W) X 1.5' (H) = 3 SQ. FT.  
 2 NOS. X 3 = 6 SQ. FT.

OVERALL TOTAL UNDERFLOOR VENT : 10.68 SQ. FT. + 6 SQ. FT. = 16.68 SQ. FT. PROVIDED

3. UNDERFLOOR VENTILATION REQUIRED WIREMESH OPENING SHALL BE PROTECTED BY CORROSION RESISTANT, NON COMBUSTIBLE WIREMESH W/ 1/8" MAX. OPENING.
4. SEE ELEVATIONS FOR LOCATIONS. (1/A-5, 2/A-5 & 1/A-6)



**1 PROPOSED FRONT / WEST ELEVATION**  
 SCALE : 3/16" = 1'-0"



**2 PROPOSED RIGHT SIDE / SOUTH ELEVATION**  
 SCALE : 3/16" = 1'-0"

Revisions	By

ALL LEGAL DECISIONS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS SHALL BE THE SOLE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

**V J & ASSOCIATES**  
 building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT  
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE PROPOSED HOUSE (PROPOSED) ELEVATIONS W/ NEW 3 CAR GARAGE FRONT ELEVATION

Drawn by  
 NEIL A.

Checked by  
 V. J.

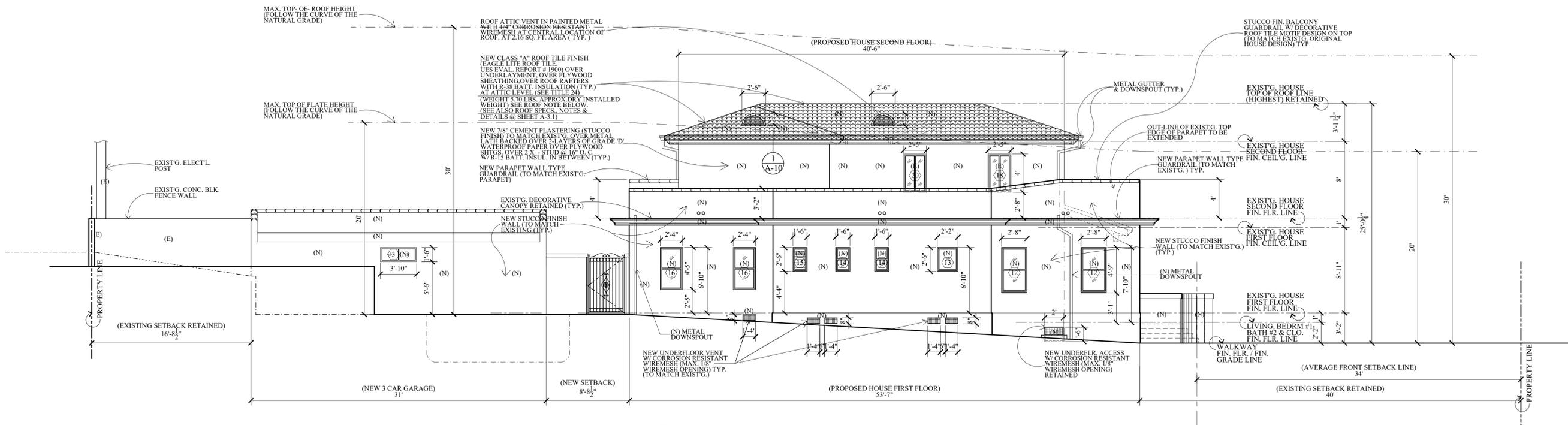
Date  
 SEPT. 10, 2023

Scale  
 3/16" = 1'-0"

Job No.

Sheet No.  
**A-5**

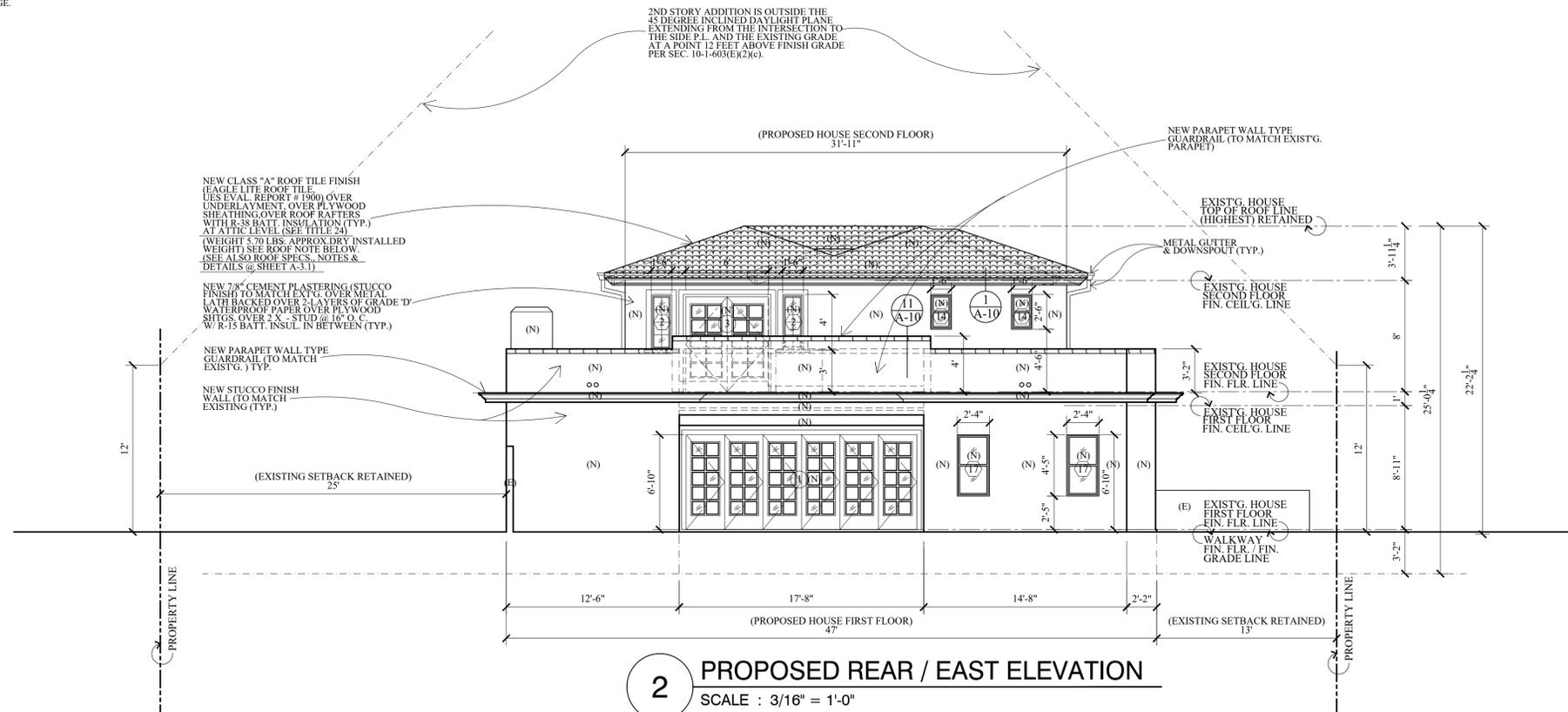
of Sheets



**1 PROPOSED LEFT SIDE / NORTH ELEVATION**  
SCALE : 3/16" = 1'-0"

- NOTES :**
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  - ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATIONS DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING & SAFETY DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.
  - ALL NEW WINDOWS & DOORS TO MATCH EXISTING. ALL WINDOWS & DOORS MUST BE OF THE SAME SPECIFICATION, SIZE, MATERIALS, ETC AS EXISTING.
  - ALL NEW EXTERIOR WALL MATERIAL IN STUCCO FINISH TO MATCH EXISTING (FOR HOUSE & GARAGE).
  - BUILDING ELEVATIONS APPEARANCE, DESIGN & MATERIALS SHALL BE THE SAME AS PER EXISTING HOUSE & GARAGE.

- LEGENDS :**
- (E) EXISTING
  - (N) NEW



**2 PROPOSED REAR / EAST ELEVATION**  
SCALE : 3/16" = 1'-0"

Revisions	By

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF VJ & ASSOCIATES. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF VJ & ASSOCIATES IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE ADVISED IMMEDIATELY IN WRITING OF ANY DISCREPANCIES. THIS DRAWING SHALL BE VOID WITHOUT THESE TERMS AND CONDITIONS. ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE THE SAME AS SHOWN BY THESE DRAWINGS. FULL SIZE PHOTO DETAILS MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

**V J & ASSOCIATES**  
building design • planning • interior

1224 E. BROADWAY, SUITE 105,  
Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADD: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT  
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : REAR SIDE / EAST ELEVATIONS  
W/ NEW 3 CAR GARAGE REAR ELEV.

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**SEPT. 10, 2023**

Scale  
**3/16" = 1'-0"**

Job No.

## NOTES :

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FULL OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILS TO NOTIFY THE ARCHITECT BEFORE COMMENCING CONSTRUCTION FOR FABRICATION OF THE WORK.
- SMOKE DETECTOR SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
- ENTRY & EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1"5 BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7"5 BELOW THE THRESHOLD. STORM AN SCREEN DOOR ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
- PROVIDE 1"5 MIN. BETWEEN THE CENTER OF WATER CLOSET, TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 701188 SEPARATE PLUMBING PERMIT IS REQUIRED).
- FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2  
FINISH MATERIAL POLLUTANT CONTROL - THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTION 4.504 THROUGH 4.504.5:  
- ADHESIVES, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVES, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
- DOORS, WINDOWS, GLASS & GLAZING :  
- WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED.  
- GLAZINGS IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3(6), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOER FLOOR (CBC 2406.3(5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10)) SHALL BE TEMPERED.  
- GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3(6), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOER FLOOR (CBC 2406.3(5), OR WITHIN 5" OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10)) SHALL BE TEMPERED.  
- COMPLY WITH THE LOS ANGELES BUILDING AND SAFETY CODE & THE NEW 2019 CBC. ALL NEW WINDOW GLAZED SHALL BE DUAL TYPE UNLESS OTHERWISE STATED SEE SCHED. OF WINDOWS.
- SEPARATE PERMIT FOR MECH., PLUMBING & ELECTRICAL
- NO NEW ROOF TOP EQUIPMENT.
- PROVIDE NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH 3-1/2" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4" INCHES ABOVE EARTH OR 2" INCHES ABOVE PAVED AREAS. (CMC 2512.1.2)
- AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
- PROVIDE AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND SLEEPING UNITS WITH FUEL-BURNING FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOR, UP, OR THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE THE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
- KITCHEN SINKS, LAVATORIES, BATH TUBS, SHOWERS, BIDET, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY UPON THE OWNER'S APPLICATION OR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) R308.4:  
a. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.  
b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.  
c. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:  
1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.  
2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.  
3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.  
4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.  
d. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.  
e. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER EDGE.  
f. GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMP WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- PROTECTION OF WOOD AND WOOD BASE PRODUCTS FROM DECAY SHALL BE PROVIDED IN LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED ON SECTION 2 OF AWPA U1.
- FOR STEPS / STAIR, TREAD AND RISER DIMENSIONS (7.75" MAX. RISER / 10" MIN. TREAD) (CRC R311.7.4)
- EXTERIOR DOOR SHALL MEET ONE OF THE FOLLOWING :  
a. NON-COMBUSTIBLE CONSTRUCTION OR  
b. SOLID WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4-IN. THICK. OR  
c. MINIMUM 20-MINS. RATED OR  
d. MEET SFM 12-7A-1
- ATTIC VENTILATION SHALL NOT BE LOCATED IN SOFFITS, IN ENDS OVERHANG, BETWEEN RAFTERS AT LEAVES, OR IN OTHER OVERHANG AREAS, GABLE ENDS & DORMER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINES. UNDER FLOOR VENTILATION OPENINGS SHALL BE LOCATED AS CLOSE AS TO GRADE AS POSSIBLE.
- BATH TUB AND SHOWER FLOORS, WALL ABOVE BATH TUB WITH A SHOWER HEAD, AND SHOWER COMPARTMENT SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2)
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOLLETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 2" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE". (R308)
- FOR CLOTHES DRYER A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.3.2).
- FOR CLOTHES DRYER A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6 FT. AND CANNOT BE CONCEALED (CMC 504.3.2.1).
- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- FOR WATER HEATER A T & P RELIEF VALVE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS IS REQUIRED. (CPC 505.6)
- WATER HEATERS WITH OUTDOOR COMBUSTION AIR SHALL PROVIDE TWO OPENINGS WITHIN 12 INCHES OF THE TOP AND BOTTOM OF THE ENCLOSURE. EACH OPENING SHALL BE SIZE AT 1 SQUARE INCH (4000BTU/H IF THE COMBUSTION AIR IS DIRECTLY FROM OUTDOOR WITHOUT DUCTS (CPC 507.4) FOR ALL OTHER INSTALLATION, COMBUSTION AIR SHALL COMPLY WITH CPC 507.
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- A COPY OF THE EVALUATION REPORT AND / OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

## FINISH SCHEDULES :

ROOMS	FLOOR					CEILING					WALLS					BASE				
	CARPET	CERAMIC	MARBLE/STONE	CONCRETE	ELASTOMERIC	WOOD	D. WALL	ACOUSTIC	ACOUSTIC SPRAY	WB PAINT	OL. B. PAINT	STUCCO	D. WALL	BLOCK WALL	WB PAINT	OL. B. PAINT	STUCCO	WOOD	CERAMIC	CONCRETE
LIVING ROOM																				
DINING ROOM																				
KITCHEN																				
ALL BEDROOMS																				
HALLWAYS / CORRIDOR																				
UNDERSTAIR																				
MASTER BATHROOM																				
ALL BATHROOMS																				
ALL BEDRMS. CLOSETS																				

## SCHEDULE OF DOORS :

DOOR NO.	DOOR SCHEDULE									
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS			
①	16'-8"	6'-10"	PER MANUF.	SLIDING FOLDING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/TEMP. GLASS	DINING ROOM (REAR / EAST ELEVATION)	SEE 2/A-6 REAR / EAST ELEV. & I/A-2 PROP. FIRST FLOOR PLAN (U-FACTOR = 0.30 NFRFC) (SHGC = 0.22 NFRFC)			
②	2'-6"	6'-8"	PER MANUF.	SINGLE LEAF SWING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/TEMP. GLASS	BEDROOM # 3 & # 4 SECOND FLOOR. (FRONT / WEST ELEVATION)	SEE I/A-5 FRONT / WEST ELEV. & I/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRFC) (SHGC = 0.22 NFRFC) (EGRESS DOOR)			
③	6'-0"	6'-10"	PER MANUF.	DOUBLE LEAF SWING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/TEMP. GLASS	MASTER BEDROOM (REAR / EAST ELEVATION)	SEE 2/A-6 REAR / EAST ELEV. & I/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRFC) (SHGC = 0.22 NFRFC) (EGRESS DOOR)			
④	2'-8"	6'-10"	PER MANUF.	SINGLE SWING	H.C. WOOD	BEDROOM # 1 (FIRST FLR.) MASTER BEDRM. MASTER BATH RM. & (N) WALK-IN CLO. BATH 2 (SECOND FLR.)	SEE PROPOSED SECOND FLR. PLAN @ I/A-3			
⑤	4'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	LINEN @ SECOND FLR.	SEE PROPOSED SECOND FLR. PLAN @ I/A-3			
⑥	9'-0"	6'-10"	PER MANUF.	SLIDING FOLDING	H.C. WOOD	CLOSET @ MASTER BEDRM. (SECOND FLOOR)	SEE PROPOSED SECOND FLR. PLAN @ I/A-3			
⑦	8'-8"	7'-0"	PER MANUF.	LIFT-UP (REMOTE CONTROL)	METAL	3 CAR GARAGE (RIGHT SIDE / SOUTH ELEVATION)	SEE PROP. RIGHT SIDE / SOUTH ELEV. 2/A-5, & PROP. FIRST FLR. PLAN I/A-2 (GARAGE AREA)			
⑧	17'-0"	7'-0"	PER MANUF.	LIFT-UP (REMOTE CONTROL)	METAL	3 CAR GARAGE ADDITION (RIGHT SIDE / SOUTH ELEVATION)	SEE PROPOSED FIRST FLOOR PLAN @ I/A-2 (GARAGE AREA)			
⑨	3'-0"	6'-10"	PER MANUF.	SINGLE LEAF SWING	SOLID WD.	3 CAR GARAGE ADDITION (WEST OF GARAGE)	SEE PROPOSED FIRST FLOOR PLAN @ I/A-2 (GARAGE AREA)			
⑩	3'-6"	6'-8"	PER MANUF.	SINGLE LEAF SWING (RECESSED)	SOLID WD. W/ GLASS VIEW	LIVING ROOM, FIRST FLR. (FRONT / WEST ELEVATION)	SEE PROP. FRONT / WEST ELEV. @ I/A-5 PROP. FIRST FLR. PLAN @ I/A-2			
⑪	2'-0"	6'-8"	PER MANUF.	SINGLE LEAF SWING (RECESSED)	SOLID WD. W/ GLASS VIEW	LIVING ROOM, FIRST FLR. (FRONT / WEST ELEVATION)	SEE PROP. FRONT / WEST ELEV. @ I/A-5 PROP. FIRST FLR. PLAN @ I/A-2			
⑫	8'-2"	6'-8"	PER MANUF.	SLIDING DOOR (RECESSED)	SOLID WD. W/ GLASS VIEW	LIVING RM. LEADING TO DINING RM. (FIRST FLOOR)	SEE PROP. FIRST FLOOR PLAN @ I/A-2			
⑬	2'-6"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	DINING RM. LEADING TO BEDRM. HALLWAY & STAIR (FIRST FLOOR)	SEE PROP. FIRST FLOOR PLAN @ I/A-2			
⑭	2'-8"	6'-8"	PER MANUF.	SINGLE LEAF SWING	SOLID WD.	DINING RM. LEADING TO BEDRM. # 2 (FIRST FLOOR) HOUSE ADDITION AREA	SEE PROP. FIRST FLOOR PLAN @ I/A-2			
⑮	2'-8"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	BEDROOM # 2, WALK-IN-CLO. @ BEDRM. # 2, BATH # 1 (FIRST FLR.) BEDRM. # 4 @ SECOND FLR.	SEE PROP. FIRST FLOOR PLAN @ I/A-2, & PROP. SECOND FLR. PLAN @ I/A-3			
⑯	2'-4"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	CLOSET @ BEDROOM # 1 FIRST FLOOR	SEE PROP. FIRST FLOOR PLAN @ I/A-2			
⑰	2'-4"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	WALK-IN-CLO. CONVERT TO BATH # 2 LOCATED INSIDE BEDRM. # 3 & # 4 @ SECOND FLR.	SEE PROP. FIRST FLOOR PLAN @ I/A-2, & PROP. SECOND FLR. PLAN @ I/A-3			
⑱	2'-2"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	CLOSET UNDER STAIR @ FIRST FLR. HALLWAY	SEE PROP. FIRST FLOOR PLAN @ I/A-2			
⑲	2'-7"	6'-8"	PER MANUF.	SINGLE LEAF SWING	H. C. WOOD	BEDROOM # 3 ENTRY (SECOND FLOOR)	SEE PROP. SECOND FLOOR PLAN @ I/A-3			

## SCHEDULE OF WINDOWS :

W.D.W. NO.	WINDOW SCHEDULE						
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	LOCATION	REMARKS
①	2'-6"	4'-0"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/TEMP. GLASS	MASTER BEDROOM @ SECOND FLOOR	TEMP. GLASS, SEE 2/A-5 RIGHT SIDE / SOUTH ELEV. & I/A-3 PROP. SECOND FLOOR PLAN (U-FACTOR = 0.30 NFRFC) (SHGC = 0.22 NFRFC)
②	1'-6"	4'-0"	PER MANUF.	FIXED (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/TEMP. GLASS	MASTER BEDROOM @ SECOND FLOOR	TEMP. GLASS, SEE 2/A-6 REAR / EAST ELEV. (U-FACTOR = 0.30 NFRFC) (SHGC = 0.22 NFRFC)
③	3'-10"	1'-6"	PER MANUF.	SLIDING (RECESSED) TO MATCH EXIST'G	FIBERGLASS W/TEMP. GLASS	3 CAR GARAGE (LEFT SIDE / NORTH ELEVATION)	TEMP. GLASS, SEE I/A-6 LEFT SIDE / NORTH ELEV. & I/A-2 PROP. FIRST FLR. PLAN (U-FACTOR = 0.30 NFRFC) (SHGC = 0.22 NFRFC)
④	1'-6"	5'-6"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	BEDROOM # 1 FIRST FLOOR (FRONT / WEST ELEVATION)	I/A-5 PROP. FRONT WEST ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑤	2'-0"	5'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	LIVING ROOM FIRST FLOOR (FRONT / WEST ELEVATION)	I/A-5 PROP. FRONT WEST ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑥	3'-5"	5'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	SEATING AREA FIRST FLOOR	I/A-2 PROP. FIRST FLOOR PLAN
⑦	1'-6"	5'-6"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	SEATING AREA FIRST FLOOR	I/A-5 PROP. FRONT WEST ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑧	2'-11"	5'-6"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	LIVING & SEATING AREA FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑨	1'-6"	5'-4"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	KITCHEN FIRST FLOOR (RIGHT SIDE / NORTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑩	5'-4"	2'-10"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑪	4'-6"	2'-10"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	KITCHEN FIRST FLOOR (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑫	2'-8"	4'-9"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	BEDROOM # 1 (LEFT SIDE / NORTH ELEVATION)	I/A-6 PROP. LEFT SIDE / NORTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN (EGRESS WINDOW)
⑬	2'-2"	2'-6"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	WALK-IN-CLOSET @ BEDRM # 2, FIRST FLR. (LEFT SIDE / NORTH ELEVATION)	I/A-6 PROP. LEFT SIDE / NORTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑭	1'-6"	2'-6"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	BATH # 1 (1ST FIRST FLR.) & MASTER BATHRM (2ND FLR.) (LEFT SIDE / NORTH ELEVATION)	I/A-6 PROP. LEFT SIDE / NORTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑮	1'-6"	2'-6"	PER MANUF.	LOUVER (RECESSED)	WOOD FRAMED	WALK-IN-CLOSET @ BEDRM # 2, FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	I/A-6 PROP. LEFT SIDE / NORTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN
⑯	2'-4"	4'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	BEDROOM # 2 FIRST FLOOR (LEFT SIDE / NORTH ELEVATION)	I/A-6 PROP. LEFT SIDE / NORTH ELEV. & I/A-2 PROP. FIRST FLOOR PLAN (EGRESS WINDOW)
⑰	2'-4"	4'-5"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	BEDROOM # 2 REAR / EAST ELEVATION)	2/A-6 PROP. REAR / EAST ELEV. & I/A-2 PROP. FIRST FLOOR PLAN (EGRESS WINDOW)
⑱	2'-5"	4'-0"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	BEDROOM # 3 & # 4 SECOND FLOOR. (FRONT WEST ELEVATION & LEFT SIDE / NORTH ELEVATION)	I/A-5 PROP. FRONT / WEST ELEV. & I/A-6 PROP. LEFT SIDE / NORTH ELEV. & I/A-3 PROP. SECOND FLOOR PLAN
⑲	2'-5"	4'-0"	PER MANUF.	LIFT-UP / TOP HUNG (RECESSED)	WOOD FRAMED	BEDROOM # 4 SECOND FLOOR. (RIGHT SIDE / SOUTH ELEVATION)	2/A-5 PROP. RIGHT SIDE / SOUTH ELEV. & I/A-3 PROP. SECOND FLOOR PLAN
⑳	2'-5"	4'-0"	PER MANUF.	CASEMENT / SWING (RECESSED)	WOOD FRAMED	STAIRWAY SECOND FLOOR (LEFT SIDE / SOUTH ELEVATION)	I/A-6 PROP. LEFT SIDE / NORTH ELEV. & I/A-3 PROP. SECOND FLOOR PLAN

## DOORS & WINDOWS NOTE :

- THE NFRFC TEMPORARY LABEL DISPLAYED ON WINDOWS & SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE WINDOW UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- ALL WINDOWS ARE TO BE IN FIBERGLASS TYPE W/ TEMP. GLASS, UNLESS OTHERWISE STATED. (SEE WINDOW SCHEDULE ABOVE), TO MATCH EXISTING HOUSE.
- ALL GLASS DOOR ARE TO BE IN FIBERGLASS TYPE TEMP. GLASS. (SEE DOOR SCHEDULE BELOW) (SEE DOOR SCHEDULE ABOVE).
- FOR WINDOWS & DOORS U-FACTOR & SHGC SEE T24 SHEET
- ALL DOORS & WINDOWS SHALL MEET BURBANK SECURITY ORDINANCE.
- ALL NEW WINDOW S SHALL BE NAIL - ON TYPE. NO BLOCK OR RETROFIT TYPES ALLOWED FOR NEW OR ALTERED WINDOW OPENINGS.
- ALL WINDOWS & DOORS TO MATCH EXISTING. ALL WINDOWS & DOORS MUST BE OF THE SAME SPECIFICATION, SIZE, MATERIALS, ETC AS EXISTING.

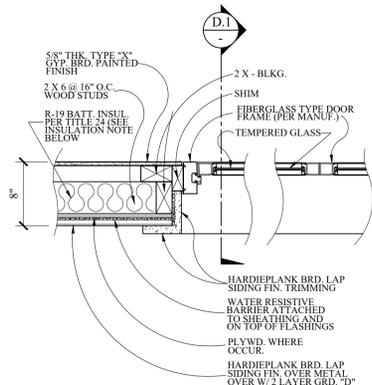
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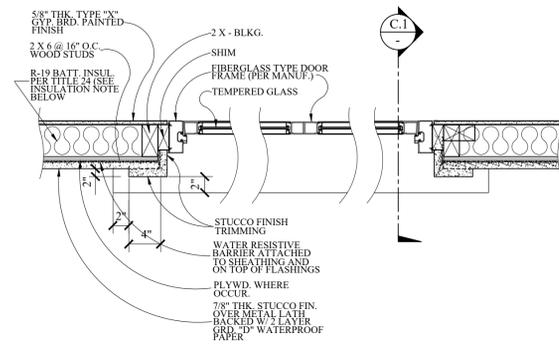
PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
OWNER : MARINA SQUANT  
526 S. SUNSET CYN. DR., BURBANK, CA. 91501  
DRWG. TITLE : SCHEDULE OF WINDOWS, DOORS & FINISHES, GENERAL NOTES

Drawn by  
NEIL A.  
Checked by  
V. J.  
Date  
SEPT. 10, 2023  
Scale  
1/4" = 1'-0"  
Job No.  
Sheet No.  
**A-7**  
of Sheets



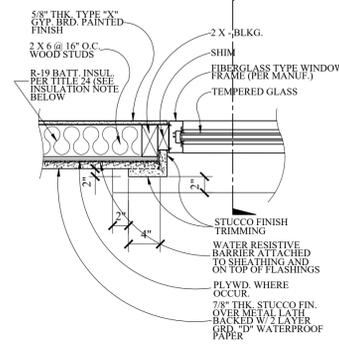
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TYP. HOR. DOOR  
DETAIL PLAN

NOT TO SCALE  
(FIRST FLR. LOCATION)



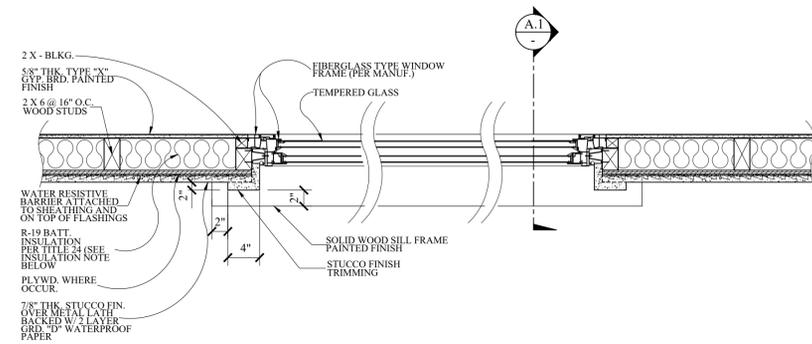
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TYP. HOR. DOOR  
DETAIL PLAN

NOT TO SCALE



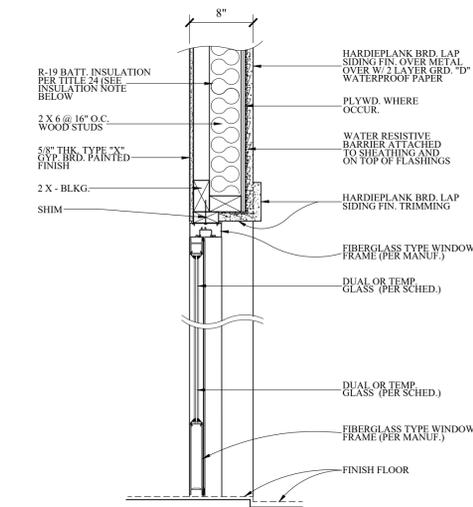
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TYP. HOR. WINDOW DET. PLAN  
(EXISTING & NEW)

NOT TO SCALE  
(2ND FLR. LOCATION)



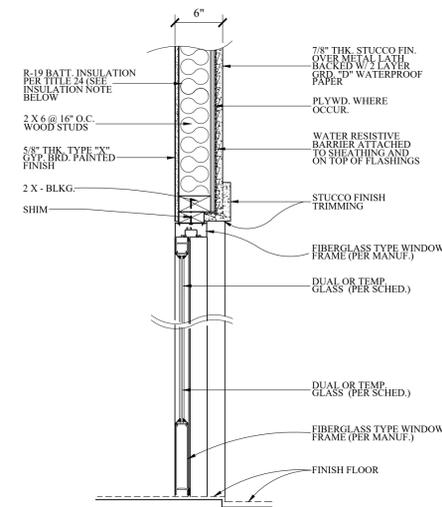
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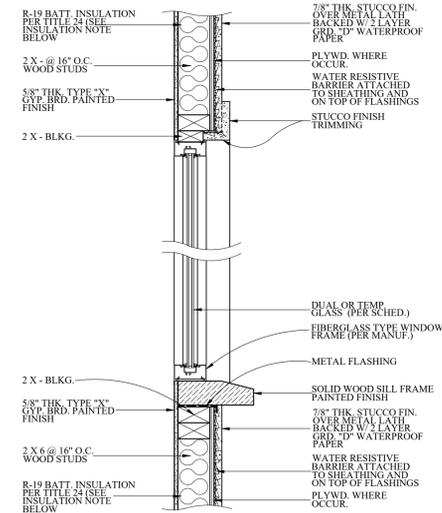
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NOT TO SCALE



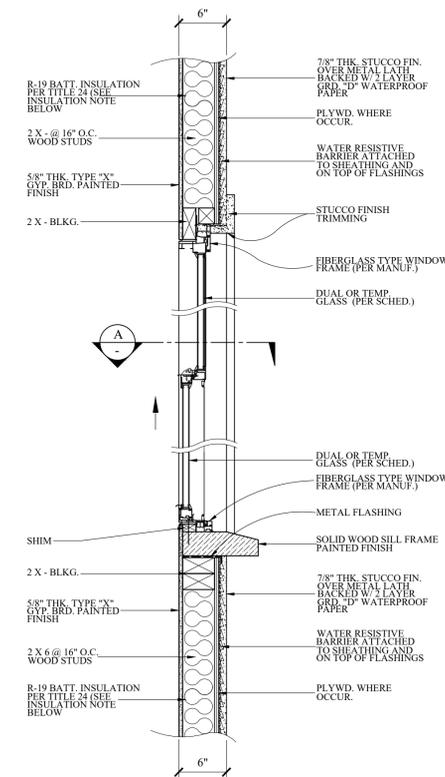
(DOUBLE LEAF SWING DOOR)  
TYP. VERT. DOOR  
DETAIL PLAN

NOT TO SCALE



(FIXED WINDOW)  
TYP. VERT. WINDOW DET. PLAN  
(EXISTING & NEW)

NOT TO SCALE  
(2ND FLR. LOCATION)



(SINGLE HUNG WINDOW)  
TYP. VERT. WINDOW DET. PLAN  
(EXISTING & NEW)

NOT TO SCALE  
(2ND FLR. LOCATION)

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PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
OWNER : MARINA ISQUANT, 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
PROJ. ADD: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
DRWG. TITLE : WINDOW DETAIL SECTIONS

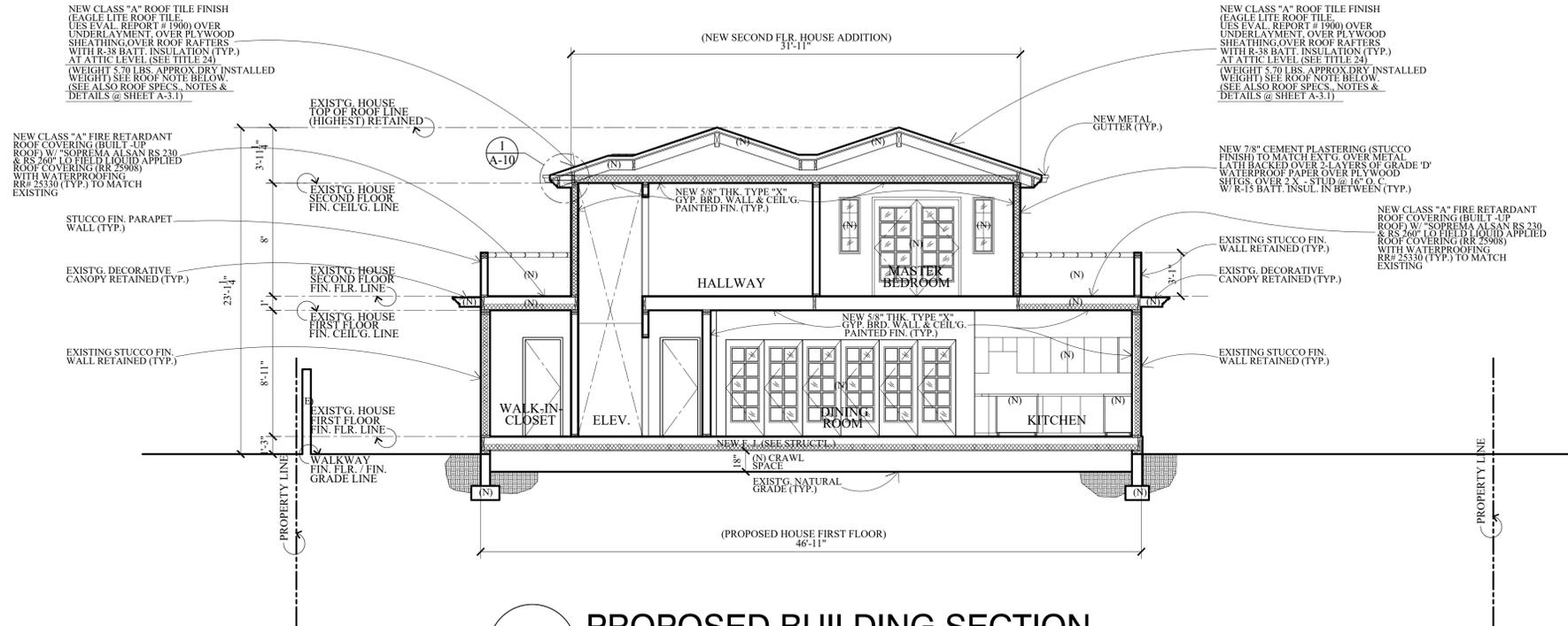
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NEIL A.  
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V. J.  
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SEPT. 13, 2023  
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Sheet No.  
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of Sheets

**NOTES :**

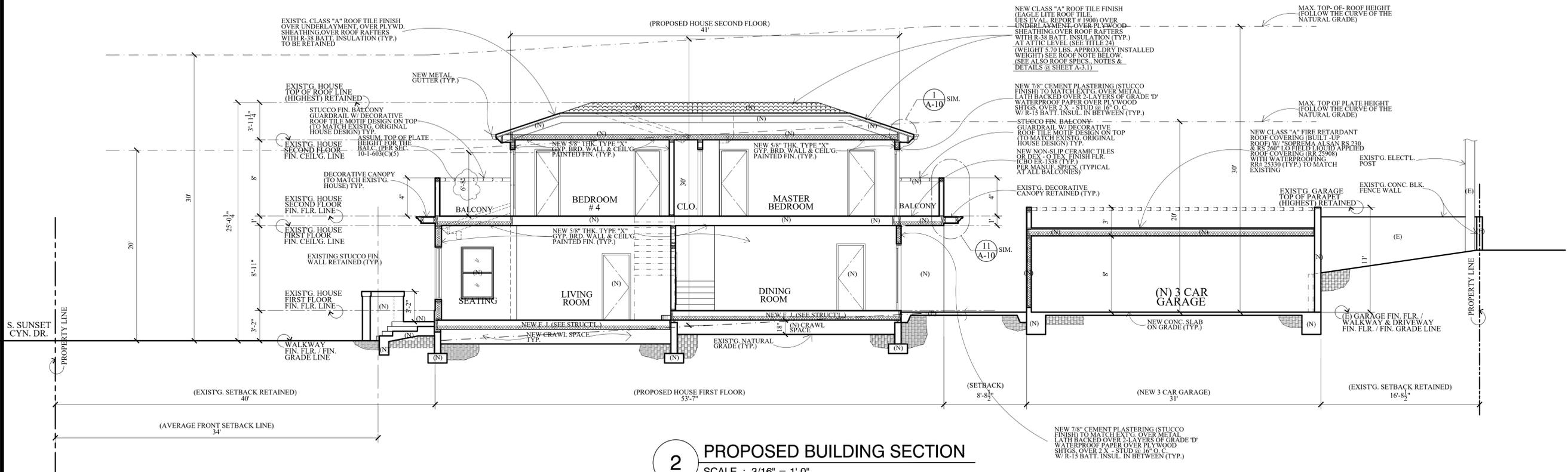
1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMPLETION OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

**LEGENDS :**

- (E) EXISTING
- (N) NEW



**1 PROPOSED BUILDING SECTION**  
SCALE : 3/16" = 1'-0"



**2 PROPOSED BUILDING SECTION**  
SCALE : 3/16" = 1'-0"

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PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUIT  
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : EXIST'G. HOUSE (PROPOSED) BLDG. SECTIONS W/ EXIST'G. GARAGE SECTION

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**SEPT. 10, 2023**

Scale  
**3/16" = 1'-0"**

Job No.

Sheet No.  
**A-9**

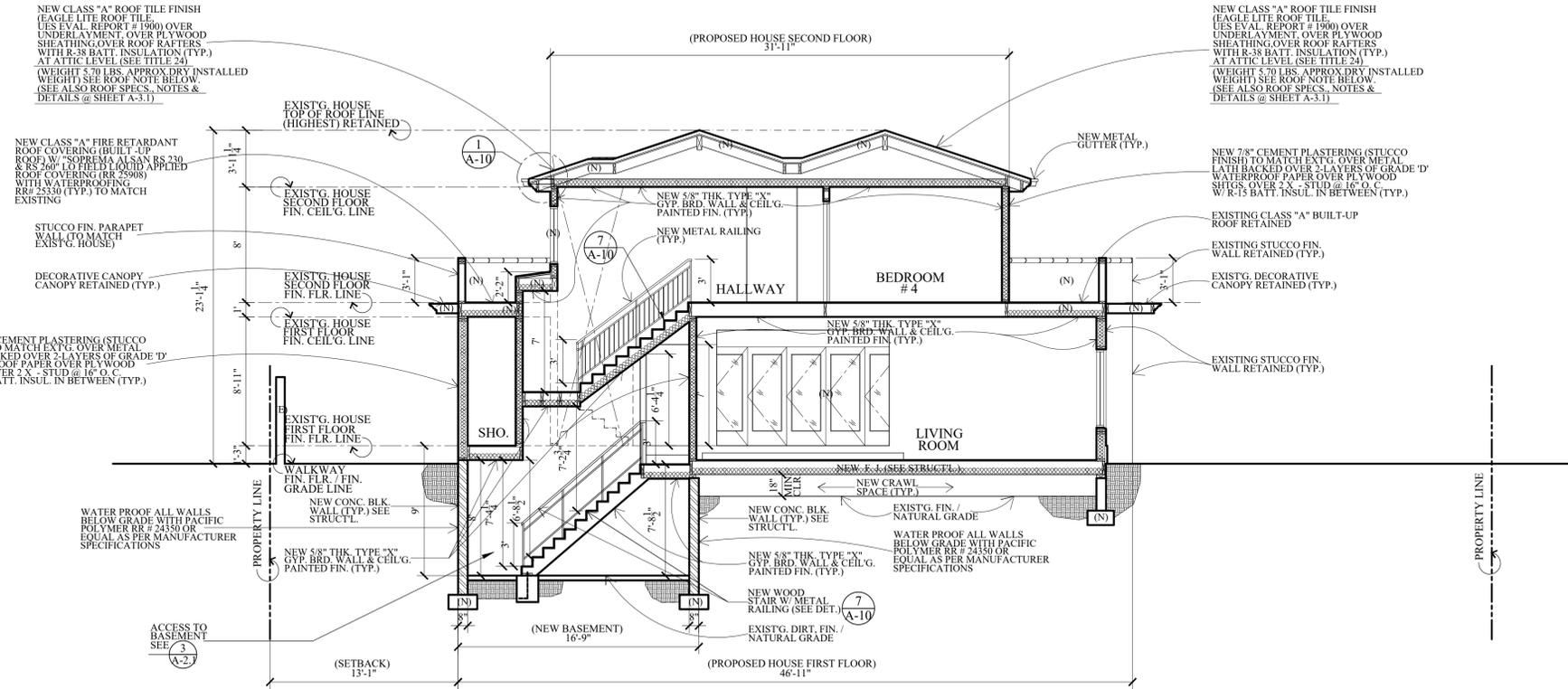
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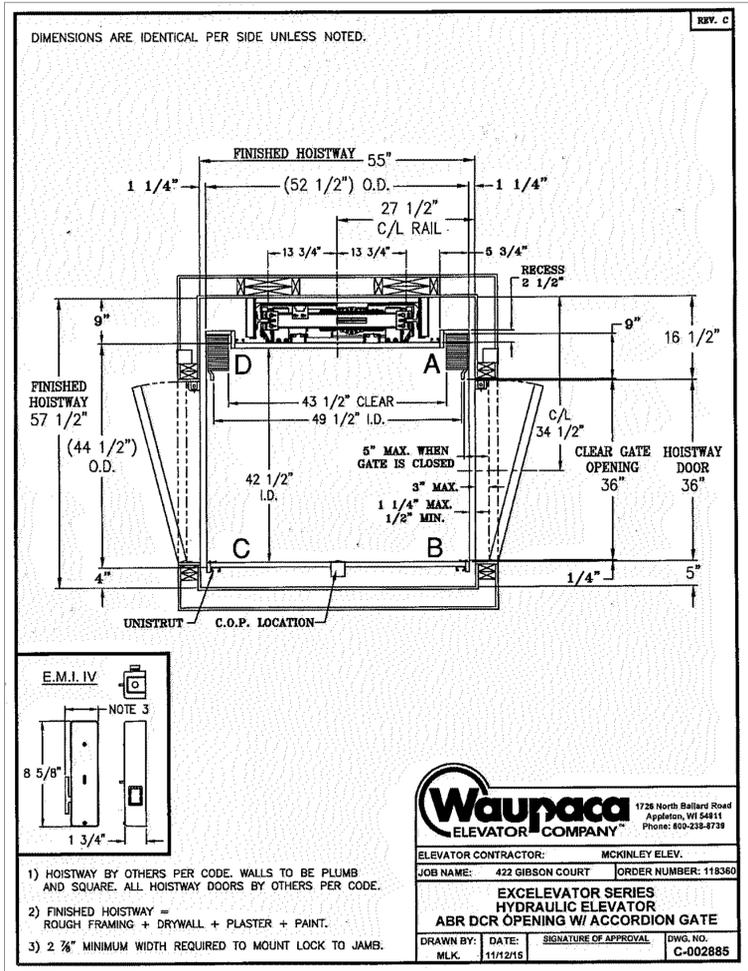
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**LEGENDS :**

- (E) EXISTING
- (N) NEW



**1 PROPOSED BUILDING SECTION**  
SCALE : 3/16" = 1'-0"



**Waupaca**  
ELEVATOR COMPANY  
1726 North Ballard Road  
Appleton, WI 54911  
Phone: 800-233-8739

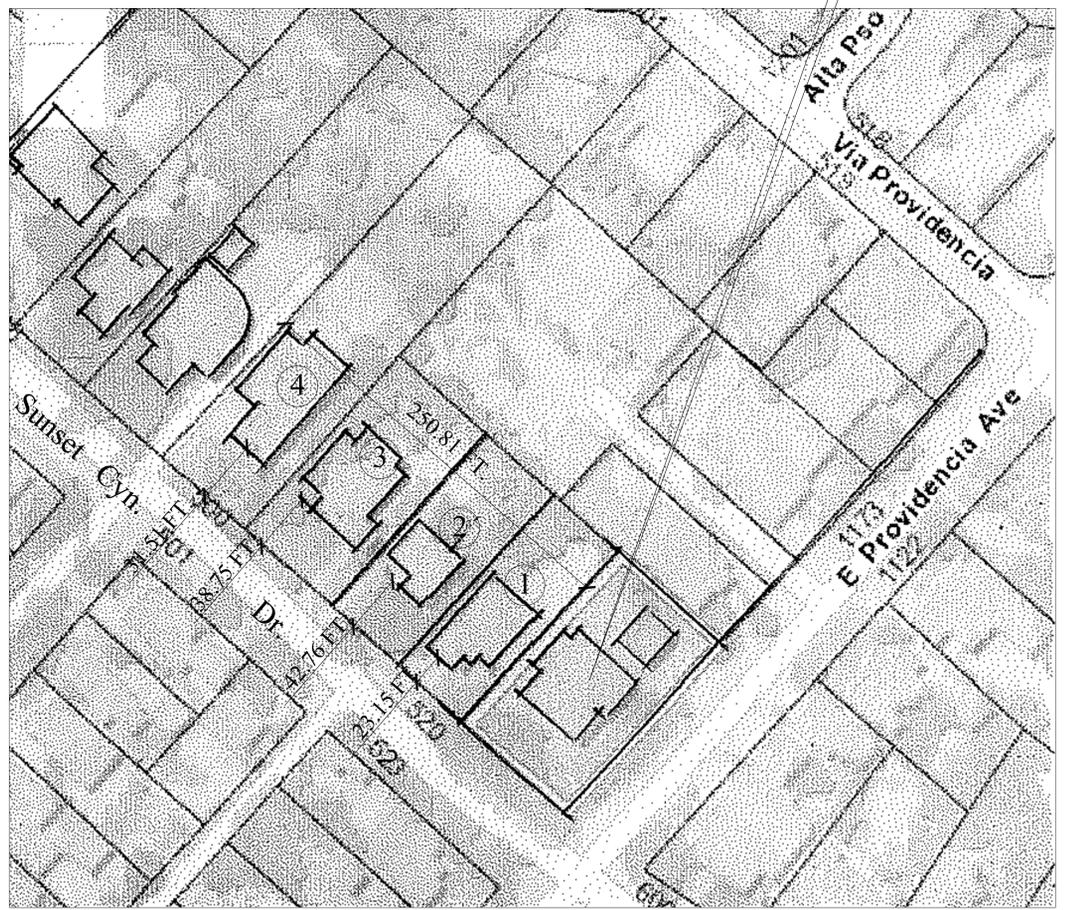
ELEVATOR CONTRACTOR: MCKINLEY ELEV.  
JOB NAME: 422 GIBSON COURT ORDER NUMBER: 118360

EXCELEVATOR SERIES  
HYDRAULIC ELEVATOR  
ABR DCR OPENING W/ ACCORDION GATE

DRAWN BY: MLK DATE: 11/12/15 SIGNATURE OF APPROVAL: DWG. NO. C-002885

**ELEVATOR SPECIFICATIONS :**

- 1) HOISTWAY BY OTHERS PER CODE. WALLS TO BE PLUMB AND SQUARE. ALL HOISTWAY DOORS BY OTHERS PER CODE.
- 2) FINISHED HOISTWAY = ROUGH FRAMING + DRYWALL + PLASTER + PAINT.
- 3) 2 3/4" MINIMUM WIDTH REQUIRED TO MOUNT LOCK TO JAMS.



**AVERAGE SETBACK CALCULATIONS WITHIN 250' ON THE BLOCK FACE :**

① 520 S. SUNSET CYN. DR.	23'-2"
② 512 S. SUNSET CYN. DR.	42'-9"
③ 506 S. SUNSET CYN. DR.	38'-9"
④ 500 S. SUNSET CYN. DR.	31'-6"
<b>AVERAGE =</b>	<b>34'-0"</b>

**2 (WITHIN 250' ON THE BLOCK FACE) AVERAGE SETBACK CALCULATION**  
SCALE : 3/16" = 1'-0"

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Glendale, CA 91205  
(818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT  
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DWG. TITLE : PROPOSED HOUSE (PROPOSED) BLDG. SECTIONS, AVERAGE SETBACK CALC. & ELEVATOR SPECS.

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

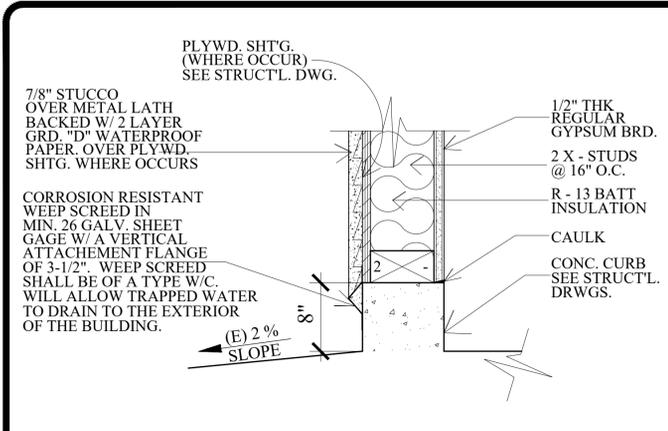
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**SEPT. 10, 2023**

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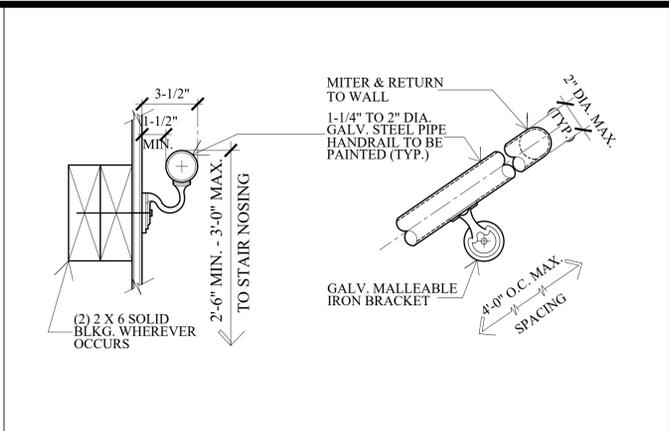
Job No.

Sheet No.  
**A-9.1**

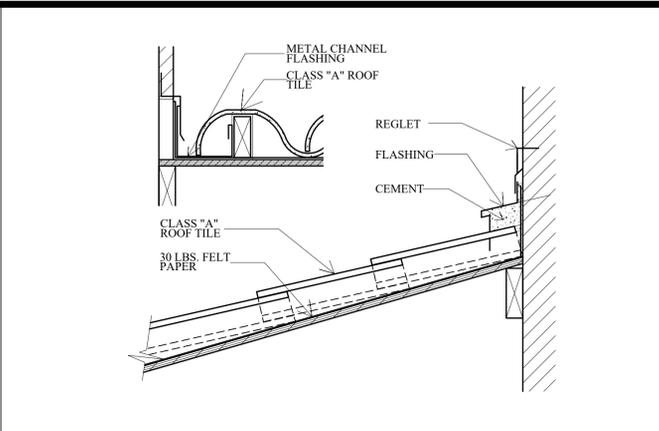
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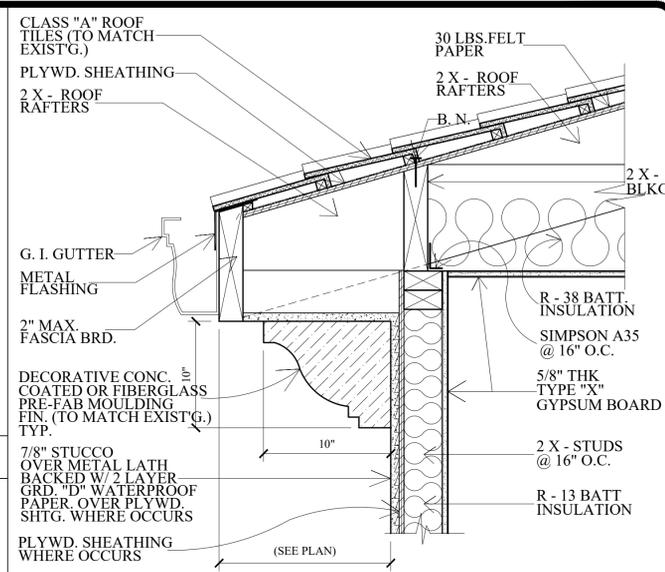
WALL DETAIL N. T. S. 12



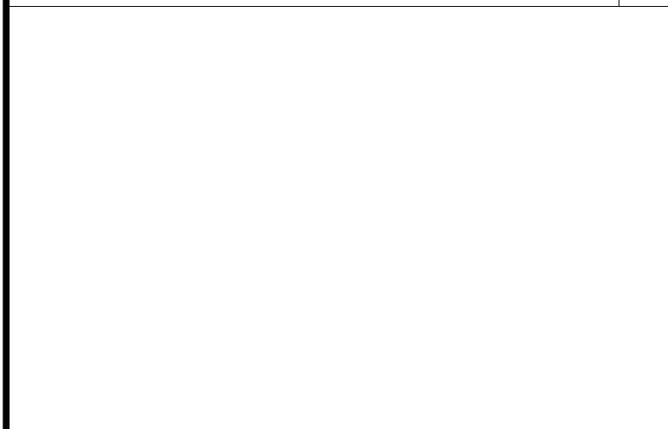
STAIR HANDRAIL DETAIL (ATTACHED TO WALL) N. T. S. 9



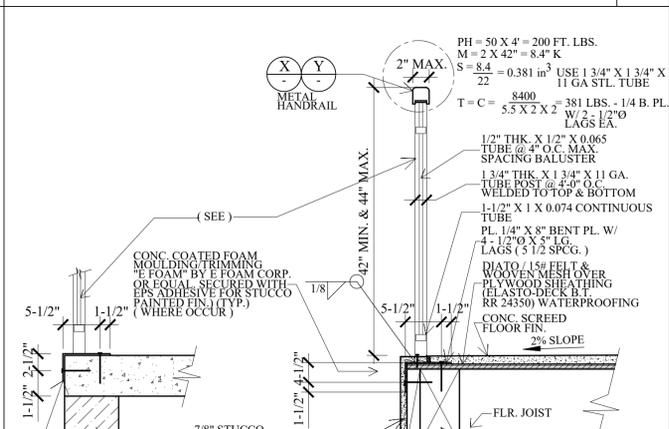
ROOF TILE DETAIL N. T. S. 5



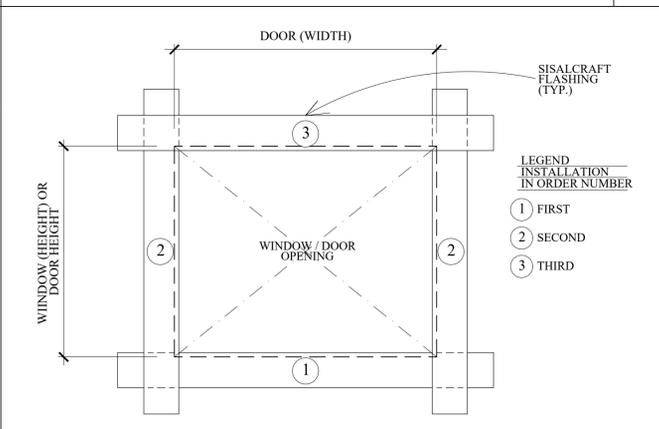
ROOF EAVES DETAIL N. T. S. 1



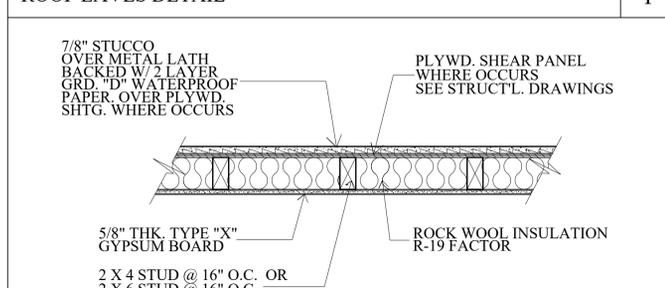
DETAIL N. T. S. 13



TYP. WINDOWS & DOORS FLASHING DET. ELEVATION N. T. S. 6



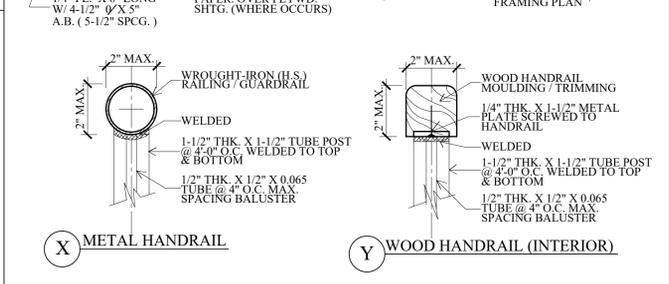
WALL DETAIL N. T. S. 2



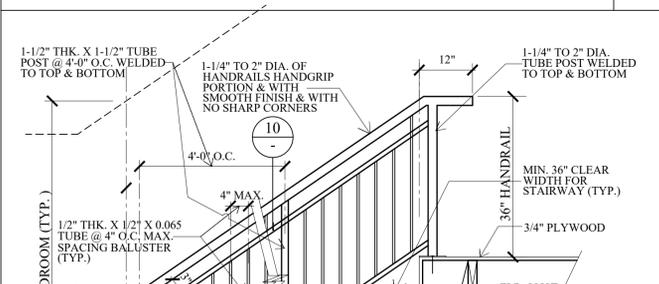
WEEP SCREED ON WALL DETAIL N. T. S. 3



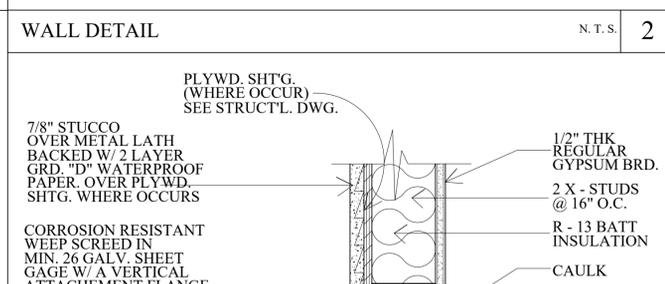
STAIR HANDRAIL / GUARDRAIL DETAIL N. T. S. 10



STAIR DETAIL N. T. S. 7



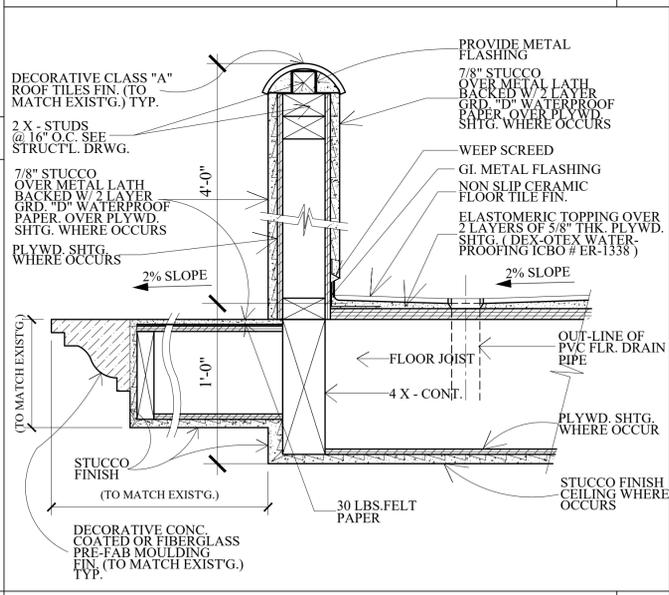
BALCONY GUARDRAIL DETAIL N. T. S. 11



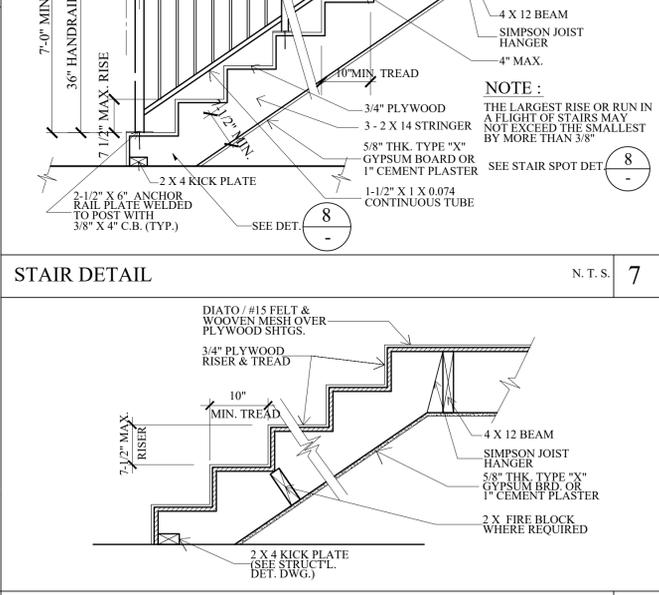
STAIR DETAIL N. T. S. 8



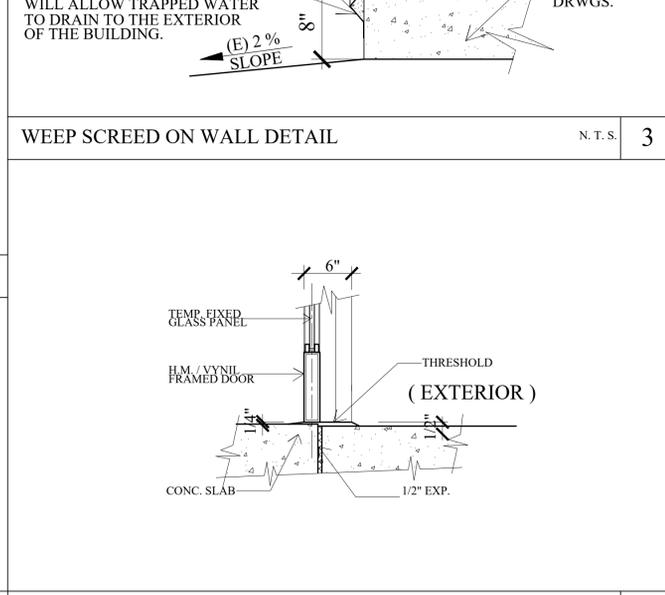
WALL DETAIL N. T. S. 14



STAIR DETAIL N. T. S. 15



DOOR THRESHOLD DETAIL N. T. S. 4



BALCONY GUARDRAIL DETAIL N. T. S. 11

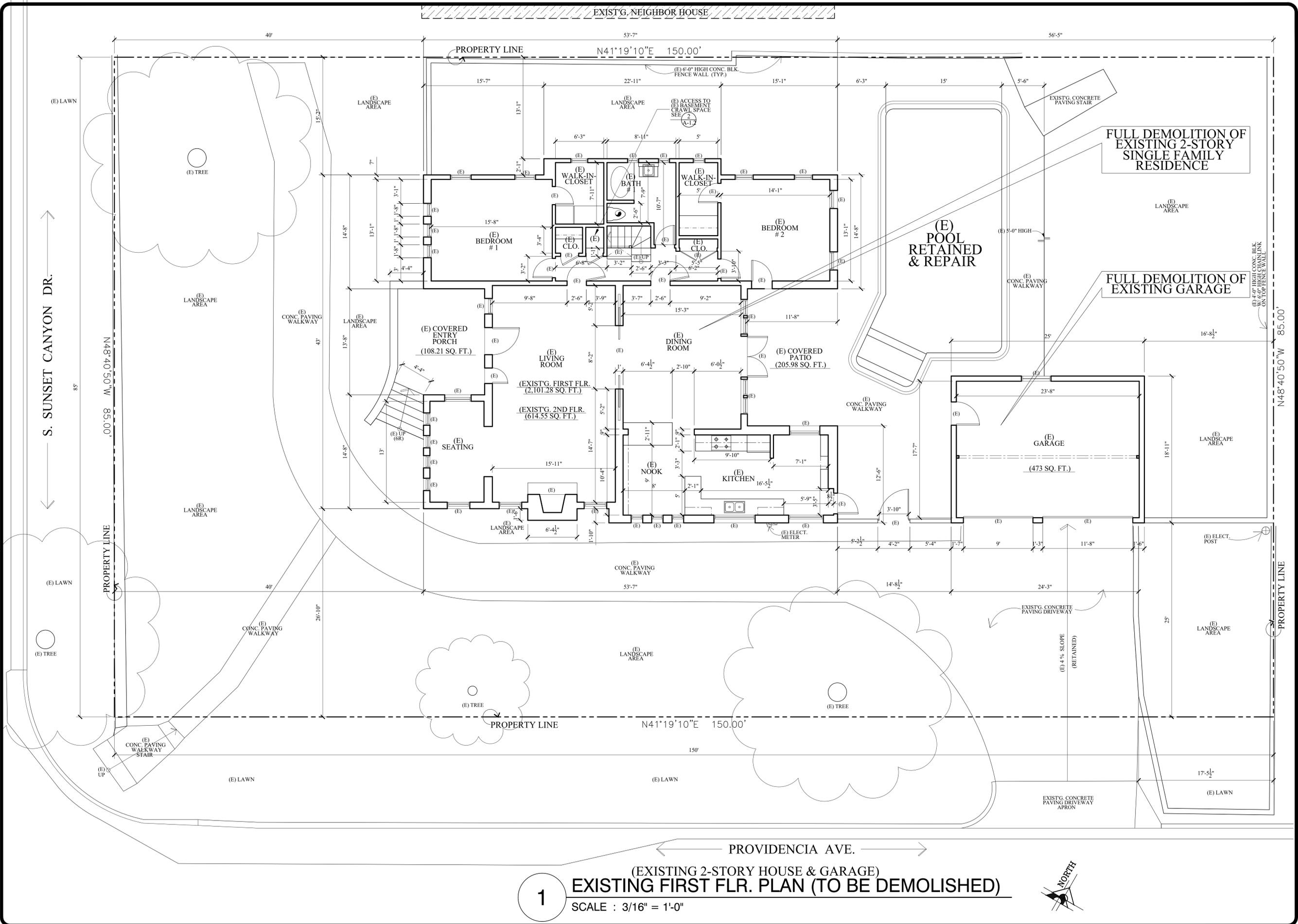
Revisions	By

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**VJ & ASSOCIATES**  
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 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
 PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 OWNER : MARINA ISQUANT  
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 DRWG. TITLE : ARCHITECTURAL DETAILS

Drawn by  
NEIL A.  
 Checked by  
V. J.  
 Date  
SEPT. 13, 2023  
 Scale  
N. T. S.  
 Job No.  
 Sheet No.  
**A-10**  
 of Sheets



**1** (EXISTING 2-STORY HOUSE & GARAGE)  
**EXISTING FIRST FLR. PLAN (TO BE DEMOLISHED)**  
 SCALE : 3/16" = 1'-0"



Revisions	By

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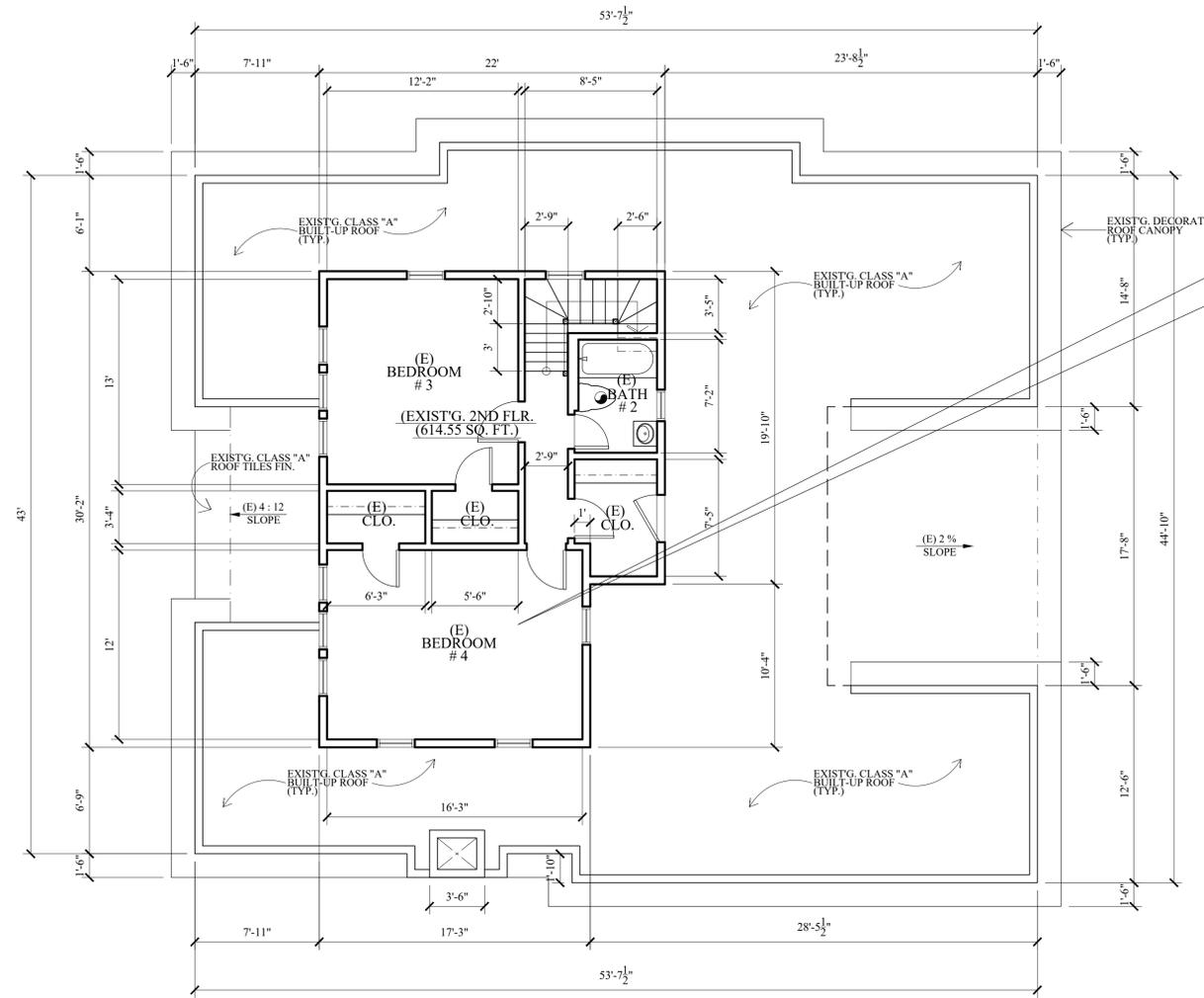
**V J & ASSOCIATES**  
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 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
 PROJ. ADDR. : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 OWNER : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 DRWG. TITLE : (EXISTING HOUSE & GARAGE) EXISTG. / AS BUILT FIRST FLR. PLAN (TO BE DEMOLISHED), LEGENDS & NOTES

Drawn by  
 NEIL A.  
 Checked by  
 V. J.  
 Date  
 SEPT. 13, 2023  
 Scale  
 3/16" = 1'-0"  
 Job No.

Sheet No.  
**D-1**  
 of Sheets



**1**  
 (EXISTING 2-STORY HOUSE)  
**EXIST'G. SECOND FLOOR  
 PLAN TO BE DEMOLISHED**  
 SCALE : 3/16" = 1'-0"

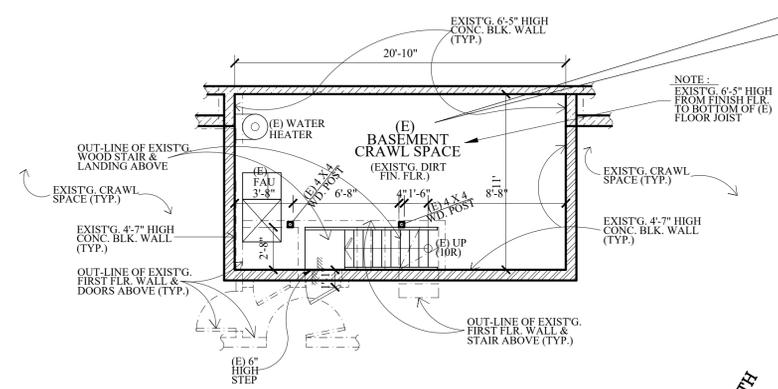
FULL DEMOLITION OF  
 EXISTING 2-STORY  
 SINGLE FAMILY  
 RESIDENCE

**NOTES :**

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

**LEGENDS :**

(E) EXISTING



**2**  
 (EXISTING 2-STORY HOUSE)  
**EXIST'G. BASEMENT  
 TO BE DEMOLISHED**  
 SCALE : 3/16" = 1'-0"

FULL DEMOLITION OF  
 EXISTING 2-STORY  
 SINGLE FAMILY  
 RESIDENCE INCLUDING  
 EXIST'G. BASEMENT

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 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADD : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUINT  
 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

DRWG. TITLE : EXIST'G. SECOND FLOOR PLAN, EXIST'G. BASEMENT PLAN, EXIST'G. LEGENDS & NOTES

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

Date  
**SEPT. 13, 2023**

Scale  
**3/16" = 1'-0"**

Job No.

Sheet No.  
**D-2**

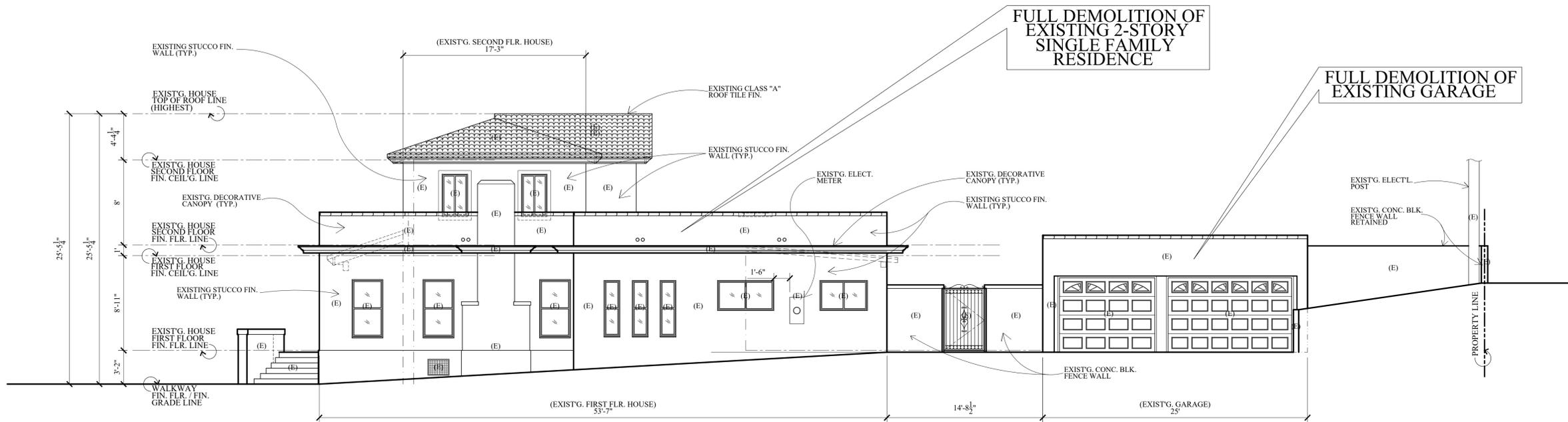
of Sheets

**NOTES :**  
 1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE THE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

**LEGENDS :**  
 (E) EXISTING



**1**  
 (EXISTING 2-STORY HOUSE)  
**EXISTING FRONT / WEST ELEVATION TO BE DEMOLISHED**  
 SCALE : 3/16" = 1'-0"



**2**  
 (EXISTING 2-STORY HOUSE & GARAGE)  
**EXISTING RIGHT SIDE / SOUTH ELEVATION TO BE DEMOLISHED**  
 SCALE : 3/16" = 1'-0"

FULL DEMOLITION OF EXISTING 2-STORY SINGLE FAMILY RESIDENCE

FULL DEMOLITION OF EXISTING 2-STORY SINGLE FAMILY RESIDENCE

FULL DEMOLITION OF EXISTING GARAGE

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 Glendale, CA 91205  
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUINT  
 526 S. SUNSET CYN. DR. BURBANK, CA. 91501

DRWG. TITLE : EXISTG. HOUSE (EXISTG. AS BUILT) ELEVATIONS W/EXISTG. GARAGE FRONT ELEV. (TO BE DEMOLISHED)

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

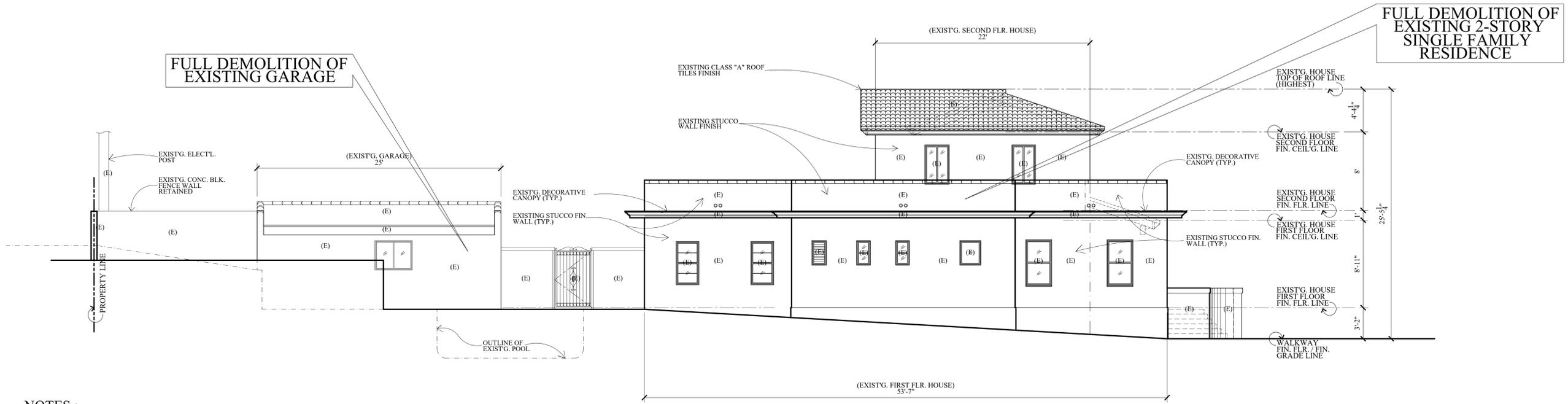
Date  
**SEPT. 13, 2023**

Scale  
**3/16" = 1'-0"**

Job No.

Sheet No.  
**D-3**

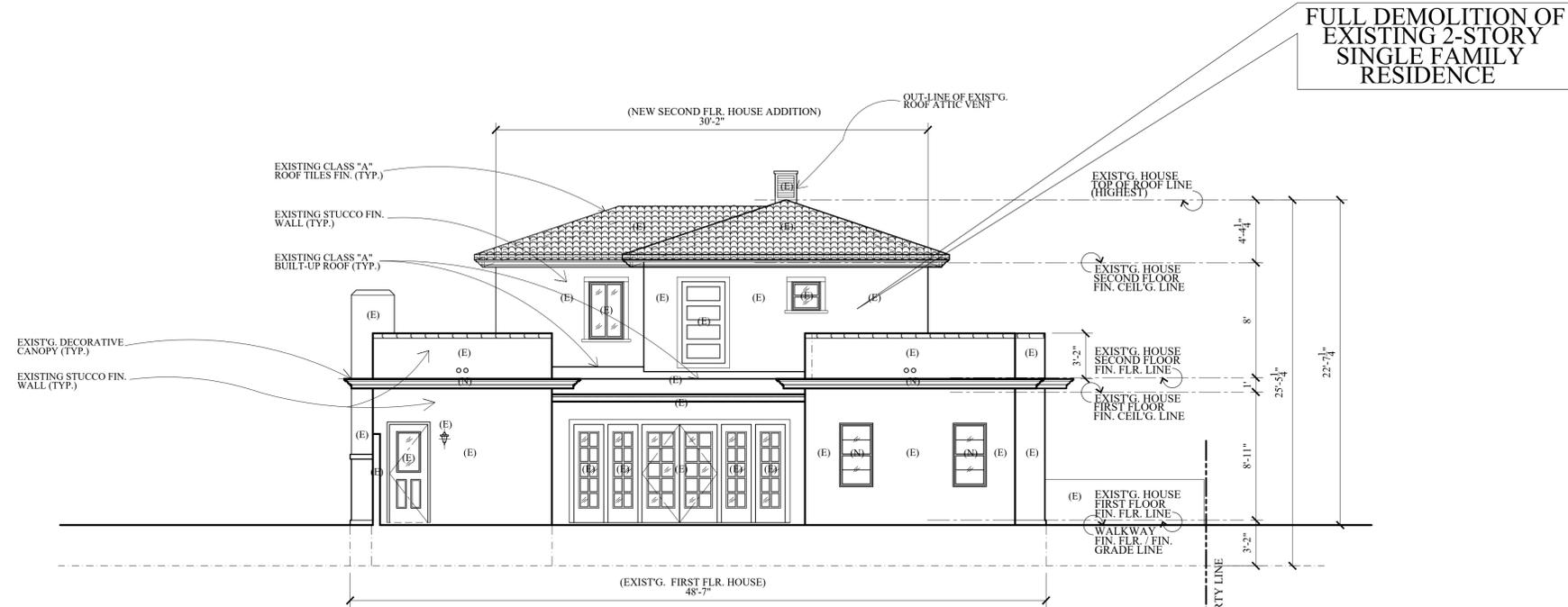
of  
 Sheets



**NOTES :**  
 1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

**LEGENDS :**  
 (E) EXISTING

(EXISTING 2-STORY HOUSE & GARAGE)  
**EXISTING LEFT SIDE / NORTH ELEVATION TO BE DEMOLISHED**  
 1 SCALE : 3/16" = 1'-0"



(EXISTING 2-STORY HOUSE)  
**EXISTING REAR / EAST ELEVATION TO BE DEMOLISHED**  
 2 SCALE : 3/16" = 1'-0"

Revisions	By

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PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
 PROJ. ADD : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 OWNER : MARINA ISQUANT  
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 DRWG. TITLE : EXIST'G. HOUSE (EXIST'G. AS-BUILT) ELEVATIONS W/EXIST'G. GARAGE REAR ELEV. (TO BE DEMOLISHED).

Drawn by  
 NEIL A.  
 Checked by  
 V. J.  
 Date  
 SEPT. 13, 2023  
 Scale  
 3/16" = 1'-0"  
 Job No.

Sheet No.  
**D-4**  
 of Sheets

**BASIS OF BEARINGS:**

THE BEARING OF N41°19'10"E, SHOWN FOR THE CENTERLINE OF PROVIDENCIA AVENUE ON TRACT NO. 22255, MAP BOOK 598, PAGE 44, WAS USED AS THE BASIS OF BEARINGS HEREON.

**CITY BENCHMARK:**

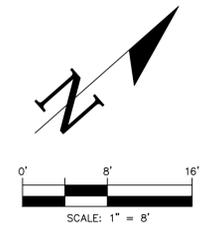
BENCH MARK: BM 1809-1  
DATUM: NAVD 1988  
ELEVATION: 807.165 FEET  
DESCRIPTION: 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 1809-1 AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SUNSET CANYON DRIVE AND PROVIDENCIA AVENUE

**LEGAL DESCRIPTION:**

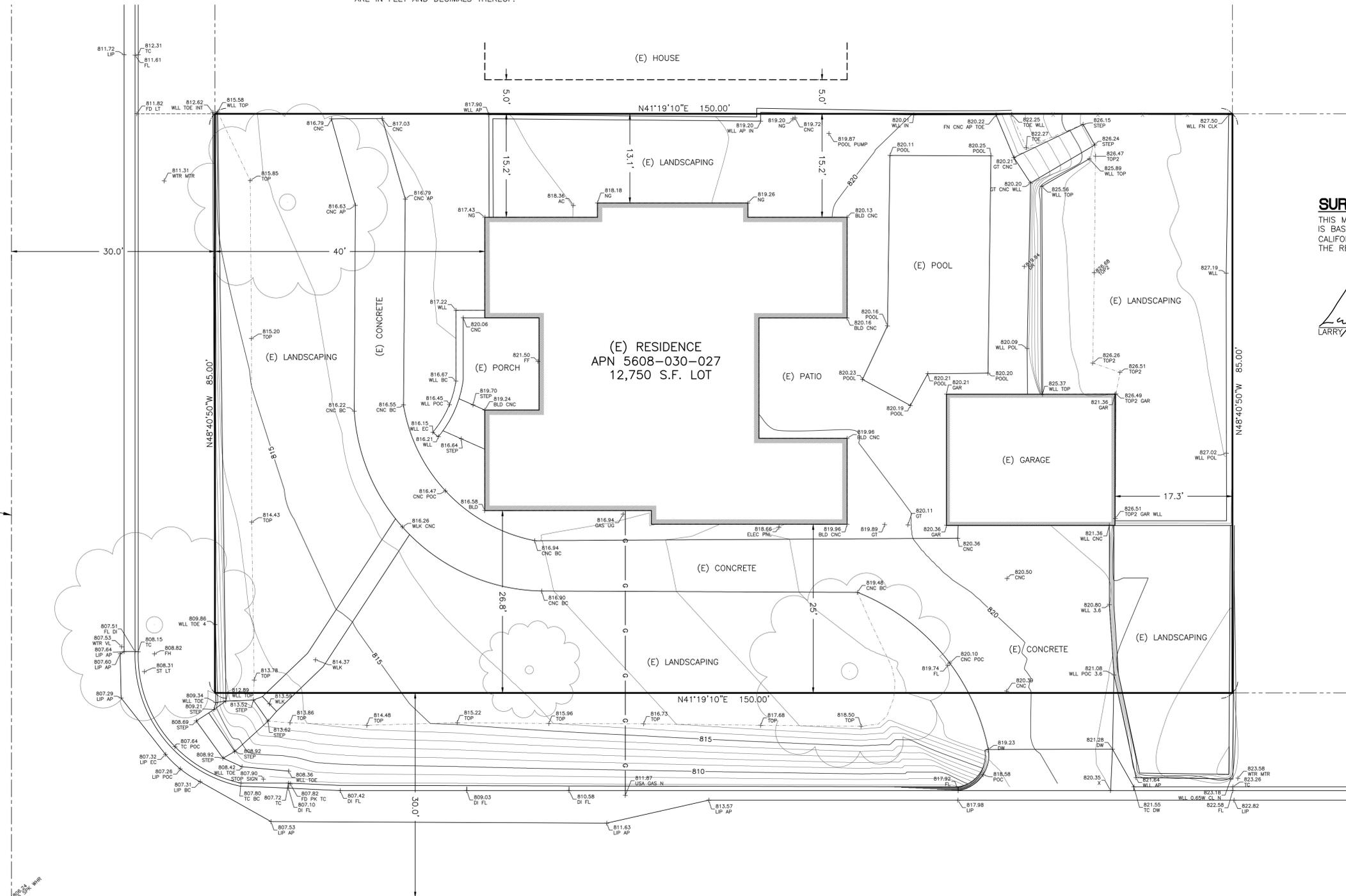
THE SOUTHEASTERLY 85 FEET OF THE SOUTHWESTERLY 150 FEET OF LOT 14 OF VILLA LOTS AS PER MAP RECORDED IN BOOK 31, PAGE 25 OF MISCELLANEOUS RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
APN 5608-030-027

**NOTES:**

ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.



☉ S. SUNSET CANYON DRIVE



☉ PROVIDENCIA AVENUE

**SURVEYOR'S STATEMENT:**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF MARINA ISOUNTS IN FEBRUARY OF 2019.

*Larry G. Canterbury* 2/11/19  
LARRY G. CANTERBERRY, LS 8776 DATE



**LEGEND:**

- ☉ (E) POWER POLE
- x — (E) FENCE
- OHE — (E) OVERHEAD POWER
- G — (E) GAS

**ABBREVIATIONS:**

- AC = ASPHALT CONCRETE
- AP = ANGLE POINT
- CNC = CONCRETE
- CLK = CHAIN-LINK
- COR = CORNER
- DI = DROP INLET
- DW = DRIVEWAY
- (E) = EXISTING
- EP = EDGE OF PAVEMENT
- FD = FOUND
- FC = FACE OF
- FF = FINISH FLOOR
- FL = FLOWLINE
- FN = FENCE
- GR = GRASS
- INV = INVERT
- IP = IRON PIPE
- LP = LOW POINT
- NG = NATURAL GROUND
- MH = MANHOLE
- MON = MONUMENT
- OHE = OVERHEAD ELECTRIC LINE
- PP = POWERPOLE
- RET = RETENTION WALL
- RW = RIGHT-OF-WAY
- SD = STORM DRAIN
- SGN = SIGN
- SPG = WATER SPIGOT
- SMH = SEWER MANHOLE
- STP = STEP
- TC = TOP OF CURB
- TOE = TOE OF SLOPE
- TOP = TOP OF SLOPE
- WD = WOOD
- WI = WROUGHT IRON
- WLL = WALL

PREPARED BY:  
**CALIFORNIA ENGINEERING & SURVEYING INC**  
5210 MOLISE COURT, BAKERSFIELD, CA 93308  
(661) 809-7372 glen@cclengr.com

DRAWN: GC  
CHECKED: GC  
DATE: 2/10/19  
JOB NO.: 19-1202  
DWG. NAME: TOPO

**526 S. SUNSET CANYON DRIVE**  
**TOPOGRAPHIC SURVEY**  
**BURBANK, CA 91501 APN 5608-030-027**

REVISIONS

SHEET NO. 1 OF 1 SHEETS

CALGREEN REQUIREMENTS / NOTES :

**RESIDENTIAL MANDATORY MEASURES CHECKLIST**  
NEW, ADDITION AND ALTERATION  
(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Use this worksheet to identify where on the construction documents the following mandatory CALGreen requirements are provided.

Project Address: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501 Date:

Note: Code sections in bold are City of Burbank additional mandatory CALGreen amendments.

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
<b>Chapter 1 - ADMINISTRATION</b>				
<b>Scope</b>				
101.3.1		Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.		
<b>Chapter 3 - GREEN BUILDING</b>				
<b>Additions and Alterations</b>				
301.1.1		<ul style="list-style-type: none"> <li>Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.</li> <li>Requirements only apply within the specific area of the addition or alteration.</li> <li>Note: On and after 1/1/2014, residential building undergoing permitted alterations, additions or improvement shall replace non-compliant plumbing fixtures with water conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificated of occupancy or final permit approval by the local building department.</li> </ul>		
<b>PLANNING AND DESIGN</b>				
<b>Site Development</b>				
1	4.106.2	Storm water drainage and retention during construction. A Storm Water Drainage and Retention Plan shall be implemented to manage storm water drainage during construction in compliance with City of Glendale Public Works Standard Urban Storm Water Mitigation Plan.	CG-1	ITEM 1
2	4.106.3	Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception: Additions and alterations not altering the drainage path.	A-1 - SITE DEVT. PLAN CG-1	ITEM 2

Residential Mandatory Checklist Updated: 06/09/2017

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
4.106.4.2.2		Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following: 1. The minimum length of each EV spaces shall be 18 feet. 2. The minimum width of each EV spaces shall be 9 feet. 3. One of every 25 EV spaces, but not less than one, shall also have any 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical to 48 units horizontal in any direction.	CG-1 A-2	ITEM 3 4.106.4.2.2 PROP. FIRST FLOOR PLAN (E) GARAGE W/NEW ADDITION
4.106.4.2.3		Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location on an EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.	CG-1	ITEM 3 4.106.4.2.3
4.106.4.2.4		Multiple EV space required. Construction documents shall indicate the raceway termination point and proposed location of future EV space and EV chargers. Construction documents shall also provide information on amperages of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV space at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.	N.A.	N.A.
4.106.4.2.5		Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.	N.A.	N.A.
4	4.106.5 (GBSC)	Water permeable surface. Provide calculation on site plan to show proposed water permeable surfaces shall not be less than 20 percent of the total on-grade, residential uncovered parking, walking or patio surfaces. The primary driveway, the primary entry walkway and entry porch or landing and required accessible routes for persons with disability as required by Chapter 11A and / or 11B of CBC shall not be included when calculating the area required to be a permeable surface.	N.A.	N.A.

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ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
4.303.1.4.3		Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.	CG-1	ITEM 7 (4.303.1.4.3)
4.303.1.4.4		Kitchen faucets. The maximum flow rate shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.	CG-1	ITEM 7 (4.303.1.4.4)
8	4.303.2	Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with California Plumbing Code, and shall meet the applicable standards reference in Table 1701.1 of California Plumbing Code.	CG-1	ITEM 8
<b>Outdoor Water Use</b>				
9	4.304.1	Outdoor potable water use in landscape areas. After December 1, 2015 new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options: 1. A local water efficiency landscape ordinance or the current California Department of Water Resources' Model Water Efficiency Landscape Ordinance (MWEL), whichever is more stringent; or 2. Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWEL's Appendix D Prescriptive Compliance Option. Notes: 1. The Model Water Efficient Landscape Ordinance (MWEL) and supporting documents are available at: <a href="http://www.water.ca.gov/wateruseefficiency/landscapeordnance/">http://www.water.ca.gov/wateruseefficiency/landscapeordnance/</a> 2. A water budget calculator is available at: <a href="http://www.water.ca.gov/wateruseefficiency/landscapeordnance/">http://www.water.ca.gov/wateruseefficiency/landscapeordnance/</a>	CG-1	ITEM 9 CG-1 ITEM 9 NOTE 1 TO 2
<b>MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY</b>				
<b>Enhanced Durability and Reduced Maintenance</b>				
10	4.406.1	Rodent proofing. Annular spaces around pipes, electrical cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or a similar method acceptable to the enforcing agency.	CG-1	ITEM 10

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ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
3	4.106.4	Electric vehicle (EV) charging for New construction. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.	N.A.	N.A.
4.106.4.1		New one- and two-family dwellings and townhouses with attached private garages. For each dwelling units, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location on an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas or spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.	A-2	PROP. FIRST FLOOR PLAN (E) GARAGE W/NEW ADDITION
4.106.4.1.1		Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked "EV CAPABLE".	A-2	PROP. FIRST FLOOR PLAN (E) GARAGE W/NEW ADDITION
4.106.4.2		New multifamily dwellings. Where 17 or more multifamily dwelling units are constructed on a building site, 3 percent of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging stations (EVCS) capable of supporting future EVSE and shall be identified on construction documents. Calculations for the number of EV spaces shall be rounded up to the nearest whole number. Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.	N.A.	N.A.
4.106.4.2.1		Electric vehicle charging station (EV spaces) location. Construction documents shall indicate the location of proposed EV spaces. At least one EV spaces shall be located in common use areas and available for use by all residents. When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, Item 3, shall comply with at least one of the following options: 1. The EVCS shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EVCS shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.	N.A.	N.A.

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ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
<b>ENERGY EFFICIENCY</b>				
<b>Building Envelope</b>				
5	4.201.1	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	CG-1	ITEM 5
<b>Renewable Energy</b>				
6	4.204 (GBSC)	Solar Ready Buildings. See California Energy Code Section 110.10 - Mandatory Requirements for Solar Ready Buildings.	CG-1 F1/A-4	ITEM 6 ROOF PLAN
<b>WATER EFFICIENCY &amp; CONSERVATION</b>				
<b>Indoor Water Use</b>				
7	4.303.1	Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and Fittings/faucets and showerheads shall comply with the following:	CG-1	ITEM 7
4.303.1.1		Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for tank-type Toilets.	CG-1	ITEM 7 (4.303.1.1)
4.303.1.2		Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.	N.A.	N.A.
4.303.1.3		Showerheads.		
4.303.1.3.1		Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for showerheads.	CG-1	ITEM 7 (4.303.1.3.1)
4.303.1.3.2		Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons a minute at 80 psi, or the shower shall be designed to only allow one showerhead to be in operation at a time.	CG-1	ITEM 7 (4.303.1.3.2)
4.303.1.4		Faucets.		
4.303.1.4.1		Residential lavatory faucets. The maximum flow rate shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate shall not be less than 0.8 gallons per minute at 20 psi.	CG-1	ITEM 7 (4.303.1.4.1)
4.303.1.4.2		Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.	CG-1	ITEM 7 (4.303.1.4.2)

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ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note # or detail #)
<b>Construction Waste Reduction, Disposal and Recycling</b>				
11	4.408.1	Construction waste management. Reduce construction waste by recycling or salvaging for re-use a minimum of 65 percent of the non hazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3 or 4.408.4; or meet the local City of Glendale Construction & Demolition Waste Reduction and Recycling Plan, Ordinance No. 5895 whichever is more stringent.	CG-1	ITEM 11
<b>Building Maintenance and Operation</b>				
12	4.410.1	Operation and maintenance manual. An operation and maintenance manual shall be provided to the occupant or owner at the time of final inspection in a form of media acceptable to the enforcing agency which includes all of the following placed/installed in the building: 1. Direction to the owner or occupant that the manual shall remain with the building throughout the lifecycle of the structure. 2. Operation and maintenance instruction for the following: a. Equipment and appliances, including water saving devices and systems, HVAC systems photovoltaic system, electrical vehicle charger, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuses system. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycling programs and locations. 4. Public Transportation and/or carpool options available in the area. 5. Education materials on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape irrigation design and controllers which conserve water. 7. Instruction for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.	CG-1	ITEM 12 NO. 1 TO 7

Residential Mandatory Checklist Updated: 06/09/2017

Revisions	By

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PROJ. TITLE: FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY  
 OWNER: MARINA ISQUIST  
 PROJ. ADDR: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501  
 DRWG. TITLE: CALGREEN NOTES, REQUIREMENTS

Drawn by  
**NEIL A.**  
Checked by  
**V. J.**  
Date  
SEPT. 10, 2023  
Scale  
NOT TO SCALE  
Job No.  
Sheet No.  
**CG-1**  
of Sheets

CALGREEN REQUIREMENTS / NOTES :

Table with 5 columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes items 8, 9, 10, 13, 14, 15, 14.503.1, 15.4.504.1, 4.504.2.1, 4.504.2.2.

Residential Mandatory Checklist Page 7 of 11 Updated: 06/09/2017

Table with 5 columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes items 4, 18, 4.504.5, 4.504.5.1, 19, 4.505.2 & 4.505.2.1, 20, 4.505.3.

Residential Mandatory Checklist Page 9 of 11 Updated: 06/09/2017

Table with 5 columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes items 4.504.2.3, 4.504.2.4, 16, 4.504.3, 4.504.3.1, 4.504.3.2, 17, 4.504.4.

Residential Mandatory Checklist Page 8 of 11 Updated: 06/09/2017

Table with 5 columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes item 3, 21, 4.506.1, 22, 4.507.2, 23, 4.509.1 (GBSC).

Residential Mandatory Checklist Page 10 of 11 Updated: 06/09/2017

Table with 5 columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes item 4.509.2, 24, 702.1, 25, 702.2, 26, 703.1.

Residential Mandatory Checklist Page 11 of 11 Updated: 06/09/2017

Table with 6 columns: Item #, Product Category, VOC Content Standard, Allowable VOC Content, VOC Content, VOC Content. Includes item 3.

CALGreen VOC Content Verification Checklist Page 1 of 2 Updated: 01/01/2017

Table with 6 columns: Item #, Product Category, VOC Content Standard, Allowable VOC Content, VOC Content, VOC Content. Includes item 3.

CALGreen VOC Content Verification Checklist Page 2 of 2 Updated: 01/01/2017

Table with 6 columns: Item #, Product Category, VOC Content Standard, Allowable VOC Content, VOC Content, VOC Content. Includes item 3.

CALGreen Formaldehyde Emissions Verification Checklist Page 1 of 2 Updated: 01/01/2017

Table with 6 columns: Item #, Product Category, VOC Content Standard, Allowable VOC Content, VOC Content, VOC Content. Includes item 3.

CALGreen Formaldehyde Emissions Verification Checklist Page 2 of 2 Updated: 01/01/2017

Table with 2 columns: Revisions, By.

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PROJECT TITLE: FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

Drawn by NEIL A. Checked by V. J. Date SEPT. 10, 2023 Scale NOT TO SCALE Job No.

Sheet No. CG-2 of Sheets

CALGREEN REQUIREMENTS / NOTES :

**TABLE 4.504.1**  
**ADHESIVE VOC LIMITS <sup>1,2</sup>**  
Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
<b>SPECIALTY APPLICATIONS</b>	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
<b>SUBSTRATE SPECIFIC APPLICATIONS</b>	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

- If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
- For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1158.

**TABLE 4.504.3**  
**VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS <sup>2,3</sup>**  
Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY	
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solid coatings <sup>1</sup>	120
Magnesium cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Rust preventative coatings	250
Shellac	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone Consolidation	450
Swimming pool coatings	340

**TABLE 4.302.2**  
**FIXTURE FLOW RATES**

FIXTURE TYPE	BASELINE FLOW RATE	MAXIMUM FLOW RATE AT ≥ 20 percent REDUCTION
Showerheads	2.5 gpm @ 80 psi	2 gpm @ 80 psi
Lavatory faucets, residential	2.2 gpm @ 60 psi	1.5 gpm @ 60 psi <sup>1</sup>
Lavatory faucets, nonresidential	0.5 gpm @ 60 psi	0.4 gpm @ 60 psi <sup>2</sup>
Kitchen faucets	2.2 gpm @ 60 psi	1.8 gpm @ 60 psi <sup>3</sup>
Gravily tank-type water closets	1.6 gallons/flush	1.28 gallons/flush <sup>4</sup>
Flushometer tank water closets	1.6 gallons/flush	1.28 gallons/flush <sup>4</sup>
Flushometer valve water closets	1.6 gallons/flush	1.28 gallons/flush <sup>4</sup>
Electromechanical hydraulic water closets	1.6 gallons/flush	1.28 gallons/flush <sup>4</sup>
Urinals	1.0 gallon/flush	5 gallon/flush

- Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.
- Where complying faucets are unavailable, aerators rated at .35 gpm or other means may be used to achieve reduction.
- Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2 gpm @ 60 psi and must default to a maximum flow rate of 1.8 gpm @ 0 psi.
- Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.

Single flush toilets—The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.2/33.2.

Dual flush toilets—The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

**TABLE 4.303.3**  
**STANDARDS FOR PLUMBING FIXTURES AND FIXTURE FITTINGS**

REQUIRED STANDARDS	
Water closets (toilets)—flushometer valve-type single flush, maximum flush volume	ASME A 112.19.2/CSA B45.1 – 1.28 gal (4.8 L)
Water closets (toilets)—flushometer valve-type dual flush, maximum flush volume	ASME A 112.19.14 and U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification – 1.28 gal (4.8 L)
Water closets (toilets)—tank type	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Urinals, maximum flush volume	ASME A 112.19.2/CSA B45.1 – 0.5 gal (1.9 L)
Urinals, nonwater urinals	ASME A 112.19.19 (vitreous china) ANSI Z124.9-2004 or IAPMO Z124.9 (plastic)
Public lavatory faucets: Maximum flow rate – 0.5 gpm (1.9 L/min)	ASME A 112.18.1/CSA B125.1
Public metering self-closing faucets: Maximum water use – 0.25 gal (1.0 L) per metering cycle	ASME A 112.18.1/CSA B125.1
Residential bathroom lavatory sink faucets: Maximum flow rate – 1.5 gpm (5.7 L/min)	ASME A 112.18.1/CSA B125.1
Showerheads: maximum flow rate – 2.5 gal (9.5 L)	ASME A 112.18.1/CSA B125.1

**TABLE 4.504.2**  
**SEALANT VOC LIMITS**  
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
<b>SEALANT PRIMERS</b>	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

**TABLE 4.504.3 (CONT'D)**  
**VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS <sup>2,3</sup>**  
Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

Traffic marking coatings	100
Tub and Tile refinish coating	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

- Grams of VOC per liter of coating, including water and including exempt compounds.
- The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
- Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

**TABLE 4.504.5**  
**FORMALDEHYDE LIMITS <sup>1</sup>**  
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard <sup>2</sup>	0.13

- Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333-96(2002). For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
- Thin medium density fiberboard has a maximum thickness of 8 millimeters.

Revisions	By

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PROJ. TITLE : **PROPOSED NEW ADDITION TO EXISTING 2-STORY SINGLE FAMILY HOUSE**

PROJ. ADDR : **MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501**

OWNER : **MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501**

DRWG. TITLE : **CALGREEN NOTES, REQUIREMENTS**

Drawn by  
**NEIL A.**

Checked by  
**V. J.**

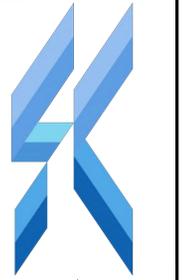
Date  
**SEPT. 10, 2023**

Scale  
**NOT TO SCALE**

Job No.

Sheet No.  
**CG-3**

of Sheets



DESIGN SKDESIGNLA.COM 818-512-9231

SHEET TITLE: ENERGY COMPLIANCE FORMS PROJECT ADDRESS: 526 S SUNSET CANYON DRIVE BURBANK, CA 91501

CERTIFICATE OF COMPLIANCE Project Name: Residential Building Calculation Date/Time: 2022-12-21T21:57:26-08:00 Input File Name: 2362-526 S SUNSET CANYON DRIVE.rbd19x

Table with 11 columns: 01-11. Includes Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition/Alteration, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count, and Is Natural Gas Available?

COMPLIANCE RESULTS 01 Building Complies with Computer Performance 02 Building does not require field testing or HERS verification 03 This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY table with columns: Energy Use (kBTDU/yr), Standard Design, Proposed Design, Compliance Margin, Percent Improvement. Rows include Space Heating, Space Cooling, IAQ Ventilation, Water Heating, and Solar Utilization/Availability Credit.

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE Project Name: Residential Building Calculation Date/Time: 2022-12-21T21:57:26-08:00 Input File Name: 2362-526 S SUNSET CANYON DRIVE.rbd19x

REQUIRED SPECIAL FEATURES The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

HERS FEATURE SUMMARY The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

BUILDING - FEATURES INFORMATION table with columns: 01-07. Includes Project Name, Conditioned Floor Area, Number of Dwellings, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, and Number of Water Heating Systems.

ZONE INFORMATION table with columns: 01-07. Includes Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System 1, and Water Heating System 2.

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ZONE INFORMATION table with columns: 01-07. Includes Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System 1, and Water Heating System 2.

OPaque SURFACES table with columns: 01-11. Includes Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, Tilt, Wall Exceptions, Status, and Verified Existing Condition.

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CERTIFICATE OF COMPLIANCE Project Name: Residential Building Calculation Date/Time: 2022-12-21T21:57:26-08:00 Input File Name: 2362-526 S SUNSET CANYON DRIVE.rbd19x

OPaque SURFACES table with columns: 01-11. Includes Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, Tilt, Wall Exceptions, Status, and Verified Existing Condition.

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OPaque SURFACES table with columns: 01-11. Includes Name, Zone, Construction, Azimuth, Orientation, Gross Area, Window and Door Area, Tilt, Wall Exceptions, Status, and Verified Existing Condition.

ATTIC table with columns: 01-10. Includes Name, Construction, Roof Type, Roof Area, Roof Reference, Roof Emittance, Radiant Barrier, Cool Roof, and Status.

FENESTRATION / GLAZING table with columns: 01-16. Includes Name, Type, Surface, Orientation, Azimuth, Width, Height, Multi, U-factor, SHGC, SHGC Source, Exterior Shading, Status, and Verified Existing Condition.

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FENESTRATION / GLAZING table with columns: 01-16. Includes Name, Type, Surface, Orientation, Azimuth, Width, Height, Multi, U-factor, SHGC, SHGC Source, Exterior Shading, Status, and Verified Existing Condition.

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FENESTRATION / GLAZING table with columns: 01-16. Includes Name, Type, Surface, Orientation, Azimuth, Width, Height, Multi, U-factor, SHGC, SHGC Source, Exterior Shading, Status, and Verified Existing Condition.

OVERHANGS AND FINIS table with columns: 01-17. Includes Name, Type, Surface, Orientation, Azimuth, Width, Height, Multi, U-factor, SHGC, SHGC Source, Exterior Shading, Status, and Verified Existing Condition.

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OPaque SURFACE CONSTRUCTIONS table with columns: 01-08. Includes Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, and Assembly Layers.

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OPaque SURFACE CONSTRUCTIONS table with columns: 01-08. Includes Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, and Assembly Layers.

BUILDING ENVELOPE - HERS VERIFICATION table with columns: 01-04. Includes Quality Insulation Installation, High R-value Spray Foam Insulation, Building Envelope Air Leakage, and CFMSO.

WATER HEATING SYSTEMS table with columns: 01-10. Includes Name, System Type, Distribution Type, Water Heater Name, Solar Heating System, Compact Distribution, HERS Verification, Status, and Verified Existing Condition.

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WATER HEATERS table with columns: 01-14. Includes Name, Heating Element Type, Tank Type, # of Units, Tank Vol., Energy Factor, Input Rating, Tank Insulation, Standby Loss, 1st HC Rating, NEER Heat Pump Brand or Model, Tank Location, Status, and Verified Existing Condition.

WATER HEATING - HERS VERIFICATION table with columns: 01-08. Includes Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Central DHW Distribution, and Shower Drains Water Heat Recovery.

SPACE CONDITIONING SYSTEMS table with columns: 01-11. Includes Name, System Type, Heating Unit Name, Cooling Unit Name, Fan Name, Distribution Name, Required Thermostat Type, Status, Verified Existing Condition, Heating Equipment Count, and Cooling Equipment Count.

HVAC - HEATING UNIT TYPES table with columns: 01-04. Includes Name, System Type, Number of Units, and Heating Efficiency.

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HVAC - COOLING UNIT TYPES table with columns: 01-08. Includes Name, System Type, Number of Units, Efficiency EER/CEER, Efficiency SEER, Zonally Controlled, Multi-speed Compressor, and HERS Verification.

HVAC - DISTRIBUTION SYSTEMS table with columns: 01-16. Includes Name, Type, Design Type, Supply, Return, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution System, and New Ducts.

HVAC - FAN SYSTEMS table with columns: 01-04. Includes Name, Type, Fan Power, and Name.

HVAC FAN SYSTEMS - HERS VERIFICATION table with columns: 01-03. Includes Name, Verified Fan Watt Draw, and Required Fan Efficacy.

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT table with columns: 01-08. Includes Name, System Type, Number of Units, Efficiency EER/CEER, Efficiency SEER, Zonally Controlled, Multi-speed Compressor, and HERS Verification.

RESPONSIBLE PERSON'S DECLARATION STATEMENT table with columns: 01-16. Includes Name, Type, Design Type, Supply, Return, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution System, and New Ducts.

HVAC - FAN SYSTEMS table with columns: 01-04. Includes Name, Type, Fan Power, and Name.

HVAC FAN SYSTEMS - HERS VERIFICATION table with columns: 01-03. Includes Name, Verified Fan Watt Draw, and Required Fan Efficacy.

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REVISIONS:

DATE: 04/07/2022

PREPARED BY: SK

JOB NUMBER: 2362

SHEET NUMBER

T24-A

