

EXHIBIT A
VIEW STUDY FOR HILLSIDE DEVELOPMENT PERMIT PROJECT NO. 23-0004879
Located at 719 Wilson Court, Burbank CA 91501

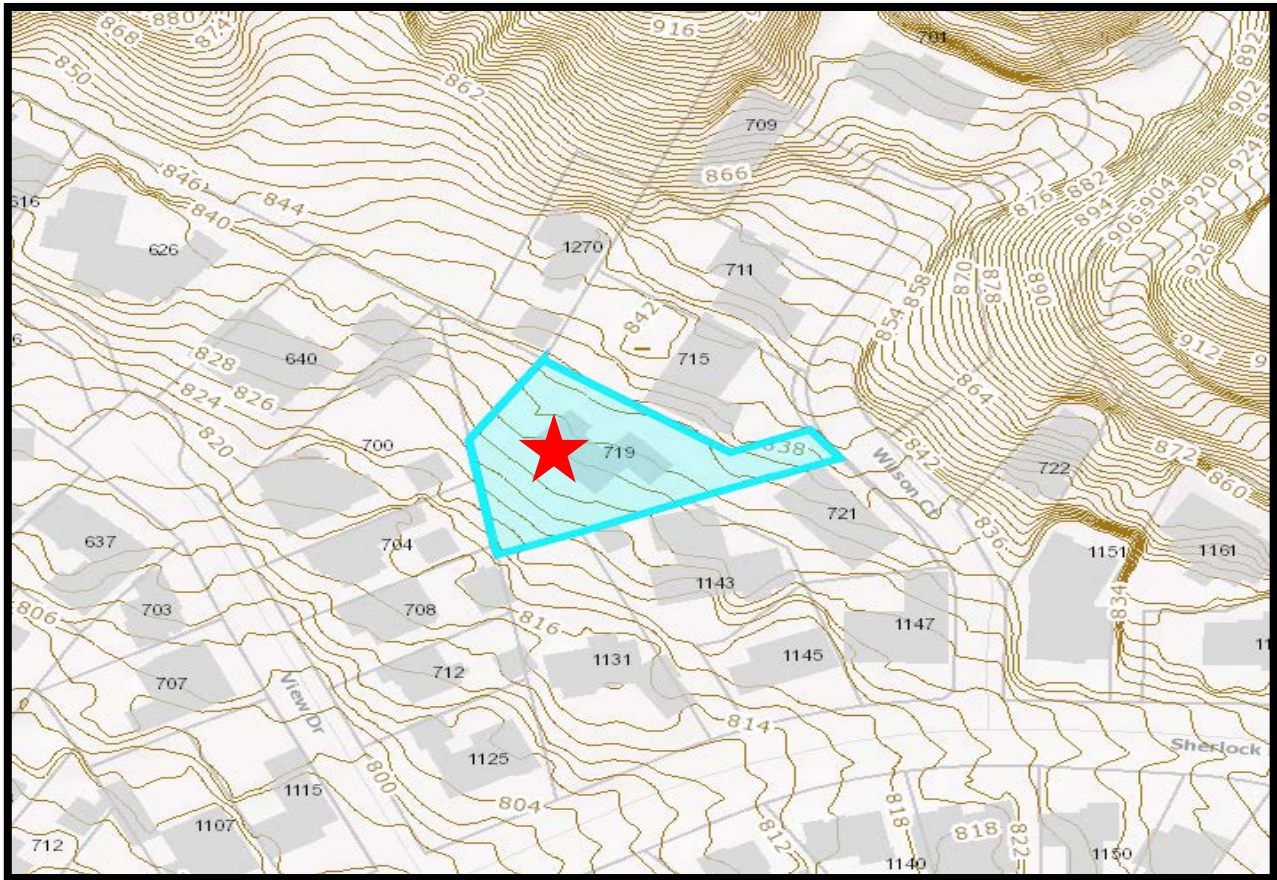
Objective and Analysis:


Per Burbank Municipal Code Section 10-1-607(D)(3)(f), a view study is required as a part of the Hillside Development Permit process to analyze the impact of the proposed development on views from adjacent properties. In addition to the public notices, residents and property owners of all the neighboring properties located within the immediate vicinity of the project site were contacted and informed of the proposed project along with the process involved in the view study. Staff analyzed the topographic map and photos taken from various angles to assess the potential impact of the development on the views from the neighboring properties.

On December 13, 2023, property owners of neighboring properties located within the immediate vicinity of the project site (shown on Figure 1) were contacted by mail and informed of the proposed project, as well as of their opportunity to participate in the City's preparation of a view study. There were no comments received from surrounding property owners. The exhibits used in the study can be found below:



★ Figure 1: Location of the proposed project with respect to the neighboring properties. Identified in blue is the subject property and identified in red are the neighboring properties that have been contacted as part of the view study.



 **Figure 2:** The topographic map of the subject property and vicinity.

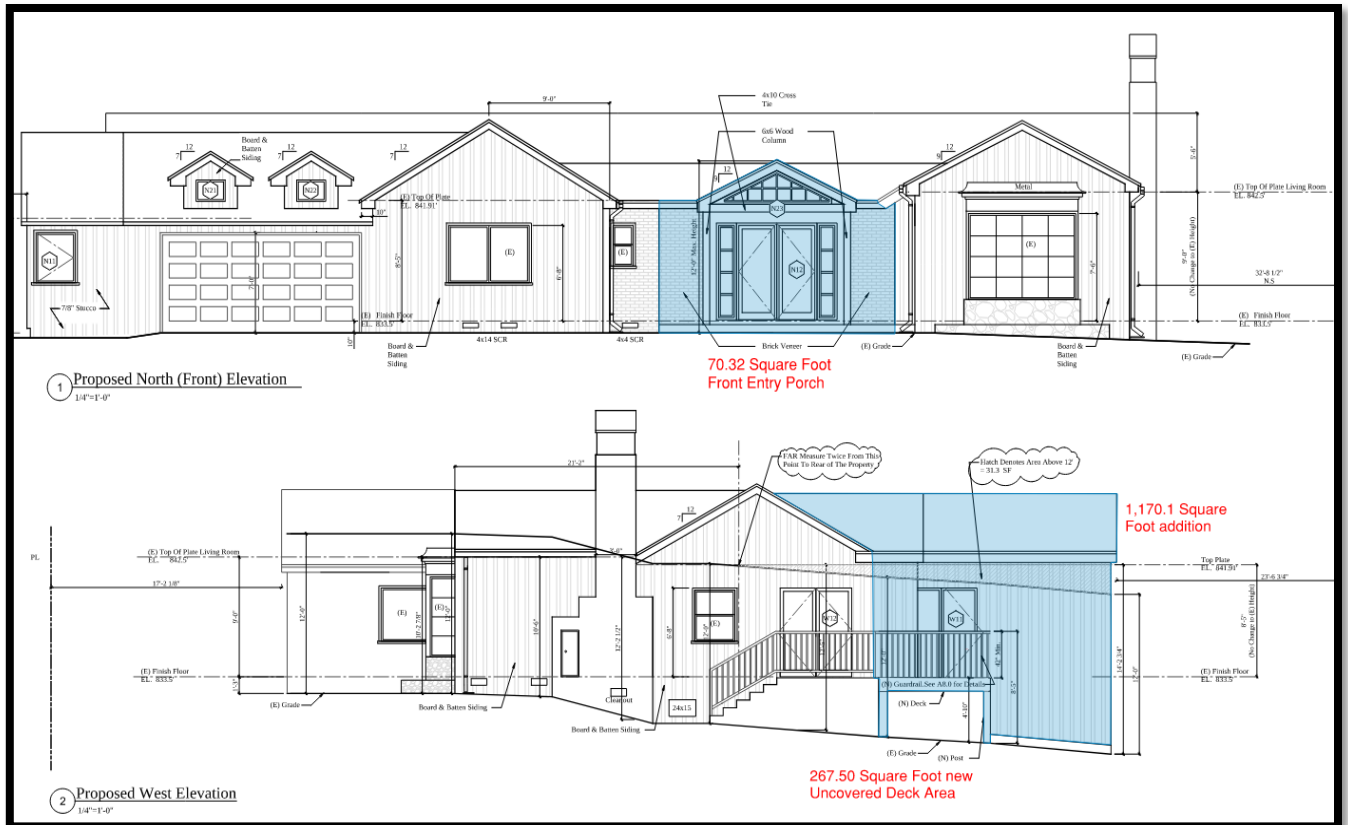


Figure 5: Elevation plan of the proposed development with additions shown in blue.



Figure 6: View of the front property looking south.



Figure 7: View from the front porch looking towards the neighboring property in the north.



Figure 8: View of the existing residence from the south portion of the property.



Figure 9: View of the existing residence from the southwest portion of the property.



Figure 10: View of the neighboring property to the West from the proposed porch.



Figure 11: View of the existing south side and year property lines from the rear of the existing main dwelling.



Figure 12: View of the south adjoining property (1131 E. Elmwood Ave) looking north towards the project property.



Figure 13: View of the southwest adjoining property (704 View Drive) looking north towards the project property.

Conclusion:

As evidenced from the above photos and site plan drawings, the placement and overall massing of the proposed addition will have minimal impact on the views from the surrounding properties. The existing single-story house has a height of approximately 20'-2" at its highest point. The addition proposes a maximum height of approximately 19'-3". The proposed additions will be built over the existing building pad located at the center of the lot. The proposed ground floor additions will be built no higher than the existing roof and the overall view impacts will be the same as those associated with the existing residence.

The placement and overall massing of the proposed additions will have a minimal impact on the views from surrounding properties. The 70.32 square foot front entry porch addition will fill in a recessed space on the north side of the residence and will remain behind the existing front façade setback, as shown in Figure 6. The views of property 715 Wilson Court located to the north of the property will not be affected as the proposed additions will not be visible from this adjacent property, as shown on Figure 7. Therefore, the primary views of the cityscape and upslope hills from the neighboring property are not being impacted due the proposed project.

As seen on Figures 9 and 10, the 267.50 square-foot uncovered deck addition will not be readily visible from any of the adjacent properties and will therefore not cause increased view impacts beyond those associated with the existing residence. The height of the 267.50 square-foot uncovered deck is 8'-5", which is lower than the existing residence, and will not increase the massing of the residence.

The 1,170.1 square foot addition to south side of the existing residence will expand the residence towards the south side of the property and providing a side setback of 10'-0". Furthermore, the addition will provide a rear setback of 42'-6³/₈", as shown in figure 3.

The residential structures located on properties immediately adjacent to the south and west are all more than 50'-0" away from the subject residence and the proposed additions and will therefore not cause increased view impacts to those existing residences. An existing 6'-0" fence and large trees surround the property and will partially screen the addition from views of the surrounding properties as shown on Figure 11. The neighboring properties immediately adjacent to the southeast of the property have structures that are built at a similar elevation and single-story in height to the existing residence inclusive of the proposed additions. Furthermore, the additional height will be built no higher than the existing residence and will therefore not create additional view impacts beyond those that may already exist.

Considering the information provided by the photographs, site plan, elevation drawings, and the elevation contours, City staff's analysis of the Project concludes that the proposed project does not create unreasonable impacts to the primary and secondary views of properties in the surrounding neighborhood.