



INSULATION SCHEDULE:

Ceilings	R-30
Exterior Walls	R-15
Floors	R-19
Water Heater	R-12
Ducts	R-4.2

No.	Date	Description

PROJECT DIRECTORY

Project Owner:
Hakob Avagyan
1351 E Alameda Ave.
Glendale, CA 91201
818/521-4900

Structural Engineer:
ARPA Technology Group
635 West Colorado Blvd., #201
Glendale, CA 91204
Phone: (818) 434-1708
Fax: (818) 252-1370
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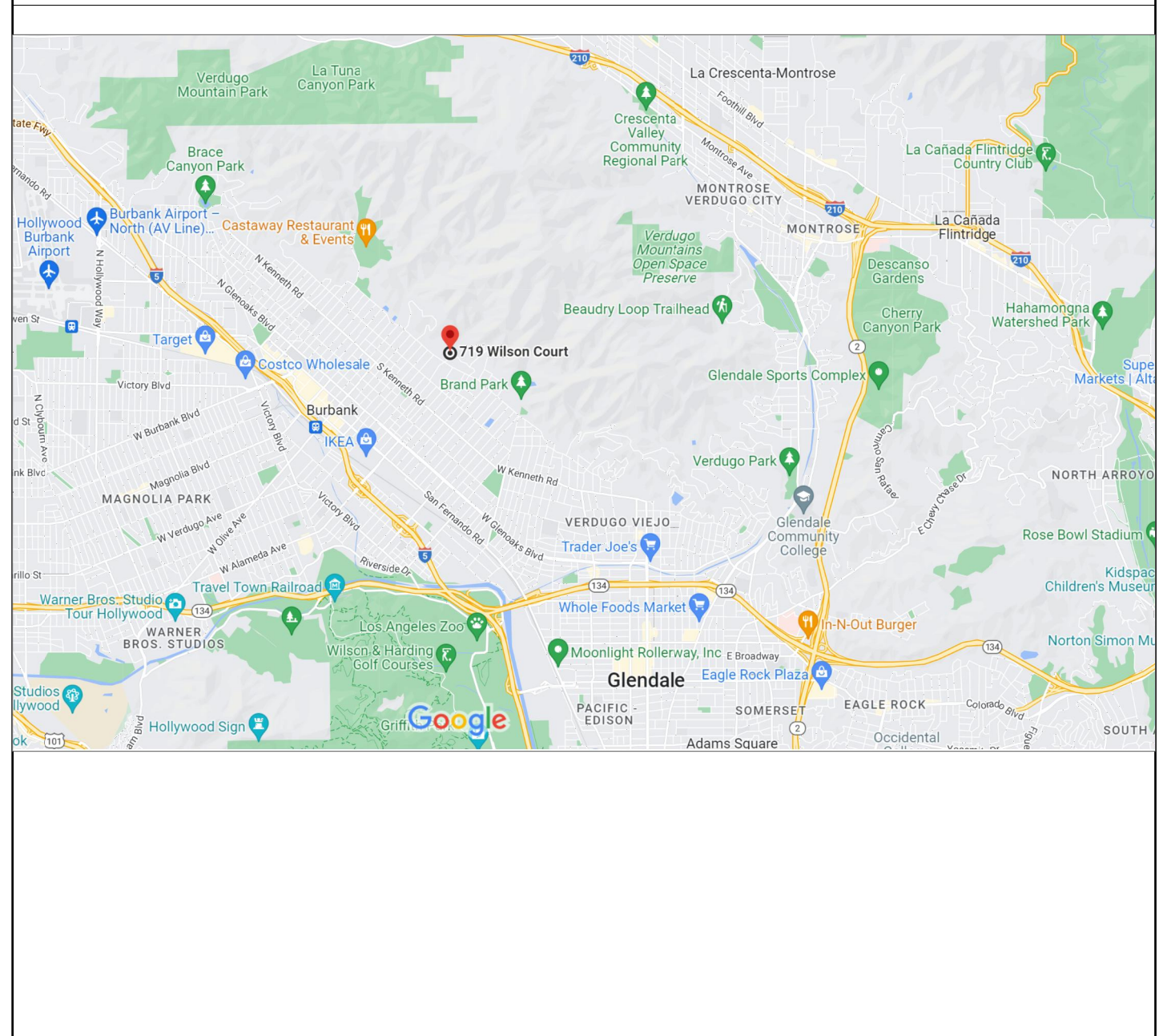
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Property Owner
Hakob Avagyan
1351 E Alameda Ave.
Glendale, CA 91201
818/521-4900

Building Address
719 Wilson Ct,
Burbank, CA 91501

Key Plan

VICINITY MAP



PROJECT NOTES

GENERAL NOTES:

- All construction shall comply with the 2022 edition of the CRC, OR CBC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and the City of Burbank local amendments.
- Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition.
- All property lines, easements, and existing buildings have been indicated on this site plan.
- A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-2-3302.4)
- Water shall be provided on the site and used to control dust.
- Temporary toilet facilities shall be provided on site. (BMC 9-1-2-3305.1)
- The finish grade shall slope a min. of 5%, or 6", to point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CBC 1804.4, CRC R401.3)
- The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12 plus 2%. (CBC 1808.7.4, CRC R403.1.7.3)

DIVERSION OF C&D DEBRIS:
A minimum 65% of generated debris shall be recycled, reused, or diverted from the landfill. An administrative fee and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-11-1012).

RESIDENTIAL DEMOLITION NOTE:
Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Chapter 1 Sec. 115) and/or revocation of the permit (CBC Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.
Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawfully enacted storm water management ordinance

PROJECT INFO

Project Address
719 Wilson Ct
Burbank CA 91501-1664

Legal Description
(E)RFA 1623.34 SF (Measured See Sheet A4.3)
Land SF: 15,410.24 SF Per Survey
ZIP Code: 91501
AIN: 5608-035-032

Use Type
Legal Description: *TR=Parcel Map as per Book 31 Page 39 of p.m. Lot 2
Number of Stories: 1
(E) Building Top Of Plate Height 841.91'
(No Change)
Type of Construction: V-B
Occupancy: R-3
Use of Structure: SRF
Number of Bedrooms: Existing=3 Proposed=4
Number of Bathrooms: Existing=2 Proposed=3 1/2
Fire Sprinkler Not Required.
2 (E) Parking Space-(No Change)
Fire Zone: Yes

PROJECT AREA CALCS.

(E) Lot Coverage: 3375.62 (Measured)
Lot Area:
15,410.24 SF (Per Assessor)
7,500.00 SF @ 40% = 3000.00 SF
7,500.00 SF @ 30% = 2250.00 SF
410.24 SF @ 20% = 82.05 SF
Max Allowed L.C. = 5332.05 SF
(E) LC 3375.62 SF<Max Allowed LC 5332.05 SF Therefore O.K.

PROJECT DESCRIPTION

- One Story Addition To (E) One Story SFD = 770.02 SF
 - Enclose (E) Covered Front Entry Porch and Convert To Residential Floor Area = 103.90 SF
 - Enclose (E) Covered Deck and Convert To Residential Floor Area = 160.96 SF
 - Proposed Covered Entry = 70.32 SF
 - One Story Garage Addition To (E) One Story Attached Garage = 135.22 SF
- Total Addition = 770.02 SF + 103.90 SF + 160.96 SF + 70.32 SF + 135.22 SF = 1240.22**
- New 267.50 SF Wood Deck (Less Than 5'-0" Above Grade)
 - Remodel Interior Of (E) SFD
 - No Grading
 - No Change of (E) Building Pad
- Total (E) 1st Floor Area 1990.24 SF**
Total (E) Cellar Floor Area 144.96 SF
Total Proposed 1st Floor Area 1240.22 SF
Total Floor Area 3375.62 SF
Garage Floor Area Exemption 400.00 SF
2975.62 SF
Total RFA <3000.00 SF
Therefore O.K

For More Detail See A4.3 Area Calculation sheet

Applicable Codes:
2022 California Building Code (CBC)
2022 California Mechanical Code (CMC)
2022 California Electrical Code (CEC)
2022 California Plumbing Code (CPC)
2022 California Green Building Code (CALGreen)
2022 California Energy Code
SETBACK CERTIFICATION REQUIREMENT:

719 Wilson Ct

719 Wilson Ct


719 Wilson Ct

719 Wilson Ct

<input checked="" type="checkbox"/>	NOTE ON PLAN: A. Luminaire Efficacy: All installed luminaires must meet the requirements in Table 150.0-A. Table 150.0-A Classification of High Luminous Efficacy Light Sources Automatically considered high luminous efficacy (does NOT require JAB certification) 1. LED light sources installed outdoors 2. Inseparable solid state lighting (SSL) luminaires containing colored light sources that are installed to provide decorative lighting 3. Pin-based linear fluorescent or compact fluorescents with electronic ballasts 4. High-intensity discharge (HID) light sources including pulse start metal halide and high-pressure sodium light sources 5. Luminaires with a hardwired, high-frequency generator and induction lamp 6. Ceiling fan lights kits subject to federal appliance regulations EXCEPTIONS: 1. Integrated Device Lighting: Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers 2. Navigation Lighting: Lighting such as night lights, step lights and path lights less than 5 watts 3. Cabinet Lighting: Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater B. Screw-based Luminaires: Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JAB C. Recessed Downlight Luminaires in Ceilings: There is a new exception to the airtight labeling and installation requirements for recessed luminaires that are either marked for use in fire-rated installations or are installed in non-insulated ceilings. D. Light Sources in Enclosed or Recessed Luminaires: No change, although this section has been reorganized. E. Blank Electrical Boxes: Language is added about how the blank electrical boxes must be served for dimmer, vacancy sensor control, low voltage wiring or fan speed control.
<input checked="" type="checkbox"/>	INDOOR LIGHTING CONTROLS E. Automatic-off Controls: Walk-in closets have been added in addition to bedrooms, garages, laundry room and utility rooms as spaces requiring an occupancy/vacancy sensor with automatic-off functionality. It was clarified that lighting in opaque-fronted drawers and cabinetry must be controlled with automatic-off when a drawer or door is closed. F. Dimming Controls: Dimmers that are required for lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens and bedrooms) must have readily accessible dimming controls. Forward phase-cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A. EXCEPTIONS: 1. Ceiling fans with integrated lighting may use remote control. 2. Luminaires connect to a circuit in which the controlled lighting power is <20 watts OR controlled by an occupancy/vacancy sensor providing automatic-off functionality. 3. Lighting is under 5 watts for navigation (e.g., night lights, step lights and path lights), or lighting is internal to opaque-fronted drawers and cabinetry (which may alternatively use automatic-off controls). G. Independent Controls: The following must be controlled independently: • Integrated lighting of exhaust fans from the fan function • Undercabinet lighting • Undershelf lighting • Interior lighting of display cabinets • Switched outlets

SECTION	MEASURE	REQUIREMENTS
PLANNING AND DESIGN		
4.106.2	Storm Water Drainage and Retention During Construction	A plan is developed and implemented to manage storm water drainage during construction.
4.106.3	Grading and Paving	Construction plans shall indicate how site grading or a drainage system will manage all surface water to keep water from entering buildings.
4.106.4.1	Electric Vehicle Charging	Provide capability for electric vehicle charging for one and two-family dwellings; townhouses with attached private garages in accordance with Section 4.106.4.1.
4.106.4.2	Electric Vehicle Charging	Provide capability for electric vehicle charging for multifamily dwellings and hotels/motels in accordance with Sections 4.106.4.2.1 or 4.106.4.2.2, as applicable.
4.106.4.3	Electric Vehicle Charging	Provide capability for electric vehicle charging for existing parking lots or new parking lots for existing buildings in accordance with Section 4.106.4.3, as applicable.
ENERGY EFFICIENCY		
4.201.1	General	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.
WATER EFFICIENCY AND CONSERVATION (Indoor Water Use)		
Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.		
4.303.1	Water Conserving Plumbing Fixtures and Fittings	Plumbing fixtures & fittings
		Water closets
		Urinals
		Showerheads
		Residential lavatory faucets
		Lavatory faucets in common & public use areas
		Metering faucets
		Kitchen faucets
		Standards for Plumbing Fixtures and Fittings
		Metering faucets
		Metering faucets
		Metering faucets
WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use)		
Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.		
1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations Title 23, Chapter 2.2, Division 2.		
MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Enhanced Durability & Reduced Maintenance)		
Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling)		
Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following:		
1. Comply with a more stringent local construction and demolition waste management ordinance; or		
2. A construction waste management plan, per Section 4.408.2, or		
3. A waste management company, per Section 4.408.3, or		
4. The waste stream reduction alternative, per Section 4.408.4.		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Building Maintenance & Operation)		
An operation and maintenance manual shall be provided to the building occupant or owner.		
Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, or metal or a locally enacted local recycling ordinance, if more restrictive.		
Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.		
ELECTRICAL NOTES per 2022 California Electrical Code		
A. PANEL LOCATIONS Panels shall not be located in the vicinity of easily ignitable material, such as clothes closets [CEC 240.24(D)], or in bathrooms [CEC 240.24(E)].		
B. NON-METALLIC SHEATHED CABLE [CEC 334] Non-metallic sheathed cable shall be: 1. Protected by rigid metal conduit, intermediate metal conduit, electrical metallic tubing, schedule 80 PVC conduit, type ETRC marked with the suffix -XW, or other means when cable is exposed or subject to physical damage. [CEC 334.15(B)] 2. Protected by a 1/16-inch steel plate or sleeve or be not less than 1-1/4 inch from the nearest edge of the framing member, when installed through framing members. Steel plates or sleeves are required on all double shear walls when cable is installed either through or parallel to framing members [CEC 334.17, 300.4]. 3. Protected by guard strips within 6 feet of an attic access when no permanent stairs or ladders are provided [CEC 334.23, 320.23]. 4. Protected by guard strips in the entire attic when permanent stairs or ladders are provided. Access panels or doors from the second floor into the attic are considered permanent access and guard strips are required in the entire attic [CEC 320.23]. 5. Have a bending radius not exceeding 5 times the diameter of the cable [CEC 334.24]. 6. Supported at intervals not exceeding 4-1/2 feet and within 12" of every outlet box, junction box, cabinet, or fitting [CEC 334.30].		
C. CIRCUITS AND RECEPTACLES 1. Tamper-Resistant Receptacles shall be installed as specified in dwelling units in all areas specified in 210.52 and 550.13. [CEC 406.12] Receptacles shall be installed so that no point along the free line in any wall space is more than 6 ft. from an outlet, including any wall space 2 ft. wide or greater. Note: A fixed panel of a sliding glass door is considered wall space. [CEC 210.52(A)] 2. In kitchens, breakfast rooms, pantries and dining rooms a minimum of 2-20A circuits shall be provided [CEC 210.11(C)] (1) Counter space receptacles shall be GFCI [CEC 210.8(A)] and installed: • At each wall counter space that is 12 in. or greater [CEC 210.52(G)] ; • Maximum 24 in. from the end of the counter [CEC 210.52(G)(2)(A)] ; • Maximum 20 in. above counter surface [CEC 210.52(G)(2)(B)] ; • Below countertop or works surfaces (one receptacle min.) not more than 12 in. below counter surface [CEC 210.52(G)(2)(C)] ; 3. Bathrooms shall have a separate 20A circuit [CEC 210.11(C)] (3) with at least one GFCI wall receptacle within 36 in. of each basin [CEC 210.8(A)], CEC 210.52(D). 4. Laundry rooms shall have a separate 20A circuit with at least one receptacle shall be provided [CEC 210.11(C)(2)]. All receptacles within 6 ft. of the sink shall be GFCI [CEC 210.8(A)(7)]. 5. In garages, at least one GFCI receptacle shall be provided [CEC 210.52(H)]. All other garage receptacles except those dedicated to an appliance or that are not readily accessible shall be GFCI [CEC 210.8(A)(2)]. 6. In hallways of 10 ft. or more in length, at least one receptacle shall be provided [CEC 210.52(H)].		
D. LIGHTING [CEC 210.70] 1. Switched lighting shall be installed in: • Every habitable room, kitchen, and bathroom, hallways, and stairways at each level, • Garages, • At all outdoor entrances and exits, • In all attics, under floor areas, utility rooms and basements used for storage • Near HVAC equipment in attic, under floor areas, rooms or basements, with a switch at the access point. 2. Lighting installed in a closet shall be a surface mounted or recessed fluorescent fixture or a surface mounted incandescent fixture with completely enclosed lamps. Surface incandescent lighting shall be installed a minimum of 12 in. from the nearest point of a storage space. Surface fluorescent lighting and recessed lighting shall be installed a minimum of 6 in. from the nearest point of a storage space. [CEC 410.16(C)]		
E. FANS Each bathroom containing a bathtub, shower, or bathtub/shower combination shall be mechanically ventilated for purposes of humidity control in accordance with the California Mechanical Code and the California Green Building Standards Code.		
F. SMOKE ALARMS In new construction, smoke alarms shall receive their primary power from the building wiring. The wiring shall be permanent and installed without a disconnecting switch other than those required for overcurrent protection [CEC 9314.4, CEC 907.2.10.3].		
8. Outdoor outlets shall be GFCI [CEC 210.8(A)] (3). One outlet shall be installed at the front of the dwelling and one at the rear of the dwelling. Balconies, decks, and porches that are attached to the dwelling unit and are accessible from inside the dwelling unit shall have at least one outlet. Receptacles shall be accessible at grade level and not more than 6-1/2 ft. above grade or walking surface [CEC 210.52(E)].		
9. All crawl space receptacles shall be GFCI [CEC 210.8(A)(4)].		
10. All unfinished basement receptacles shall be GFCI unless they are not readily accessible or are service a dedicated appliance [CEC 210.8(A)(5)].		
11. All receptacles within 6 ft. of a wet bar shall be GFCI [CEC 210.8(A)(7)].		
12. All receptacles on 15A or 20A branch circuits that supply closets, hallways laundry areas or similar rooms or areas shall be protected by combination-type Arc-Fault Circuit Interrupters (AFCI), including switched outlets [CEC 210.12(A)].		
13. All receptacles serving appliances or motors with a rating of 1 HP or 6 Amps shall be on a separate circuit.		
14. For HVAC equipment, a separate 15A or 20A circuit with an accessible receptacle at the equipment shall be provided within 25 ft. of the equipment [CEC 210.63]. If located in an under-floor area, the receptacle shall be GFCI [CEC 210.8(A)].		
15. Basements, Garages and Accessory Buildings: For a one-family dwelling, at least one receptacle outlet shall be installed in the areas specified in 210.52(G)(1) through (3). These receptacles shall be in addition to receptacles required for specific equipment [CEC210.52]		

SECTION	MEASURE	REQUIREMENTS
2022 CALGREEN Residential Mandatory Measure Notes		
PLANNING AND DESIGN		
4.106.2	Storm Water Drainage and Retention During Construction	A plan is developed and implemented to manage storm water drainage during construction.
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4.106.4.1	Electric Vehicle Charging	Provide capability for electric vehicle charging for one and two-family dwellings; townhouses with attached private garages in accordance with Section 4.106.4.1.
4.106.4.2	Electric Vehicle Charging	Provide capability for electric vehicle charging for multifamily dwellings and hotels/motels in accordance with Sections 4.106.4.2.1 or 4.106.4.2.2, as applicable.
4.106.4.3	Electric Vehicle Charging	Provide capability for electric vehicle charging for existing parking lots or new parking lots for existing buildings in accordance with Section 4.106.4.3, as applicable.
ENERGY EFFICIENCY		
4.201.1	General	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.
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		Lavatory faucets in common & public use areas
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1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations Title 23, Chapter 2.2, Division 2.		
MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Enhanced Durability & Reduced Maintenance)		
Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling)		
Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following:		
1. Comply with a more stringent local construction and demolition waste management ordinance; or		
2. A construction waste management plan, per Section 4.408.2, or		
3. A waste management company, per Section 4.408.3, or		
4. The waste stream reduction alternative, per Section 4.408.4.		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Building Maintenance & Operation)		
An operation and maintenance manual shall be provided to the building occupant or owner.		
Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, or metal or a locally enacted local recycling ordinance, if more restrictive.		
Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.		
2019 CALGREEN Residential Mandatory Measure Notes		
ENVIRONMENTAL QUALITY (Fireplaces)		
4.503.1	Fireplaces	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.
ENVIRONMENTAL QUALITY (Pollutant Control)		
4.504.1	Ductwork	Duct openings and other related air distribution component openings shall be covered during construction.
4.504.2.1	Adhesives, Sealants and Caulks	Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
4.504.2.2	Paints and Coatings	Paints, stains and other coatings shall be compliant with VOC limits.
4.504.2.3	Aerosol Paints and Coatings	Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.
4.504.2.4	Verification	Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
4.504.4	Carpet Systems	Carpet and carpet systems shall be compliant with VOC limits.
4.504.4	Resilient Flooring Systems	80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.
4.504.5	Composite Wood Products	Particleboard, medium density fiberboard (MDF) and hardwood plywood used in the interior finish systems shall comply with low formaldehyde emission standards.
ENVIRONMENTAL QUALITY (Interior Moisture Control)		
4.505.2	Concrete Slab Foundations	Vapor retarder and capillary break is installed at slab-on-grade foundations.
4.505.3	Moisture Content of Building Materials	Moisture content of building materials used in wall and floor framing is checked before enclosure.
ENVIRONMENTAL QUALITY (Indoor Air Quality & Exhaust)		
4.506.1	Bathroom Exhaust Fans	Each bathroom shall be mechanically ventilated and shall comply with the following: 1. ENERGY STAR fans ducted to terminate outside the building. 2. Fans must be controlled by a humidity control (separate or built-in), OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of 50 percent to a maximum of 80 percent.
ENVIRONMENTAL QUALITY (Environmental Comfort)		
4.507.2	Heating and Air Conditioning System Design	Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS (Qualifications, Verifications)		
702.1	Installer Training	HVAC system installers are trained and certified in the proper installation of HVAC systems.
702.2	Special Inspection	Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.
703.1	Documentation	Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.
Note: This check list is intended only as an aid to the user and may not contain complete code language. Refer to 2022 CALGreen Chapter 4 for complete code language.		

<input checked="" type="checkbox"/>	THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET OF THE SUBMITTED DRAWINGS:																														
<p align="center"> BUILDING DIVISION Community Development Department City of Burbank</p> <p align="center">WATER-CONSERVING PLUMBING FIXTURES CERTIFICATE OF COMPLIANCE (For buildings built on or before Jan. 1, 1994)</p> <p>Project Address: 719 Wilson Ct Permit No: B52301118</p> <p>I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.</p> <p>Owner's Name: <u>Hakob Avagyan</u> Date: <u>5/3/23</u> Owner's Signature: <u>H. Avagyan</u></p> <table border="1"> <tr><th colspan="2">SINGLE-FAMILY RESIDENTIAL</th></tr> <tr><td>Fixture</td><td>CALGreen/CPC</td></tr> <tr><td>Water Closet</td><td>1.28 gals/flush</td></tr> <tr><td>Showerhead</td><td>1.8 gals/min at 80 psi</td></tr> <tr><td>Multiple Showerheads</td><td>1.8 gals/min combined at 80 psi</td></tr> <tr><td>Lavatory Faucet</td><td>1.2 gals/min at 60 psi</td></tr> <tr><td>Kitchen Faucet</td><td>1.8 gals/min at 60 psi</td></tr> <tr><th colspan="2">MULTI-FAMILY RESIDENTIAL</th></tr> <tr><td>Fixture</td><td>CALGreen/CPC</td></tr> <tr><td>Water Closet</td><td>1.28 gals/flush</td></tr> <tr><td>Showerhead</td><td>1.8 gals/min at 80 psi</td></tr> <tr><td>Multiple Showerheads</td><td>1.8 gals/min combined at 80 psi</td></tr> <tr><td>Lavatory Faucet (within units)</td><td>1.2 gals/min at 60 psi</td></tr> <tr><td>Lavatory Faucet (common areas)</td><td>0.5 gals/min at 60 psi</td></tr> <tr><td>Kitchen Faucet</td><td>1.8 gals/min at 60psi</td></tr> </table>		SINGLE-FAMILY RESIDENTIAL		Fixture	CALGreen/CPC	Water Closet	1.28 gals/flush	Showerhead	1.8 gals/min at 80 psi	Multiple Showerheads	1.8 gals/min combined at 80 psi	Lavatory Faucet	1.2 gals/min at 60 psi	Kitchen Faucet	1.8 gals/min at 60 psi	MULTI-FAMILY RESIDENTIAL		Fixture	CALGreen/CPC	Water Closet	1.28 gals/flush	Showerhead	1.8 gals/min at 80 psi	Multiple Showerheads	1.8 gals/min combined at 80 psi	Lavatory Faucet (within units)	1.2 gals/min at 60 psi	Lavatory Faucet (common areas)	0.5 gals/min at 60 psi	Kitchen Faucet	1.8 gals/min at 60psi
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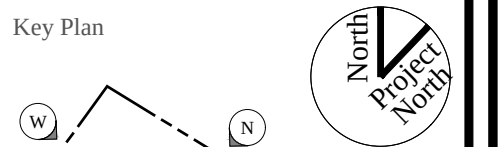
No. | Date | Description

Architect

Structural Engineer
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Phone: (818) 434-1708
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Web: www.arka-i.com

Property Owner
Hakob Avagyan
1351 E Alameda Ave.
Glendale, CA 91201
818/521-4900

Building Address
719 Wilson Ct,
Burbank, CA 91501



If this sheet is not 24"x36", it is a reduced copy.

Green Notes

Drawing No. A1.1
Scale N/S
Date 12/13/2023
Ref No.

GENERAL NOTES FOR SINGLE-FAMILY DWELLING

These General Notes are provided as an aid and should not be construed as a complete list of requirements. For additional clarity or for all other requirements, please refer to the City of Los Angeles Residential, Zoning and Building Codes.

A. GENERAL

- 1. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facility... 2. Obtain permits from Public Works prior to Construction for: a. Temporary pedestrian protection... b. For any construction near any street or public area. 3. Outlets along wall counter space, island and peninsula counter space in kitchens shall have a maximum spacing of 48". (210-52 NEC) 4. All new lighting shall be from an energy high efficacy light source... 5. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings... 6. A copy of the evaluation report and/or conditions of listing shall be made available at the job site 7. The sprinkler system shall be approved by Plumbing Division prior to installation. 8. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3) 9. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4) 10. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)

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- 11. Los Angeles City Electrical Test Lab Research Report is required to use an electro-mechanical lift for provided parking spaces. 12. "A maintenance of vehicle lift system (2-levels or more) affidavit" shall be approved and recorded prior to issuing a building permit. 13. A minimum of 65 percent of the nonhazardous construction and demolition waste shall be recycle and/or salvage for reuse in accordance with California Green Building Standards Code, Chapter 4 Division 4.4. (R334) 14. Finish materials including adhesives, sealants, caulks, paints and coating, aerosol paints and systems and composite wood products shall meet the volatile organic compound (VOC) emission limits in accordance with the California Green Building Standards Code, Chapter 4 Division 4.5. (R340) 15. When a vapor retarder is required, a capillary break shall be installed in accordance with the California Green Building Standards Code, Chapter 4, Division 4.5. (R506.2.3.1) 16. Annular space around pipes, electric cables, conduits or other openings in bottom/sole plates at exterior walls shall be protected against the passage of rodents by closing such openings in accordance with the California Green Building Standards Code, Chapter 4, Division 4.4. (R602.3.4.1)

B. BATHROOMS

- 1. All shower enclosures, regardless of shape, shall have a minimum finished interior area of not less than 1024 square inches (0.66 m²) and shall be capable of encompassing a 30 inch diameter (0.76 m) circle. The minimum area and dimensions shall be maintained to a point 70 inches (1.8 m) above the shower drain outlet. (Plumbing Code Section 408.6) 2. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2). 3. Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption. 4. A min 12" sq. access panel to the bathtub trap slip joint connection is required. (Plumbing Code Section 402.10)

C. LAUNDRY ROOM

- 1. Clothes dryer(s) located in an area that is habitable or containing fuel burning appliances shall be exhausted to the outside or to an area which is not habitable and does not contain other fuel burning appliances (but not beneath the building or in the attic area). (M.C. 504.4.2.1) 2. A 4" clothes dryer moisture exhaust duct is limited to a 14 feet length with two elbows

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from the clothes dryer to the point of termination. Reduce this length by 2 feet for every elbow in excess of 2. (M.C. 504.3.2, M.C. 908)

D. MEANS OF EGRESS

- 1. Provide 32" wide doors to all interior accessible rooms within a dwelling unit. (LARC Section R101, LABC Section 6304.1) 2. Provide emergency egress from sleeping rooms. Min.- 24" clear ht, 20" clear width, 5.7 sq.ft. min. area. (LARC Section R310.2.1, LABC Section 1030.2) 3. Occupied roofs shall be provided with exits as required for stories.

E. GRADING AND FOUNDATION

- 1. If adverse soil conditions are encountered, a soils investigation report may be required. (LARC Section R401.4) 2. Foundation and floor slabs shall conform to the following or the recommendation of an approved soils report: a. Depth of footings below the natural and finished grades shall not be less than 24 inches for exterior and 18 inches for interior footings. b. Exterior walls and interior bearing walls shall be supported on continuous footings. c. Footings shall be reinforced with a minimum 4 - 1/2 inch diameter deformed reinforcing bars. Two bars shall be placed within 4 inches of the bottom of the footing and two bars within 4 inches of the top of the footings. d. The soil below an interior concrete slab shall be saturated with moisture to a depth of 18 inches prior to placing the concrete. e. Concrete floor slabs on grade shall be placed on a 4" fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 3 1/2 inch thick and shall be reinforced with #4 rebar at 16 inch on center in both directions. 3. Concrete slabs on expansive soil, compacted fill or slopes over 1:10 shall be placed on a 4-inch fill of coarse aggregate. The slabs shall be at least 3-1/2 inches thick and reinforced with #4 bars spaced at intervals not exceeding 16 inches on center each way. A 6-mil polyethylene or approved vapor barrier with joints lapped not less than 6-inches shall be placed between the concrete floor slab and the base course. (LABC Section 1808.6, LARC Section R403.1.8, R506.1) 4. Provide Under-floor net ventilation opening size and locations equal to 1 sq. ft. for each 150 sq. ft. of under floor area and an access opening through the floor (18" x 24" min) or an opening through a perimeter wall not less than (16" x 24" min). (LARC R408, LABC Section 1202.4, 1208)

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- 5. Openings shall be as close to corners as practicable and shall provide cross ventilation along the length of at least two opposite sides. Opening shall have 1/4 inch corrosion resistant metal mesh covering. (LABC Section 1202.4, LARC R408.2) 6. Provide corrosion resistant weep screed below the stucco a minimum of 4" above earth or 2" above paved area. (LARC Section R703.7.2.1, LABC Section 2512.1.2) 7. Provide rain gutters and convey rain water to the street. (LARC R903.4, LABC 1502.1, 7013.9)

F. ZONING NOTES

- 1. A/C units and water heaters are not allowed in the required side yards and front yard unless specifically allowed by exception per Information bulletin PIZC 2002-006.

G. SPECIAL HAZARDS

- 1. Glazing in hazardous locations shall be tempered. (LARC R308, LABC Section 2406.4) Fixed or operable panels in swinging, sliding and bifold doors and fixed or operable panels adjacent to doors; Fixed or operable window panels with panes larger than 9 square feet and are less than 18 inches above the floor, have a top edge greater than 36 inches above the floor and have one or more walking surfaces within 36 inches, measured horizontally and in a straight line, of the glazing. Glazing in guards and railings, adjacent to wet surfaces, adjacent to stairs and ramps, and adjacent to bottom stair landings. 2. Each light of safety glazing material installed in hazardous locations shall be identified by a permanent label that specifies the labeler, the type of glass, and the safety glazing standard with which it complies, and that is visible in the final installation. 3. Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, manufacturer, and performance grade rating to indicate compliance with AAMA/WDMA/CSA 101/1.S.2/A440 (research report not required). (R308.6.9) 4. Pre-fab fireplaces are required to have manufacturer, model, and Underwriter Laboratories certification (or ICC-ES). 5. Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue which uses fuel burning material. (L.A.M.C. 57.4704.10) 6. An approved Seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 171,874-for work over \$10,000.) 7. Water heater must be strapped to wall. Section 507.2, LAPC. See Information Bulletin P/PC 2011-003 "How to Brace Your Water Heater" for details.

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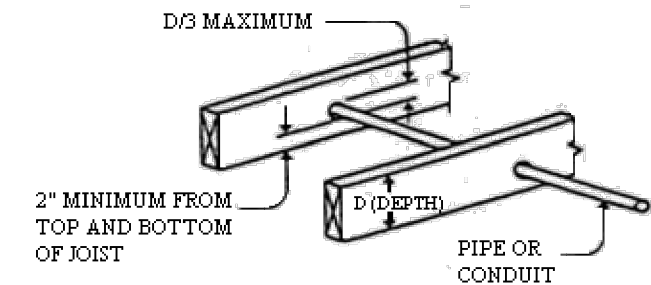
- 8. For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 seconds. Max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (6109 of LABC) 9. For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB 2977). (3162B) 10. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.2.2) 11. An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314) 12. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315) 13. Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. (R315.2.2)

H. STRUCTURAL REQUIREMENTS

- 1. Provide lead hole 40%-70% of threaded shank dia. and full dia. for smooth shank portion of Lag Bolts. 2. All bolt holes, other than Lag Bolt holes, shall be drilled 1/32 to 1/16" oversized. 3. Provide lateral support for the top of interior non-bearing walls when manufactured trusses are used. (LABC 1607.15) 4. Provide double joists under parallel bearing partitions. (LARC Sec. R502.4, LABC Section 2308.4.5) 5. Provide full length studs (balloon frame) on exterior walls of rooms with vaulted ceiling. (LARC Section R602.3, LABC Section 2308.5.1, Table 2308.5.1). 6. All roof and shear wall nailing shall utilize common nails or galvanized box. Nail guns using "Clipped head" or Sinker nails are not acceptable. (LARC Table R602.3(1), LABC Table 2304.10.1) 7. Roof nailing to be inspected before covering. Face grain of plywood shall be Perpendicular to supports. Floor shall have tongue and groove or blocked panel edges.

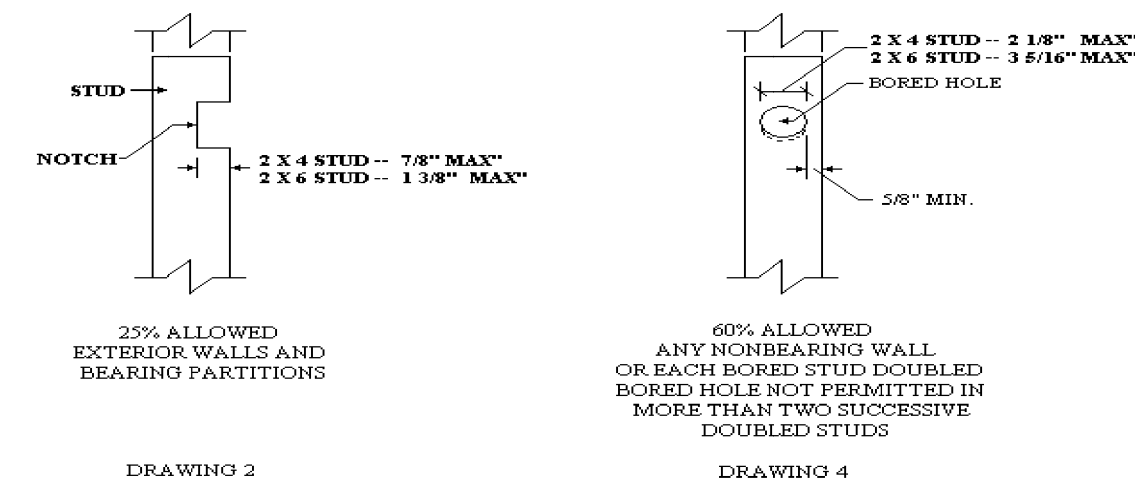
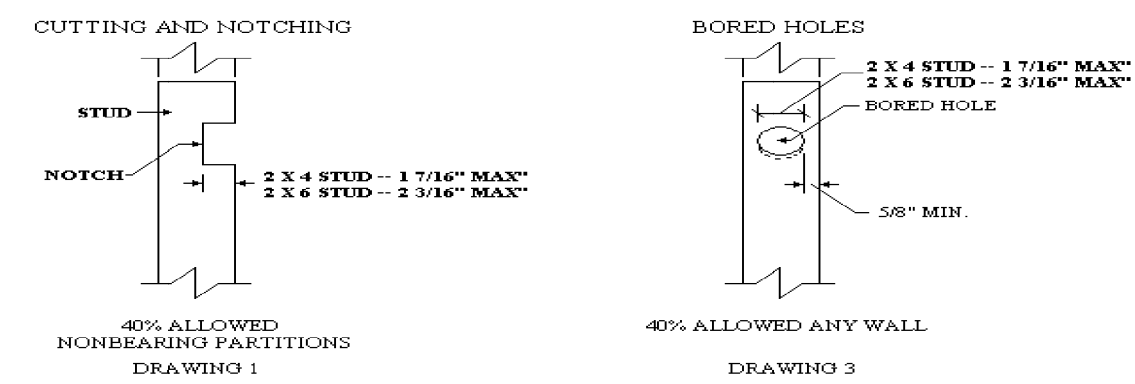
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- 8. All horizontal joints occurring in braced wall panels shall occur over blocking equal in size to the studing. Plywood spans shall conform with Table R503.2.1(1)/Table 2304.7(3). (LARC 803.2.2)



- 9. Stucco shear walls shall utilize furring, galvanized nails (having a minimum 11 ga., 1-1/2" long, 7/16" diameter head, and furred out a min of 1/4") to attach the lath to the studs. (Table 2306.3(3)). Self furring lath approved by a Los Angeles Research Report is permitted. 10. Structural wood shear walls shall be covered with minimum two layers 15# felt underlayment prior to placing finish material. 11. Shop welds must be performed in a LA City Bldg. Dept. licensed fabricator's shop. 12. Plate washers are required for all hold downs. (LABC 2305.5) 13. Foundation sills shall be Douglas-Fir (Group II Lumber) pressure treated or foundation grade Redwood. (LABC Section .2304.11.1.4). 14. Hold-down connector bolts into wood framing require approved plate washers; and hold-downs shall be tightened just prior to covering the wall framing. 15. All bolt holes shall be drilled a maximum of 1/16" oversized AND inspector shall verify at job site. 16. Cutting, Notching, and Boring of Wood Framing Members. (LARC R602.6, LABC Sec. 2308.5.9, 10)(see diagrams below).

Bored Holes D/3 2 x 6 = 1 13/16" 2 x 8 = 2 7/16" 2 x 10 = 3 1/16" 2 x 12 = 3 3/4"



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No. | Date | Description

Architect

Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA, 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com

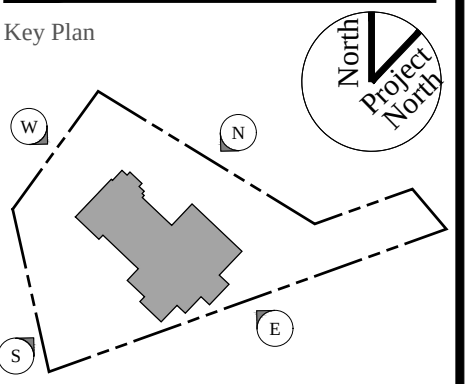
Property Owner

Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900

Building Address

719 Wilson Ct, Burbank, CA 91501

Key Plan



If this sheet is not 24"x36", it is a reduced copy.

General Notes

Drawing No A1.2 Scale N/S Date 12/13/2023 Ref No

D. GENERAL NOTES

Attach the following notes to plan :

- 1. Compliance Information: The builder shall leave in the building, copies of the completed, signed and submitted compliance documents for the building owner at occupancy. For low-rise residential buildings, such information shall, at a minimum, include copies of all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documentation submitted. 10-103(b)1
- 2. Operating Information: The builder shall provide the building owner at occupancy, operating information for all applicable features, materials, components, and mechanical devices installed in the building. Operating information shall include instructions on how to operate the features, materials, components, and mechanical devices correctly and efficiently. The instructions shall be consistent with specifications set forth by the Executive Director.
 - a. For residential buildings, such information shall be contained in a folder or manual which provides all Certificate of Compliance, Certificate of Installation, and Certificate of Verification documentations. This operating information shall be in paper or electronic format. 10-103(b)2
- 3. Maintenance Information: The builder shall provide to the building owner at occupancy, maintenance information for all features, materials, components, and manufactured devices that require routine maintenance for efficient operation. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying, by title and/or publication number, the operation and maintenance manual for that particular model and type of feature, material, component or manufactured device. 10-103(b)3
- 4. Ventilation Information: The builder shall provide to the building owner at occupancy, a description of the quantities of outdoor air that the ventilation system(s) are designed to provide to the building's conditioned space, and instructions for proper operation and maintenance of the ventilation system. 10-103(b)4
- 5. All systems, equipment, appliances and building components shall comply with the applicable manufacturing, construction, and installation provisions of Sections 110.0 through 110.11 for newly constructed buildings.
- 6. Any appliance regulated by the Appliance Efficiency Regulations, Title 20 California Code of Regulations, Section 1601 et seq., may be installed only if the appliance fully complies with Section 1608(a) of those regulations. 110.1(a)
- 7. Service water-heating systems shall be equipped with automatic temperature controls capable of adjustment from the lowest to the highest acceptable temperature settings for the intended use as listed in Table 3, Chapter 50 of the ASHRAE Handbook, HVAC Applications Volume. 110.3(a)1
 - 8. On systems that have a total capacity greater than 167,000 Btu/hr, outlets that require higher than service water temperatures as listed in the ASHRAE Handbook, Applications Volume, shall have separate remote heaters, heat exchangers, or boosters to supply the outlet with the higher temperature. 110.3(c)1
 - 9. Service hot water systems with circulating pumps or with electrical heat trace systems shall be capable of automatically turning off the system. 110.3(c)2
 - 10. Controls for service water-heating systems shall limit the outlet temperature at public lavatories to 110°F. 110.3(c)3
 - 11. Unfired service water-heater storage tanks and backup tanks for solar water-heating systems shall have:
 - a. External insulation with an installed R-value of at least R-12, or
 - b. Internal and external insulation with a combined R value of at least R-16, or
 - c. The heat loss of the tank surface based on an 80°F water-air temperature difference shall be less than 6.5 Btu/hr per square foot. 110.3 (c)4
 - 12. For Nonresidential, high-rise residential, and hotel/motel buildings, space conditioning systems shall meet the efficiency standards specified Section 120.2.
 - 13. Continuously burning pilot light shall be prohibited for the following natural gas system or equipment listed below: 110.5
 - a. Fan-type central furnaces
 - b. Household cooking appliances, except for household cooking appliances without an electrical supply voltage connection and in which each pilot consumes less than 150 Btu/hr
 - c. Pool heaters
 - d. Spa heaters
 - e. Indoor and outdoor fireplaces
 - 14. Any pool or spa heating system or equipment shall: 110.4
 - a. A thermal efficiency that complies with the Appliance Efficiency Regulations
 - b. Have a readily accessible on-off switch, mounted on the outside of the heater that allows shutting off the heater without adjusting the thermostat setting.
 - c. Not utilize electric resistance heating.
 - d. Have a cover for outdoor pools or spas that have a heat pump or gas heater.
 - e. Have a permanent, easily readable, and weatherproof instruction card that gives instructions for the energy efficient operation of the pool or spa heater and for the proper care of pool or spa water when a cover is used.
 - f. Have at least 36 inches of pipe installed between the filter and heater or dedicated suction and return lines, or built-in or built-up connections shall be installed to allow for the future addition of solar heating equipment.

- g. Have directional inlets for the pool or spa that adequately mix the pool water.
- h. A time switch or similar control mechanism shall be installed as part of a pool water circulation control system that will allow all pumps to be set or programmed to run only during the off-peak electric demand period and for the minimum time necessary to maintain the water in the condition required by applicable public health standards.
- 15. Manufactured fenestration products and exterior doors shall have air infiltration rates not exceeding 0.3 cfm/ft2 of window area, 0.3 cfm/ft2 of door area for residential doors, 0.3 cfm/ft2 of nonresidential single door area, and 1.0 cfm/ft2 of nonresidential double door area. 110.6(a)1
- 16. Fenestration products shall be rated in accordance with NFRC 100 for U-factor, NFRC 200 for SHGC, and VT or use the applicable default value. Fenestration products shall have a temporary label, for manufactured fenestration products and exterior doors, a temporary label certificate approved by the supervisory entity (NFRC) meets the requirements of this section. When Component Modeling Approach is used and for site-built fenestration products, a label certificate approved by the supervisory entity (NFRC) meets the requirements of this section 10-111(a)1. 110.6(a)2, 110.6(a)3, 110.6(a)4, 110.6(a)5
- 17. Field-fabricated fenestration products and exterior doors, other than unframed glass doors and fire doors, shall be caulked between the fenestration products or exterior door and the building, and shall be weatherstripped. 110.6(b)
- 18. Joints, penetrations and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather stripped, or otherwise sealed to limit infiltration and exfiltration. 110.7
- 19. Insulation shall be certified by Department of Consumer Affairs, Bureau of Electronic and Appliance Repair, Home Furnishing and Thermal Insulation that the insulation conductive thermal performance is approved pursuant to the California Code of Regulations, Title 24, Part 12, Chapter 12-13, Article 3, "Standards for Insulating Material." 110.8(a)
- 20. Urea formaldehyde foam insulation may only be used in exterior side walls, and requires a four-mil-thick plastic polyethylene vapor barrier between the urea formaldehyde foam insulation and the interior space in all applications. 110.8(b)
- 21. Insulating material shall be installed in compliance with the flame spread rating and smoke density requirements of the CBC. 110.8(c)
- 22. Insulation installed on an existing space conditioning duct, it shall comply with Section 604.0 of the CMC. 110.8(d)3

least 50 percent. The occupant sensors shall be capable of turning the light fully On and Off from all designed paths of ingress and egress.

- 23. External insulation installed on an existing unfired water storage tank or on an existing back-up tank for a solar water heating system, it shall have an R-value of at least R-12, or the heat loss of the tank surface based on an 80°F water-air temperature difference shall be less than 6.5 Btu per hour per square foot. 110.8(d)2
- E. RESIDENTIAL NOTES**
- 1. A masonry or factory-built fireplace shall have the following: 150.0(e)
 - a. Closeable metal or glass doors covering the entire opening of the firebox;
 - b. A combustion air intake to draw air from the outside of the building directly into the firebox, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. (Exception: An outside combustion-air intake is not required if the fireplace will be installed over concrete slab flooring and the fireplace will not be located on an exterior wall.); and
 - c. A flue damper with a readily accessible control.
 - 2. Heating or cooling systems, including heat pumps, not controlled by a central energy management control system (EMCS) shall be equipped with a setback thermostat that meet the requirements of Section 110.2(c). 150.0(i)
 - 3. Gas or propane water heaters shall have: 150.0(m)
 - a. A dedicated 125 volt, 20 amp electrical receptacle that is within 3 feet from the water heater.
 - b. A Category III or IV vent, or a Type B vent with straight pipe.
 - c. Condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance.
 - d. A gas supply line with a capacity of at least 200,000 Btu/hr
 - 4. All pumps and pump motors installed shall be listed in the Commission's directory of certified equipment and shall comply with the Appliance Efficiency Regulations. 150.0(p)1.A
 - 5. The minimum installed weight per square foot of any loose fill insulation shall conform with the insulation manufacturer's labeled R-value. 150.0 (b)
 - 6. The minimum depth of concrete-slab floor perimeter insulation shall be 16 inches or the depth of the footing of the building, whichever is less. 150.1(c)(1)(D)
 - 7. Raised-floors shall be insulated such that the floor assembly has an assembly U-factor equal to or less than shown in TABLE 150.1-(A) single family or (B) multifamily 150.1(c)1.C
 - 8. All new buildings and additions >700 sqft shall comply with the Quality Insulation Installation (QII) requirements shown in TABLE 150.1-(A) single family or (B) multifamily. When QII is required, insulation installation shall meet the criteria specified in Reference Appendix RA3.5. 150.1(c)1.E

- 9. Insulations are required for: 150.0(j)2.A
 - a. All hot water pipes from the heating source to the kitchen fixtures.
 - b. All piping with a nominal diameter to or greater than 3/4 inch and less than 1 inch.
 - c. The first 5 feet (1.5 meters) of hot and cold water pipes from the storage tank.
 - d. All piping associated with a domestic hot water recirculation system.
 - e. Piping from the heating source to storage tank or between tanks.
 - f. Piping buried below grade.
- PC/STR/Corr.Lst.102 (revised 01/01/20) Page 4 of 4 http://www.ladbs.org
- 10. Insulation shall be provided for water heaters as follows:
 - a. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, shall be externally wrapped with insulation having an installed thermal resistance of R-12 or greater or have internal insulation of at least R-16 and a label on the exterior of the tank showing the insulation R-value. 150.0 (j)1
- 11. Lighting 150.0(k)
 - a. Installed luminaires shall be classified as high-efficacy in accordance with TABLE 150.0-A.
 - b. Exhaust fans shall be controlled separately from lighting systems.
 - c. Luminaries shall be switched with readily accessible wall-mounted controls that permit the luminaries to be manually turned ON and OFF.
 - d. Lighting installed in attached and detached garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by vacancy sensors.
 - e. Dimmers or vacancy sensors shall control all luminaires required to have light sources compliant with Reference Joint Appendix JA8.
- EXCEPTION 1: Luminaires in closets less than 70 square feet.
- EXCEPTION 2: Luminaires in hallways.
- f. A. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building shall be high efficacy luminaires or controlled by an occupant sensor.
- g. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting in that building shall:
 - i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and
 - ii. Lighting installed in corridors and stairwells shall be controlled by occupant sensors that reduce the lighting power in each space by

at least 50 percent. The occupant sensors shall be capable of turning the light fully On and Off from all designed paths of ingress and egress.

- A. Luminaire Efficacy: All installed luminaires must meet the requirements in Table 150.0-A. Table 150.0- Classification of High Luminous Efficac Light Sources Automatically considered high luminous efficacy (does Must be JA8 certified/marked NOT require JA8 certification)
 - 1. LED light sources installed outdoors
 - 2. Inseparable solid state lighting (SSL) luminaires containing colored light sources that are installed to provide decorative lighting
 - 3. Pin-based linear fluorescent or compact fluorescents with electronic ballasts
 - 4. High-intensity discharge (HID) light sources including pulse start metal halide and high-pressure sodium light sources
 - 5. Luminaires with a hardwired, high-frequency generator and induction lamp
 - 6. Ceiling fan lights kits subject to federal appliance regulations
- EXCEPTIONS:
 - 7. All light sources installed in ceiling recessed downlight luminaires: Note that ceiling-recessed downlight luminaires must not have screw base sockets regardless of lamp type, as specified in §150.0(k)1C.
 - 8. Anything not listed in this table

- 1. Integrated Device Lighting: Lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors and garage door openers
- 2. Navigation Lighting: Lighting such as night lights, step lights and path lights less than 5 watts
- 3. Cabinet Lighting: Lighting internal to drawers, cabinetry and linen closets with an efficacy of 45 lumens per watt or greater
- B. Screw-based Luminaires: Screw-based luminaires must contain lamps that comply with Reference Joint Appendix JA8.
- C. Recessed Downlight Luminaires in Ceilings: There is a new exception to the airtight labeling and installation requirements for recessed luminaires that are either marked for use in fire-rated installations or are installed in non-insulated ceilings.
- D. Light Sources in Enclosed or Recessed Luminaires: No change, although this section has been reorganized.
- E. Blank Electrical Boxes: Language is added about how the blank electrical boxes must be served for dimmer, vacane sensor control, low voltage wiring or fan speed control.
- E. Automatic-off Controls: Walk-in closets have been added in addition to bathrooms, garages, laundry room and utility rooms as spaces requiring an occupancy/vacancy sensor with automatic-off functionality. It was clarified that lighting in opaque-fronted drawers and cabinetry must be controlled with automatic-off when a drawer or door is closed.
- F. Dimming Controls: Dimmers that are required for lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens and bedrooms) must have readily accessible dimming controls. Forward phase-cut dimmers controlling LED light sources in these spaces must comply with NEMA SSL 7A.
- EXCEPTIONS:
 - 1. Ceiling fans with integrated lighting may use remote control.
 - 2. Luminaires connect to a circuit in which the controlled lighting power is <20 watts OR controlled by an occupancy/vacancy sensor providing automatic-off functionality.
 - 3. Lighting is under <5 watts for navigation (e.g., night lights, step lights and path lights), or lighting is internal to opaque-fronted drawers and cabinetry(which ma alternativel use automatic-off controls).
- G. Independent Controls: The following must be controlled independently:x Integrated lighting of exhaust fans from the fan functio;x Undercabinet lighting;x Undershef lighting;x Interior lighting of display cabinets;x Switched outlets

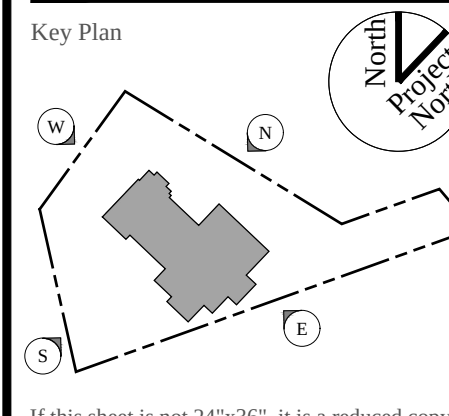
No.	Date	Description
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 Fax: (818) 252-1370
 Web: www.arka-i.com

Property Owner
 Hakob Avagyan
 1351 E Alameda Ave.
 Glendale, CA 91201
 818/521-4900

Building Address
 719 Wilson Ct,
 Burbank, CA 91501



If this sheet is not 24"x36", it is a reduced copy.

General Notes

Drawing No	Scale	N/S
A1.3	Date	12/13/2023
	Ref No	



Wood Frame Prescriptive Provisions for One-Story Residential Wood Construction

(2019 CRC w/ Burbank Amendments BMC 9-1)



The purpose of this Wood Frame Prescriptive Provisions (WFPP) Information Bulletin is to assist owners, builders and others to meet the general requirements and specifications prescribed in the 2019 California Residential Code (CRC) for building one- and two-family dwellings, townhouses, and attached or detached Accessory Dwelling Units (ADUs) that are not one story in height with light frame wood construction.

Light-frame wood frame construction is a type of construction where vertical and horizontal structural elements are primarily formed by a system of repetitive wood framing members. It is the least restrictive construction type permitted by the CRC. The WFPP Information Bulletin is for information and reference only and are not a substitute for accurate construction documents (i.e., drawings, plan specifications, etc.) prepared for each proposed construction project. Additional construction documents may be required when the scope of work exceeds the limits of light frame wood construction as prescribed by the CRC.

When portions of a building or structure are constructed of other than light frame wood construction, exceed the limits of this WFPP Information Bulletin, or as required by other local ordinances, these portions and the supporting load path shall be designed by a registered design professional licensed in the State of California. This WFPP Information Bulletin may not be suitable in all cases. Where the proposed construction is located on a site with slope steeper than 10% or has adverse soil conditions (e.g., expansive soil, liquefaction, flood hazard, etc.), a registered design professional licensed in the State of California should be consulted. The use of this WFPP Information Bulletin is permitted at the discretion of the Building Official on a case-by-case basis.

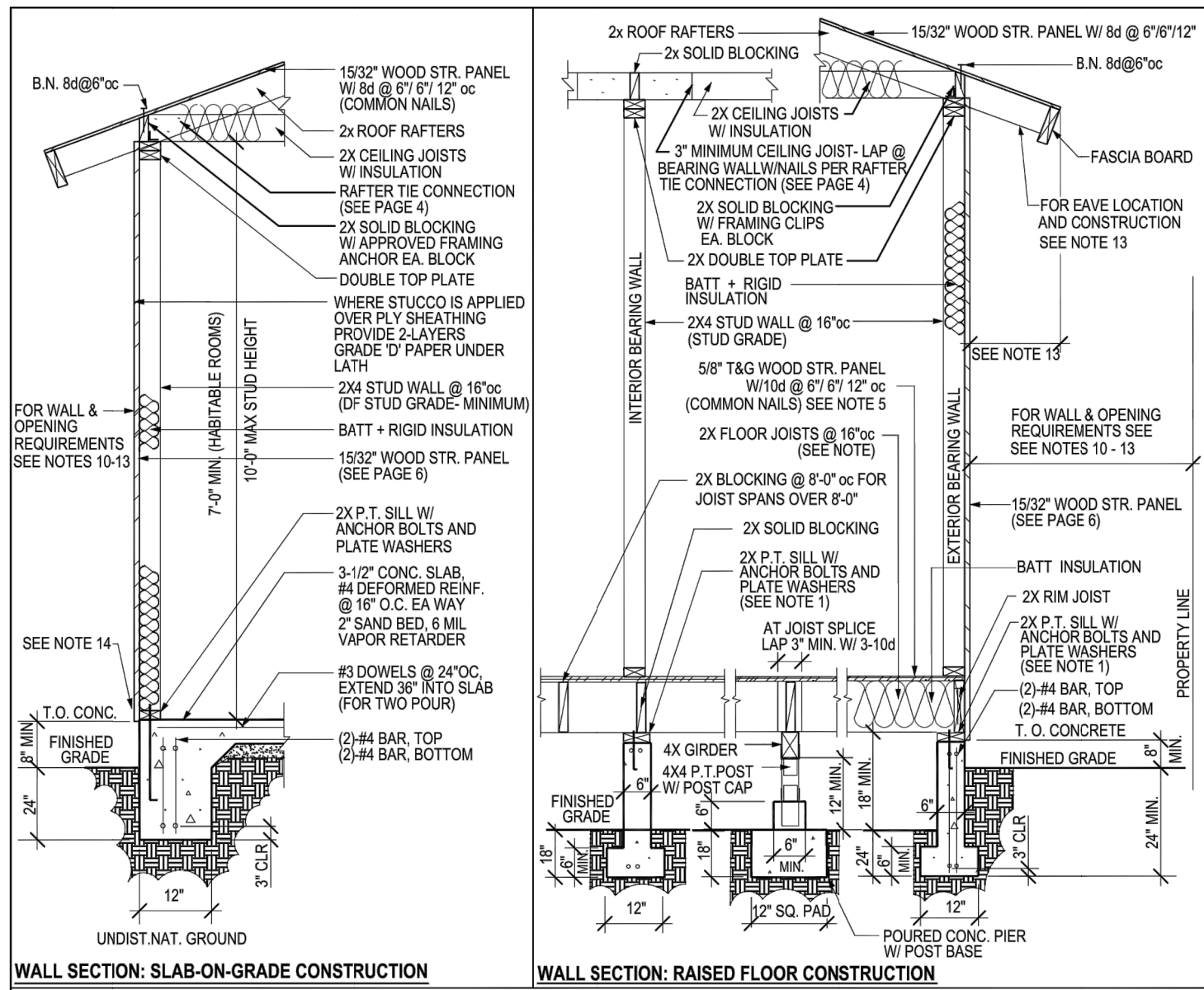
An automatic fire sprinkler system shall be installed in new one and two-family dwellings, and townhouses per CRC R313.2. Installation of a fire sprinkler system may also be required in additions and alterations, upon review from Burbank Fire Department.

All work must comply with the California Energy Code (CEC) requirements for the climate zone 9 for City of Burbank. Compliance Forms and Plans to be submitted.

For new construction and additions/alterations that increase the conditioned space, a minimum of 65-percent of construction and demolition waste shall be recycled or salvaged for reuse per 4.408.1 of the California Green Building Standards Code (CALGreen). Refer to Burbank Municipal Code for further requirements. For newly constructed one- or two-family dwellings with an attached private garage, provide accommodation for future installation and use of an electric vehicle charger per 4.106.4.1 of 2019 CALGreen Code.

It is the responsibility of the owner and/or builder to review the 2019 Existing Building Code to verify the minimum requirements for the structural strength, means of egress facilities, stability, sanitation, adequate lighting and ventilation and energy conservation requirements are met.

City of Burbank • Wood Frame Prescriptive Provisions



- NOTES: 1. Anchor bolts 6" x 10" embedded 7" and spaced maximum 6" with 0.229" x 3" x 3" plate washers, minimum 2 anchor bolts per piece, located not more than 12" or less than 7" bolt diameters from each end of the piece. 2. All foundation plates or sills and sleepers on a concrete or masonry wall, which is in direct contact with earth, and sills that rest on concrete or masonry foundations shall be preservative treated wood (AWPA U1) and field cut ends, notches, and drilled holes shall be field treated in accordance with ANPA M1. Fasteners (other than anchor bolts) in preservative treated wood or fire retardant treated wood shall be of hot dipped zinc coated galvanized steel or stainless steel. 3. Minimum concrete strength 2,500-psi. 4. Bearing walls and braced wall panels require continuous footings. 5. Where 2x12" thick T&G plywood is provided, 24" joist spacing may be used. 6. Where interior walls are shear walls, wall framing and sheathing shall extend to the roof sheathing. (See Page 6) 7. Footings on or adjacent to slopes shall meet the requirements of R403.1.7. 8. Walls separating units in townhouses shall be fire-resistance rated per R302.2 and provided with a parapet in accordance with R302.2.2. Walls separating two-family dwellings shall be fire-resistance rated per R302.3. 9. New construction located in the Very High Fire Hazard Severity Zone (VHFHSZ) must also incorporate the requirements of R337 into the design. 10. Exterior walls of dwellings and accessory structures closer than 5-ft. (non-sprinklered) / 3-ft. (sprinklered) to the property line shall be 1-hr fire-resistance rated construction. 11. No openings other than approved foundation vents shall be permitted in the exterior walls of dwellings and accessory buildings where the exterior wall is less than 3-ft. to the property line. 12. The area of exterior wall openings of non-sprinklered dwellings and accessory buildings located > 3-ft. and < 5-ft. to the property line shall be limited to 25% of the wall area. Exterior wall openings are unlimited when exterior walls are located > 5-ft. for non-sprinklered buildings and > 3-ft. for sprinklered buildings. 13. Where gable or eave vents occur, eaves shall be of 1-hr fire-resistive construction on the underside when located between 2-ft. and 5-ft. from the property line for non-sprinklered buildings and between 2-ft. and 3-ft. from the property line for sprinklered buildings. Detached garages within 2-ft. of a property line may have a maximum 4-inch eave, provided the eave does not extend over the property line and is allowed by the Zoning Code. 14. Exterior plaster (stucco) walls shall be provided with a corrosion resistant weep complying with R703.7.2.1 15. Insulation shall meet the prescriptive requirements of 2019 California Energy Code, Table 150.1-A.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Burbank does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and on the internet, all documents and handouts, including interpretations and guidelines that have been previously issued, will be converted to this new format to allow flexibility and timely distribution of information to the public. Visit our website at www.burbankca.gov

City of Burbank • Wood Frame Prescriptive Provisions

Table with 3 columns: ALLOWABLE SPANS FOR DF #2 ROOF RAFTERS (DF - LARCH), ALLOWABLE SPANS FOR DF #2 CEILING JOISTS (DF - LARCH), ALLOWABLE SPANS FOR DF #2 FLOOR JOISTS (DF - LARCH). Includes sub-tables for dead load and live load.

Table with 2 columns: ALLOWABLE SPANS FOR DF #2 HEADERS FOR EXTERIOR BEARING WALLS, ALLOWABLE SPANS FOR DF #2 HEADERS FOR INTERIOR BEARING WALLS. Includes sub-tables for exterior and interior bearing walls.

a. Building width is perpendicular to ridge measured to exterior wall. b. NJ - Number of Jack Studs required to support each end of header.

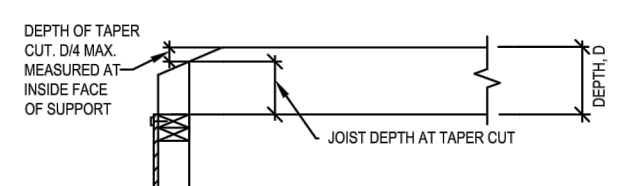
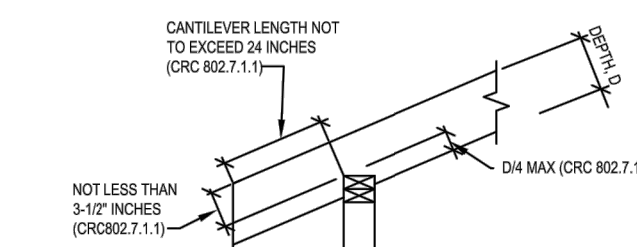
Table with 2 columns: ALLOWABLE SPANS FOR DF #2 FLOOR GIRDERS, RAFTER TIE CONNECTION. Includes sub-tables for floor girders and rafter tie connections.

- General Notes: 1. If spans exceed dimensions noted on tables, engineered drawings and calculations will be required. 2. Spans listed in above tables are based upon California Residential Code (CRC) Tables. See CRC tables for additional information. 3. With headers and girders, single framing member sizes may be used, if sectional properties are shown to be the same or greater than double framing member sizes listed in tables, refer to ANSI AWDC - 2015: National Design Specifications (NDS) for Wood Construction - with 2015 NDS Supplement.

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City of Burbank • Wood Frame Prescriptive Provisions

Table: ALLOWABLE SPANS AND LOADS FOR WOOD STRUCTURAL PANEL SHEATHING AND SINGLE-FLOOR GRADES CONTINUOUS OVER TWO OR MORE SPANS WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS. Includes columns for sheathing grades, roof, and floor.



RAFTER NOTCH (FIGURE R602.7.1.1)

CEILING JOIST TAPER CUT (FIGURE R602.7.1.2)

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City of Burbank • Wood Frame Prescriptive Provisions

Table: FASTENING SCHEDULE (PARTIAL) SEE R602.3(1) & BURBANK AMENDMENTS. Includes columns for item, description of building elements, number and type of fastener, and spacing and location.

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City of Burbank • Wood Frame Prescriptive Provisions

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Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA, 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com

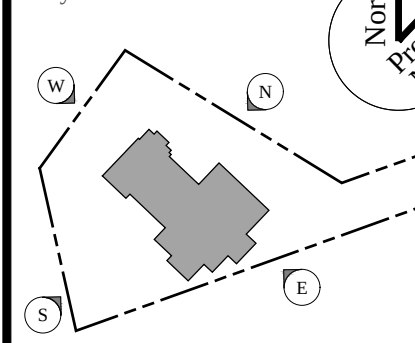
Property Owner

Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900

Building Address

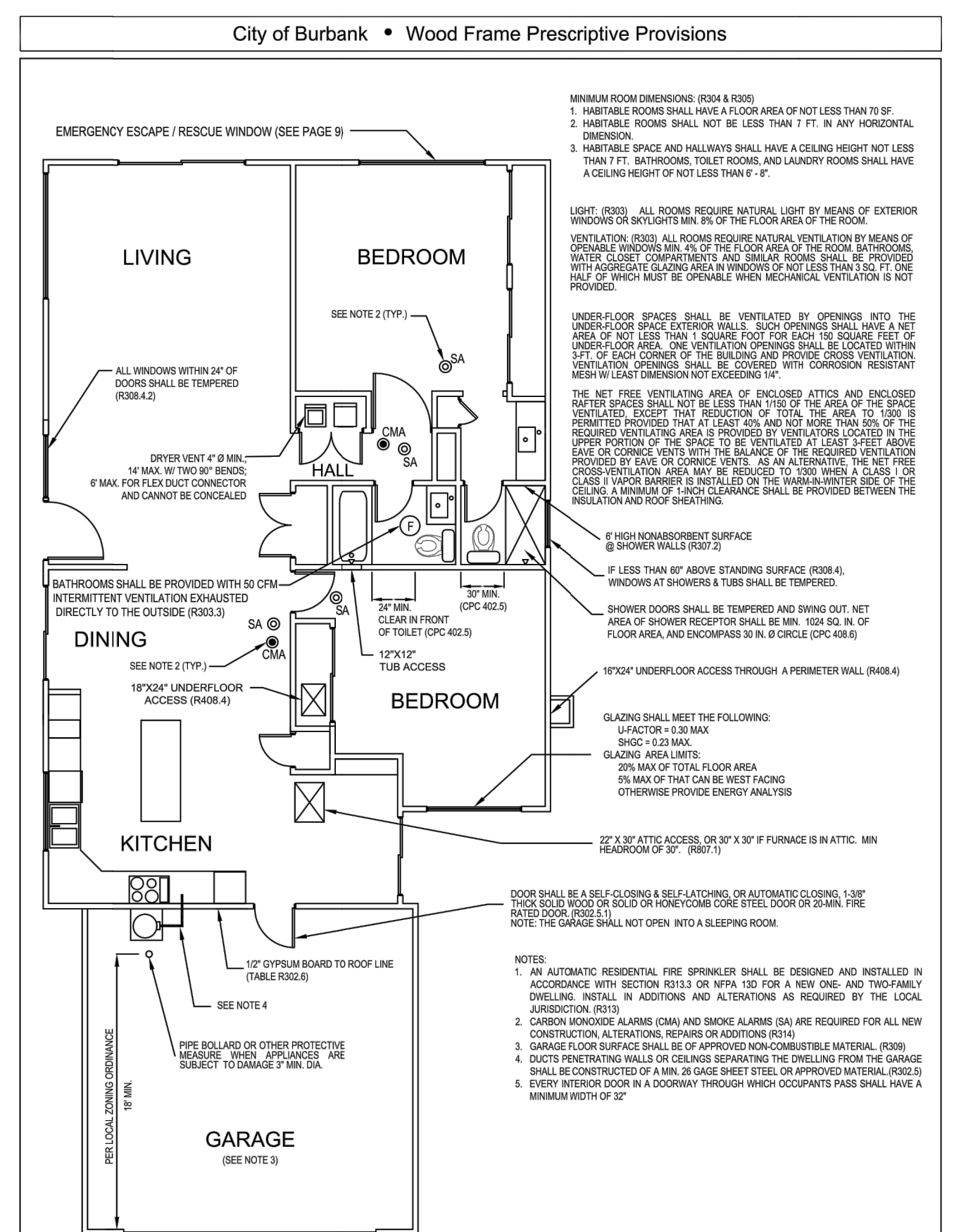
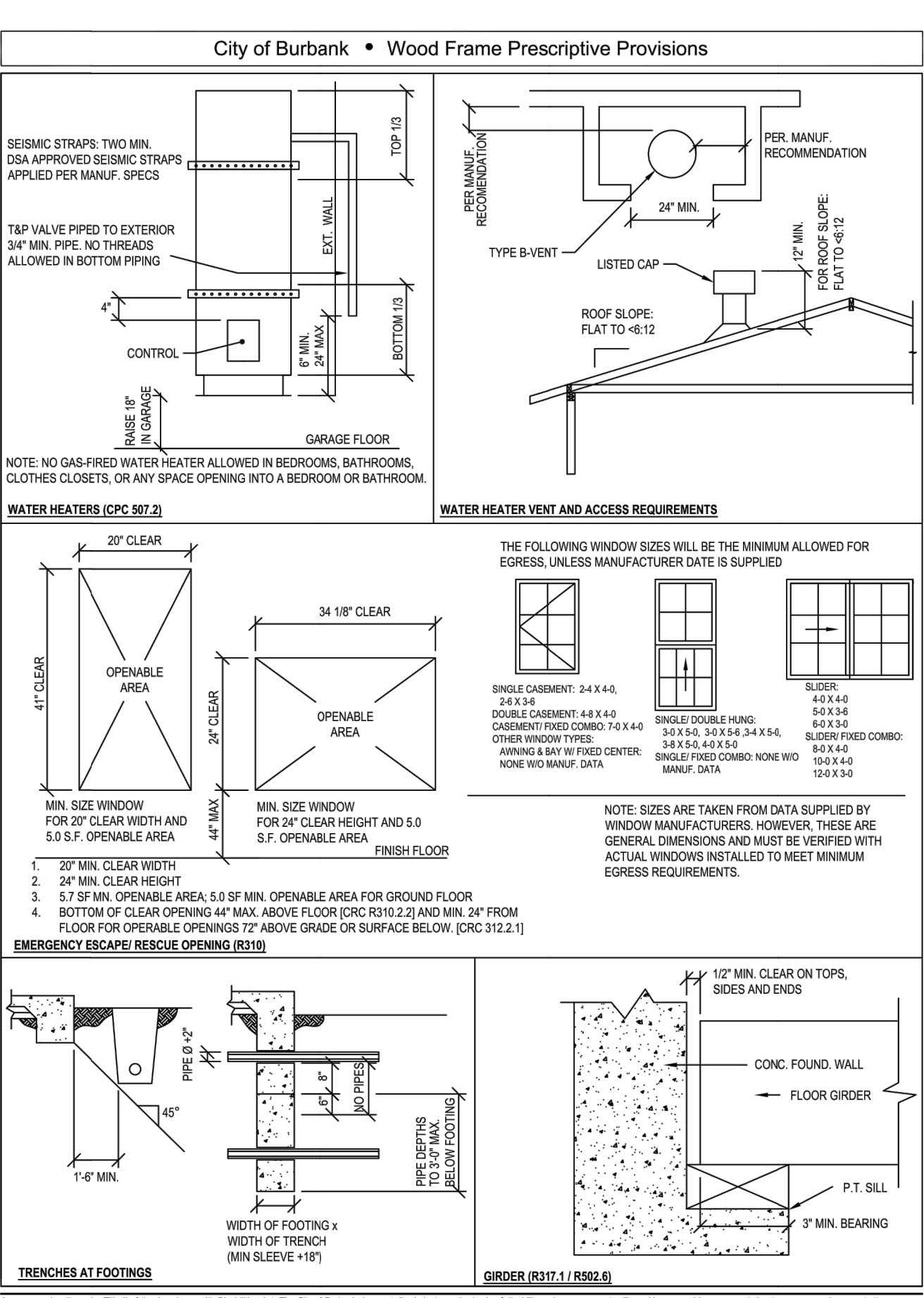
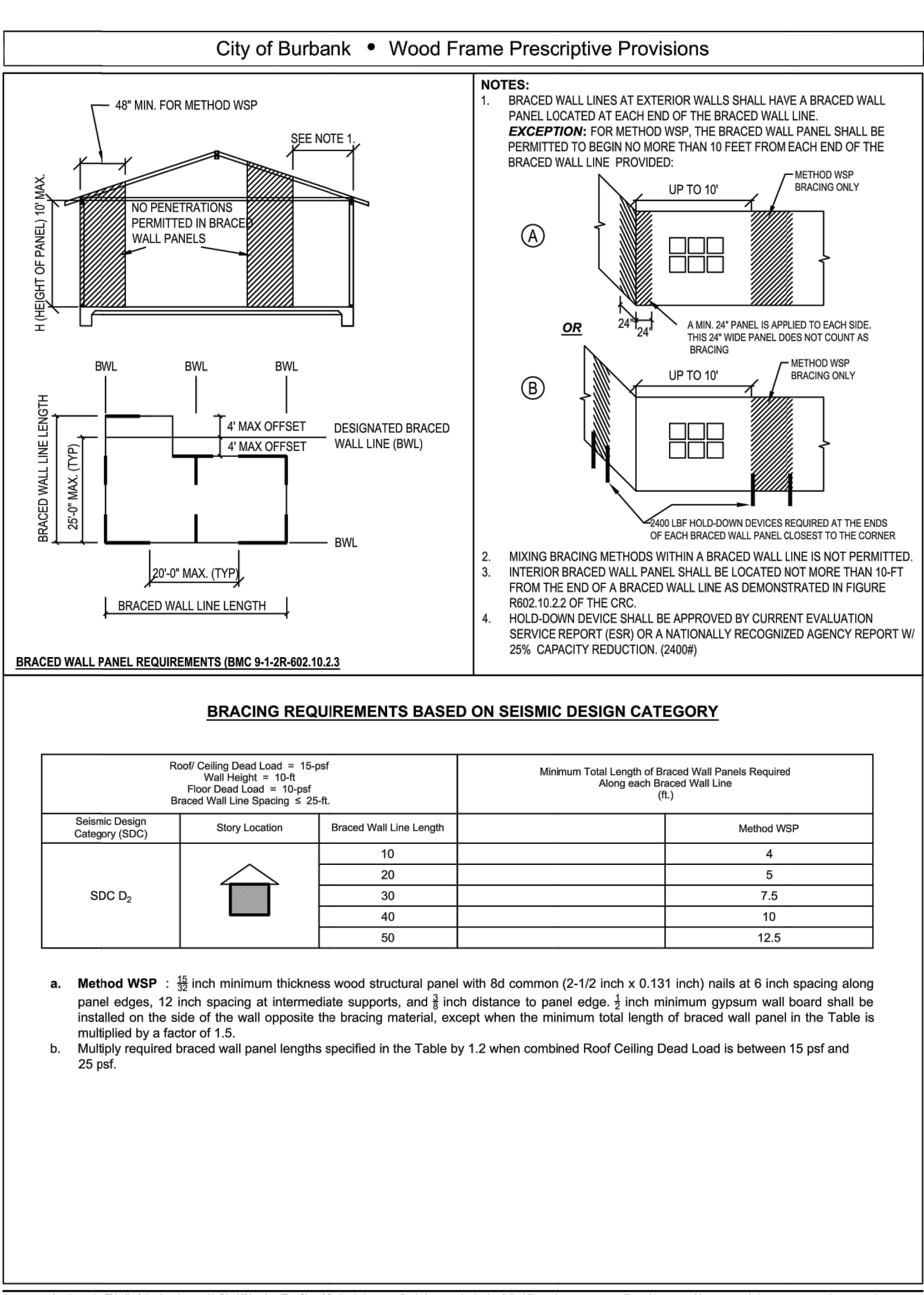
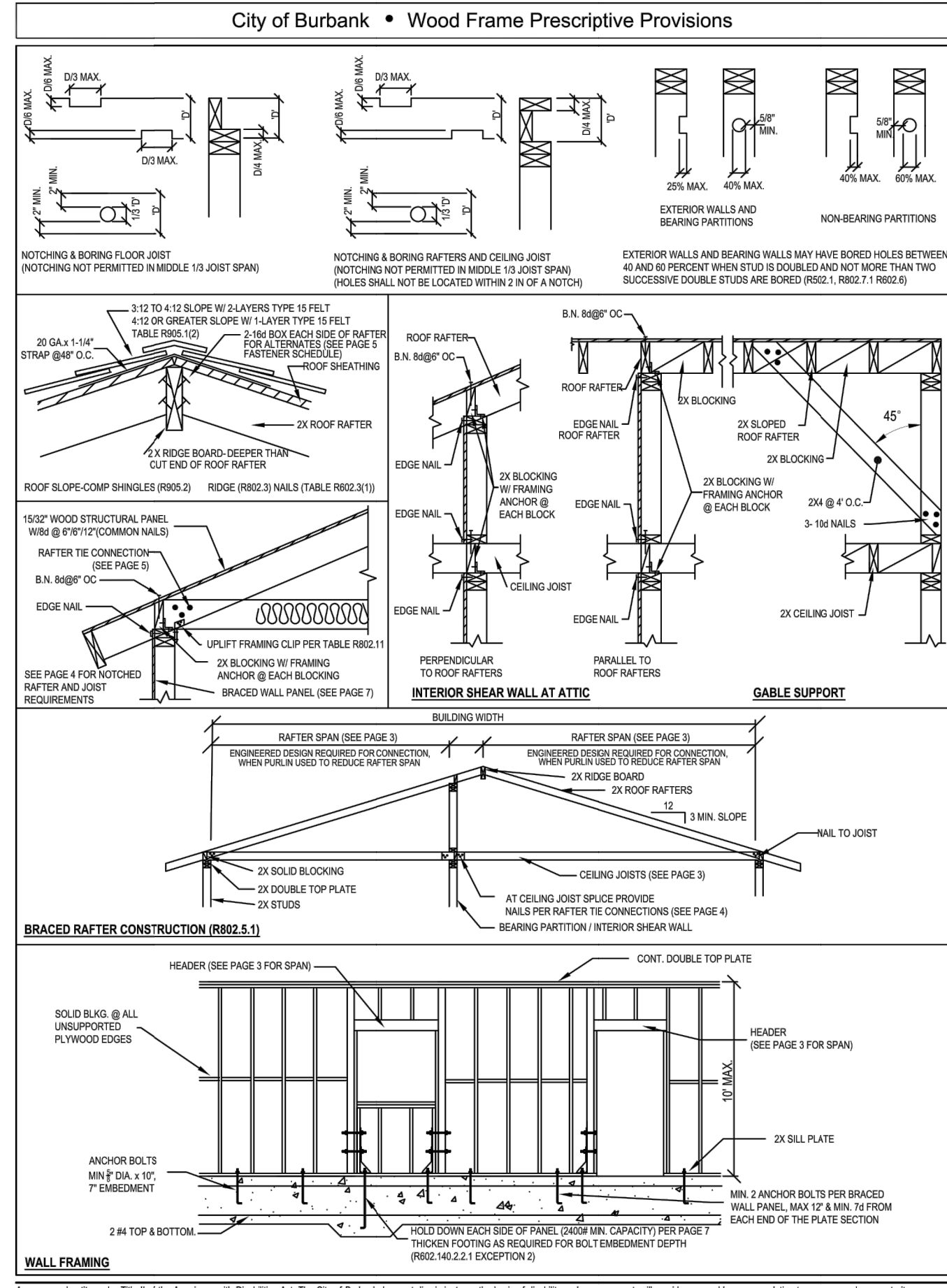
719 Wilson Ct, Burbank, CA 91501

Key Plan



If this sheet is not 24"x36", it is a reduced copy.

Type VI



Note: Fire Sprinklers Not Required.

Project information form including fields for No., Date, Description, Architect, Structural Engineer (ARPA Technology Group), Property Owner (Hakob Avagyan), Building Address (719 Wilson Ct, Burbank, CA 91501), Key Plan, Type VI, Drawing No. (A1.5), Scale (N/S), Date (12/13/2023), and Ref No.

LEGAL DESCRIPTION:

THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2 OF PARCEL MAP NO. 2172 AS PER MAP RECORDED IN BOOK 31 PAGE 39 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5608-035-032

BASIS OF BEARINGS:

THE BEARING NORTH 62° 43' 10" EAST, ON THE CENTERLINE OF ELMWOOD AVENUE AS SHOWN ON PARCEL MAP NO. 2172, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN P.M. BOOK 31, PAGE 39, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

CONTAINING AN AREA OF 15,410.24 SQ. FT., OR 0.35377 ACRES, MORE OR LESS.

BENCHMARK:

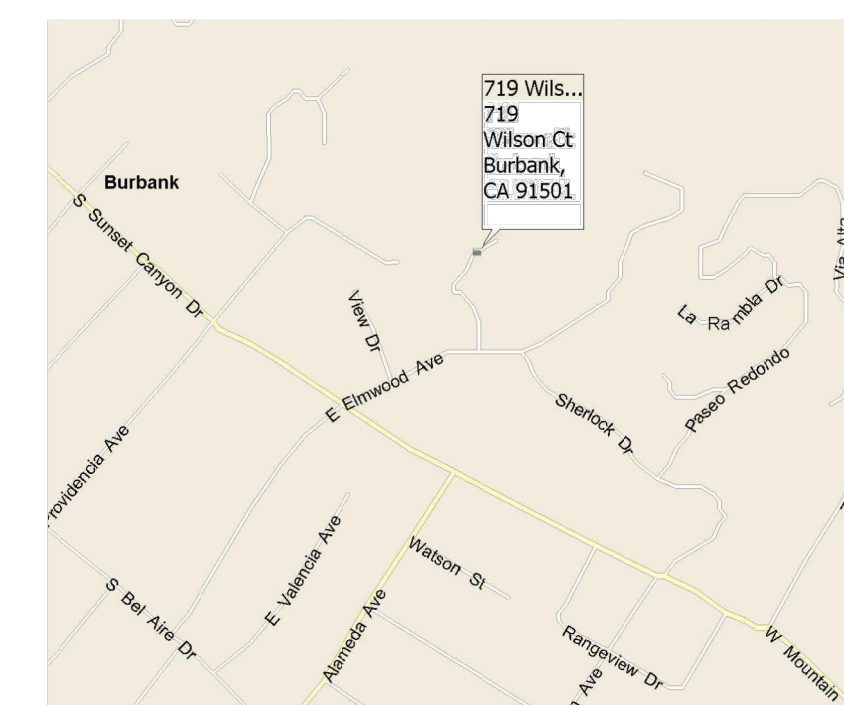
BM ID: 1809-1
DESCRIPTION: 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 1809-1 AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SUNSET CANYON DRIVE AND PROVIDENCIA AVENUE, ABOUT 89 FEET NORTH OF THE CENTERLINE OF SUNSET CANYON DRIVE AND ABOUT 19 FEET EAST OF THE CENTERLINE OF PROVIDENCIA AVENUE, SET IN THE TOP NORTH SIDE OF A 7x2 FOOT CATCH BASIN ON THE EAST SIDE OF PROVIDENCIA AVENUE, 0.85FEET EAST OF THE EAST CURB FACE AND ABOUT 25 FEET NORTH OF UTILITY POLE #261008 ELEV. = 807.165 FT.

SURVEYOR'S NOTE:

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
* EASEMENT 10 FEET POLE LINE EASEMENT OF THE CITY OF BURBANK PER BOOK D 4881 PAGE 281 AND BOOK D4888 PAGE 938 OF OFFICIAL RECORDS IS SHOWN IN PARCEL MAP 2172/31-39.
** EASEMENT "INGRESS AND EGRESS EASEMENT PER BOOK 27313 PAGE 254 OF OFFICIAL RECORDS" IS SHOWN IN PARCEL MAP 2172/31-39.

LEGEND:

APN	-	ASSESSOR'S PARCEL NO.	COLUMN	-	COLUMN
A.C.	-	ASPHALT CONCRETE	CONC.	-	CONCRETE
C/L	-	CENTERLINE	DIR	-	DRAIN
CONC.	-	CONCRETE	GM	-	GAS METER
COR.	-	CORNER	GP	-	GATE POST
ESTAB.	-	ESTABLISH	PT	-	PINE TREE
FD	-	FOUND	TR	-	TRACT MAP
FF	-	FINISH FLOOR ELEV.	TC	-	TOP OF CURB ELEV.
FL	-	FLOWLINE ELEV.	TM	-	TRACT MAP
LS	-	LAND SURVEYOR	TW	-	TOP OF WALL ELEV.
L&T	-	LEAD & TACK			
M.B.	-	MAP BOOK			
P.C.	-	PROPERTY CORNER			
P/L	-	PROPERTY LINE			
P.O.L.	-	POINT ON LINE			
PROD	-	PRODUCED (PROLONGED)			
PWFB	-	PUBLIC WORKS FIELD BOOK			
RCE	-	REGISTERED CIVIL ENGINEER			
S&W	-	SPIKE & WASHER			
TC	-	TOP OF CURB ELEV.			
TR	-	TRACT MAP			
TW	-	TOP OF WALL ELEV.			

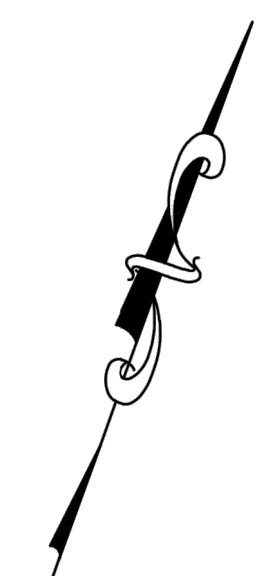
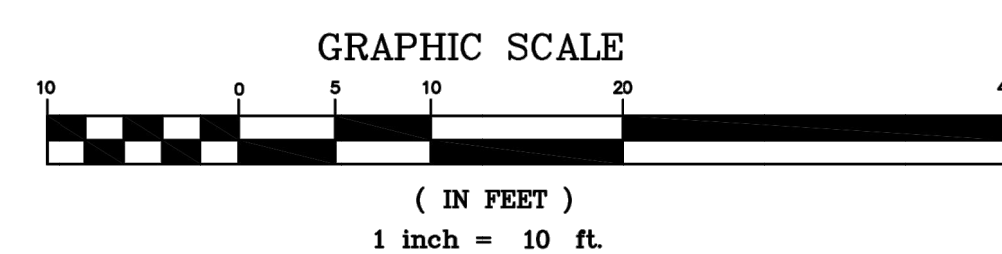
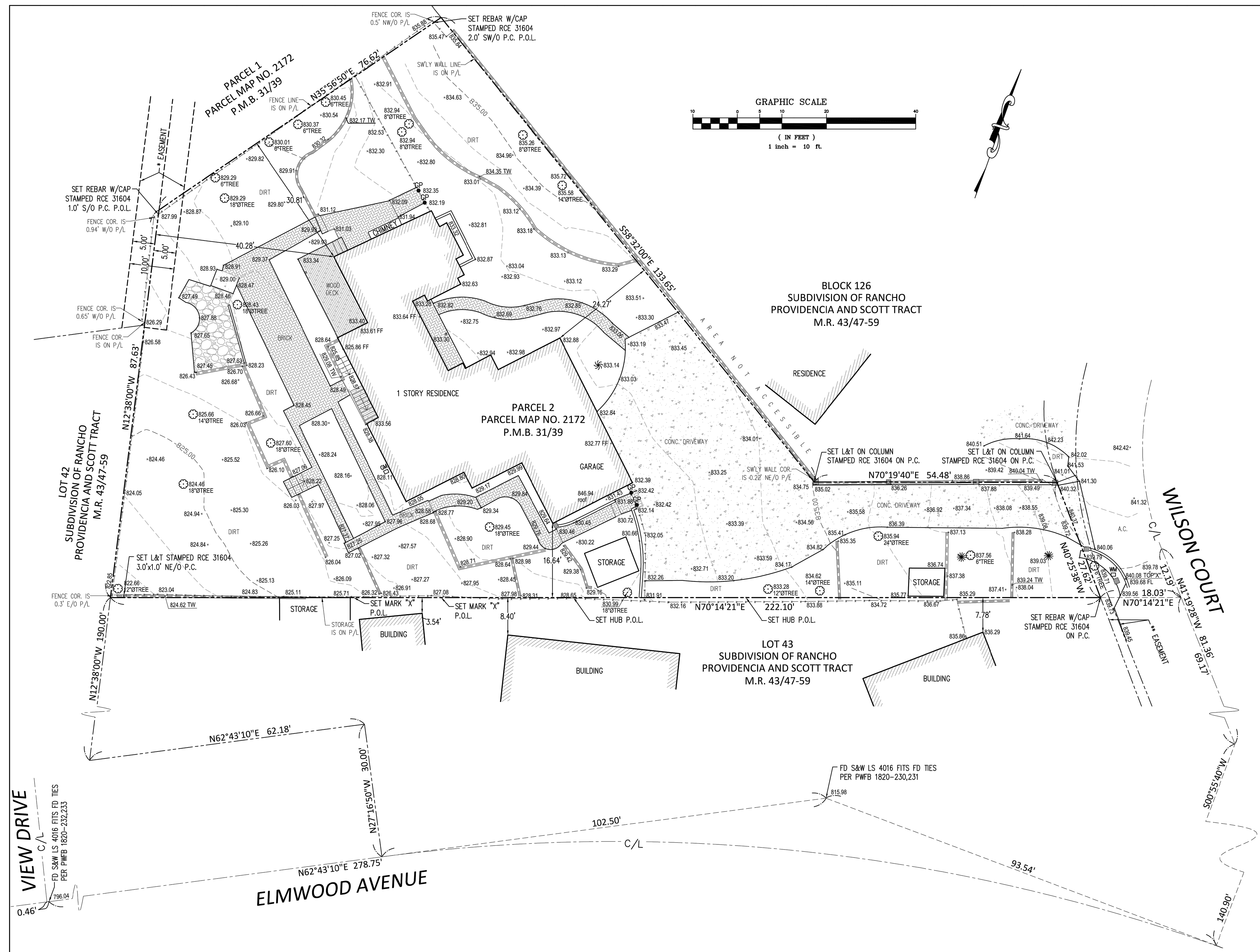


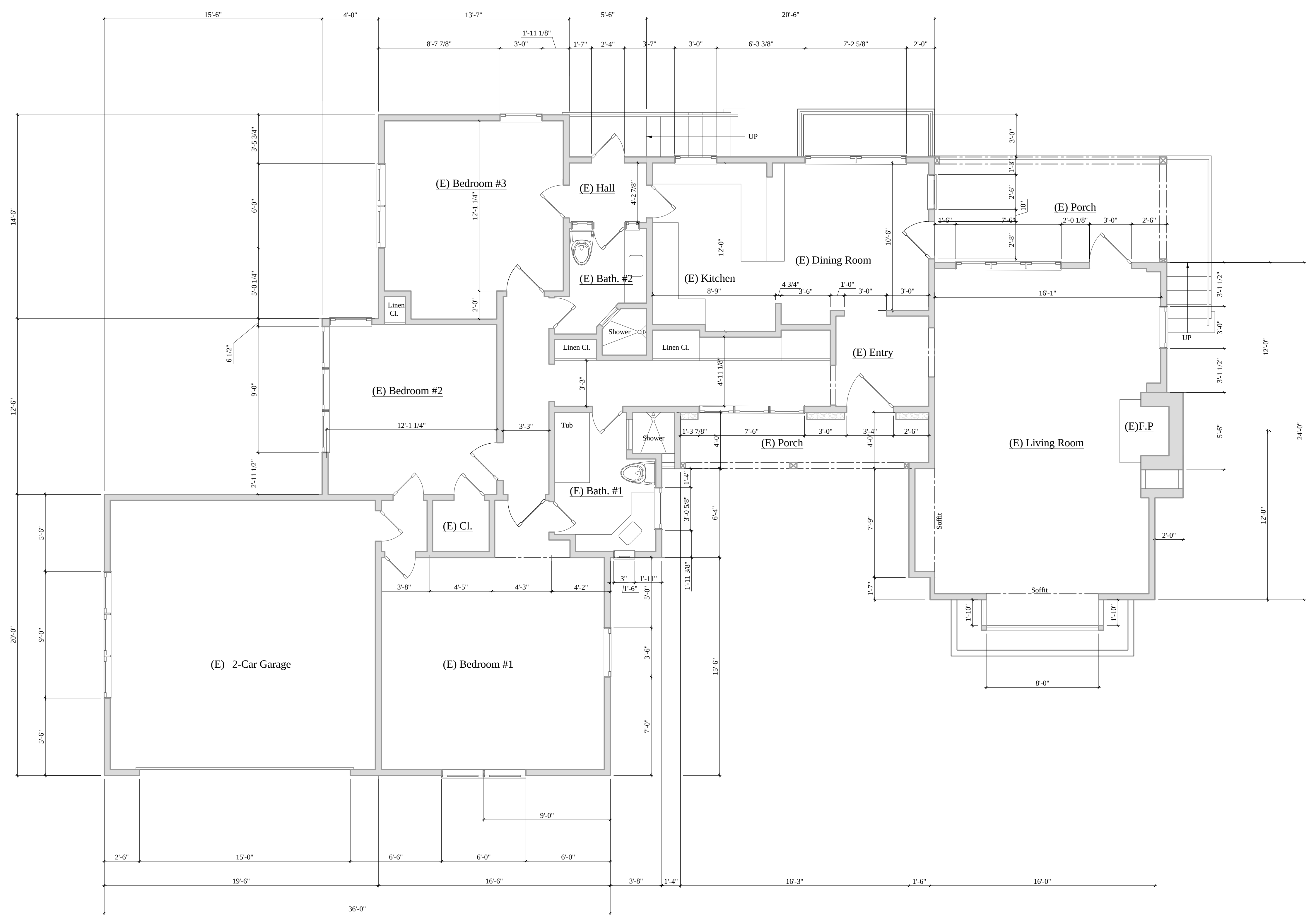
VICINITY MAP NOT TO SCALE



M&G CIVIL ENGINEERING AND LAND SURVEYING

TITLE: TOPOGRAPHIC SURVEY		JOB NO.: 22-19868	
CLIENT: HAKOB AVAGYAN		DATE: 12/14/2022	
SCALE: 1" = 10'	DESIGNED BY: E.C. / P.D.	REVISION (S):	
DRAWN BY: MC		SHEET 1 OF 1 SHEET	
CHECKED BY: C.D.L.	CIVIL ENGINEERING & LAND SURVEYING 347 S. ROBERTSON BLVD. BEVERLY HILLS, CALIFORNIA 90211 TEL: (310) 859-0871 FAX: (310) 859-0845 info@mgsandur.com www.mgsandur.com		





- Existing Wall or Partition
- Line of Features Above Unless Otherwise Noted
- (E) Exterior Door or Window To Relocate
- (N) Exterior Door or Window Designation
- Exterior Elevation Designation Drawing #
- Building Section Designation Drawing #
- Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- Carbon Monoxide Detector Outside Each Bedroom. Hardwired w/ Battery Backup
- Ceiling Mounted Mechanical Vent w/ Humidistat - 50 CFM min. ENERGY STAR compliant, ducted to outside. See also Form GRN 14, Notes 25 & 26
- Ceiling Mounted Smoke Detector. Hardwired w/ Battery Backup
- Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- Shower Stall 7.1 SF Min and Accommodate 30" Circle at Threshold Level to Height of 70" Above Drain
- Provide 15" Min. between the center of water closet to any side wall and provide 24" clear space in front of and water closet. (Calif. Plumb. Code 407.6)
- #'-#" Denotes Ceiling Height

Insulation Schedule:

Ceilings	R-30
Exterior Walls	R-13
Floors	R-19
Water Heater	R-12
Ducts	R-4.2

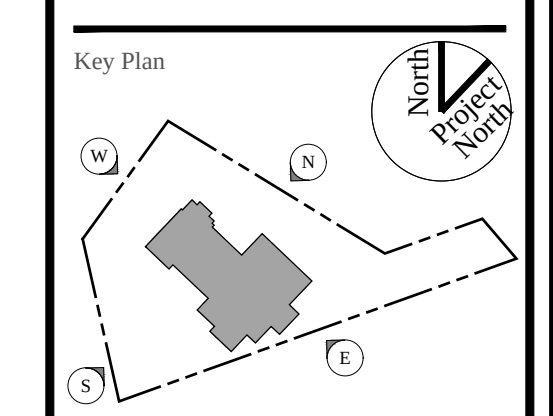
No.	Date	Description

Architect

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 Phone: (818) 434-1708
 Fax: (818) 252-1370
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Building Address
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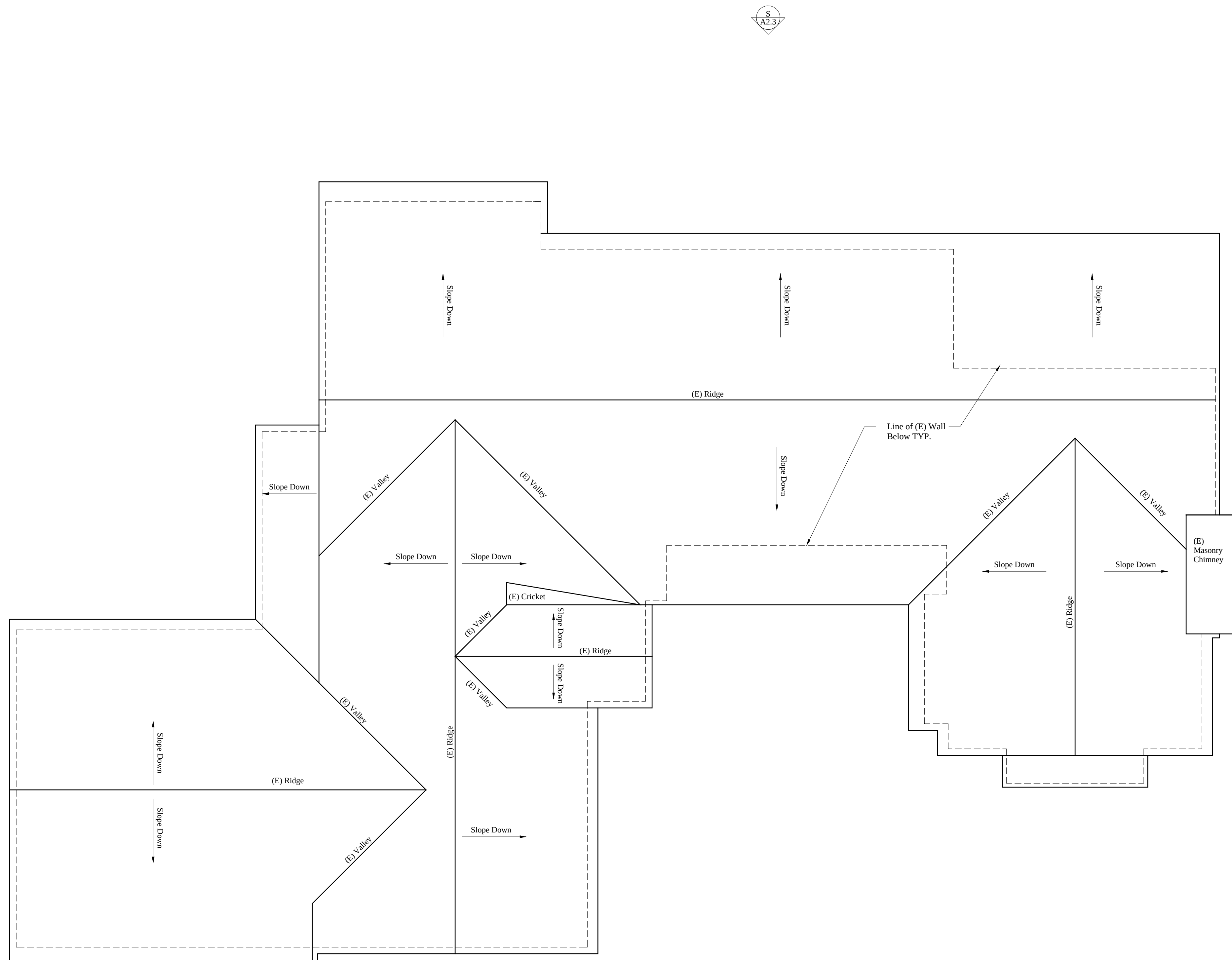


If this sheet is not 24"x36", it is a reduced copy.

Existing First Floor Plan

1 Existing First Floor Plan
 1/4" = 1'-0"

Drawing No	Scale
A2.0	1/4" = 1'-0"
Date	Ref No
12/13/2023	



1 Existing Roof Plan
1/4"=1'-0"

- Line of Wall Below
- Line of Roof
- (RE) (E) Exterior Door or Window To Relocate
- # (N) Exterior Door or Window Designation
- S A21 Exterior Elevation Designation Drawing #
- S A21 Building Section Section Designation Drawing #
- (AB) Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- (CM) Carbon Monoxide Detector Outside Each Bedroom. Hardwired w/ Battery Backup
- (MV) Ceiling Mounted Mechanical Vent w/ Humidifier - 50 CFM min. ENERGY STAR compliant, ducted to outside. See also Form GRN 14, Notes 25 & 26
- (SD) Ceiling Mounted Smoke Detector. Hardwired w/ Battery Backup
- (NA) Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- (SH) Shower Stall 7.1 SF Min and Accommodate 30" Circle at Threshold Level to Height of 70" Above Drain
- Provide 15" Min. between the center of water closet to any side wall and provide 24" clear space in front of and water closet. (Calif. Plumb. Code-407.6)
- #.# Denotes Ceiling Height

Insulation Schedule:

Ceilings	R-30
Exterior Walls	R-13
Floors	R-19
Water Heater	R-12
Ducts	R-4.2

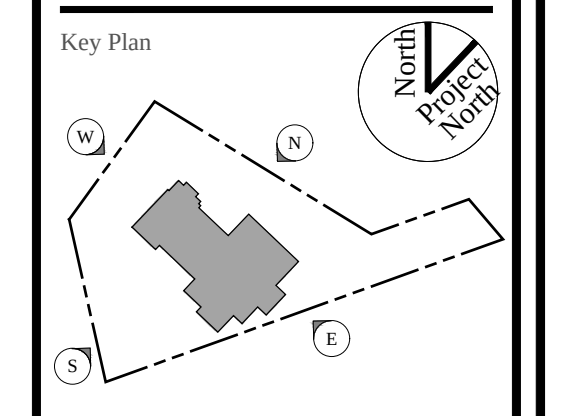
No.	Date	Description

Architect

Structural Engineer
ARPA Technology Group
635 West Colorado Blvd., #201
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Phone: (818) 434-1708
Fax: (818) 252-1370
Web: www.arka-l.com

Property Owner
Hakob Avagyan
1351 E Alameda Ave.
Glendale, CA 91201
818/521-4900

Building Address
719 Wilson Ct,
Burbank, CA 91501



If this sheet is not 24"x36", it is a reduced copy.

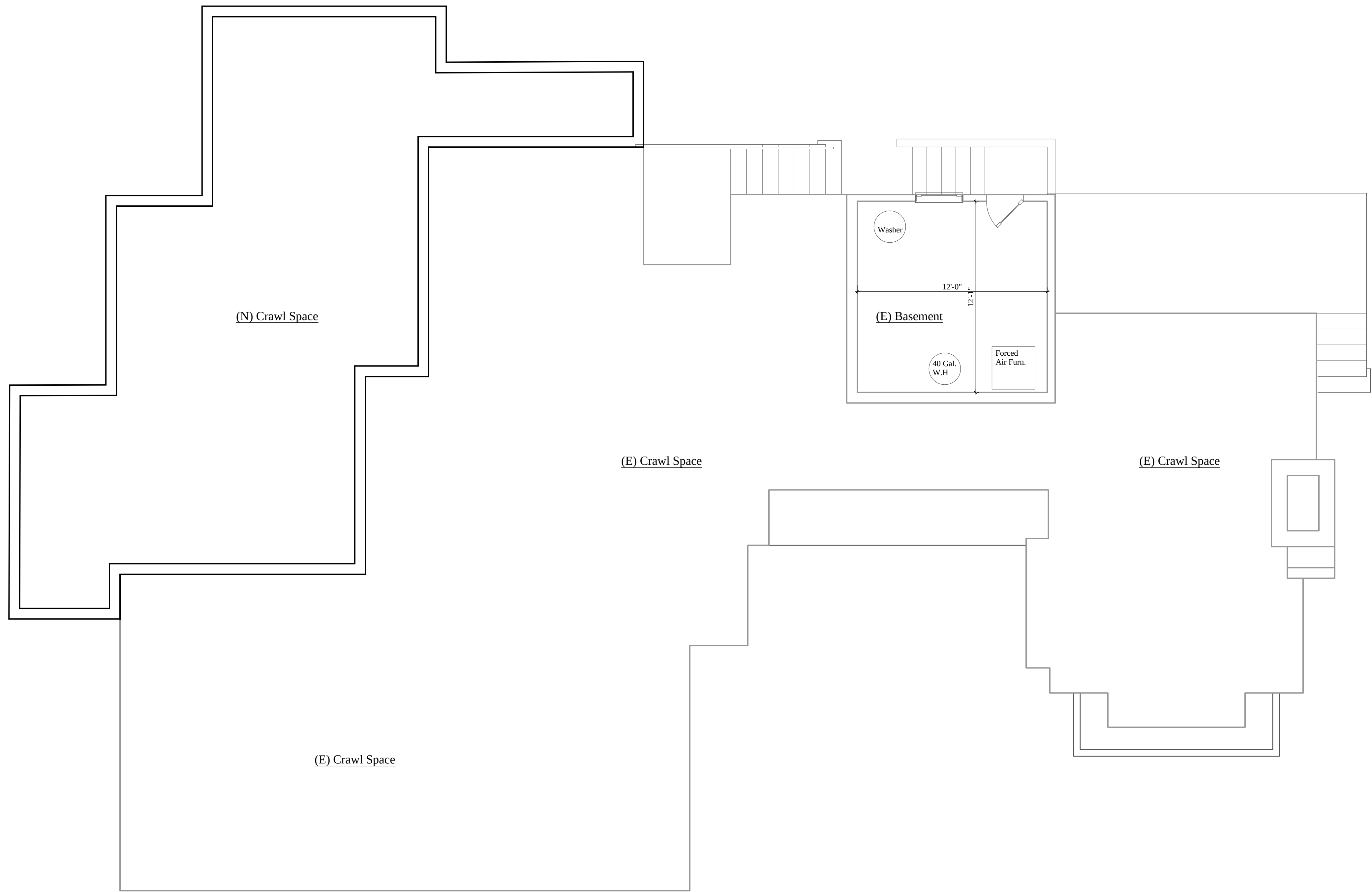
Existing Roof Plan

Drawing No	Scale
A2.1	1/4" = 1'-0"
Date	12/13/2023
Ref No	

719 Wilson Ct

719 Wilson Ct

719 Wilson Ct



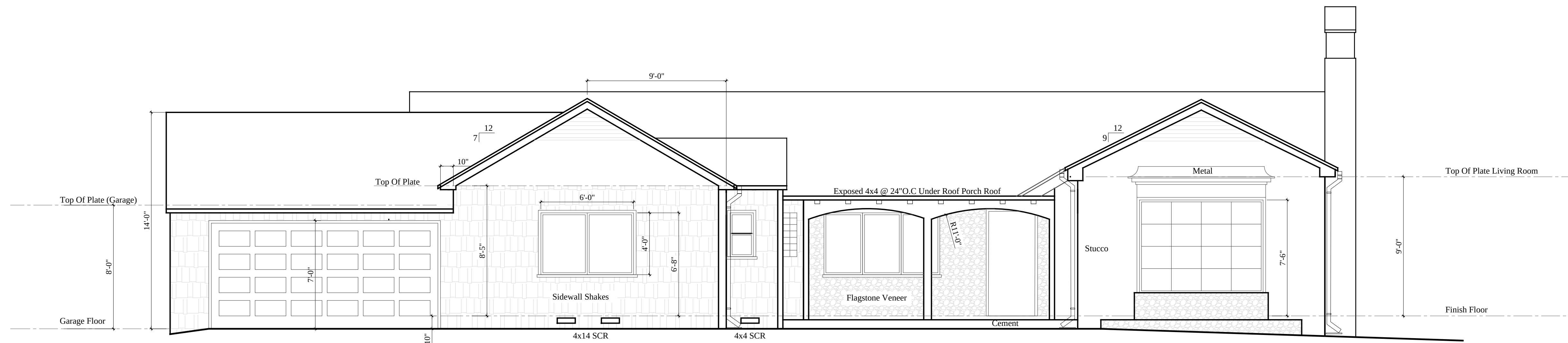
- Existing Wall or Partition
- Line of Features Above Unless Otherwise Noted
- (E) Exterior Door or Window To Relocate
- (N) Exterior Door or Window Designation
- Exterior Elevation Elevation Designation Drawing #
- Building Section Section Designation Drawing #
- Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- Carbon Monoxide Detector Outside Each Bedroom. Hardwired w/ Battery Backup
- Ceiling Mounted Mechanical Vent w/ Humidistat - 50 CFM min. ENERGY STAR compliant, ducted to outside. See also Form GRN 14, Notes 25 & 26
- Ceiling Mounted Smoke Detector. Hardwired w/ Battery Backup
- Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- Shower Stall 7.1 SF Min and Accommodate 30" Circle at Threshold Level to Height of 70" Above Drain
- Provide 15" Min. between the center of water closet to any side wall and provide 24" clear space in front of and water closet. (Calif. Plumb. Code 407.6)
- #.# Denotes Ceiling Height

Insulation Schedule:

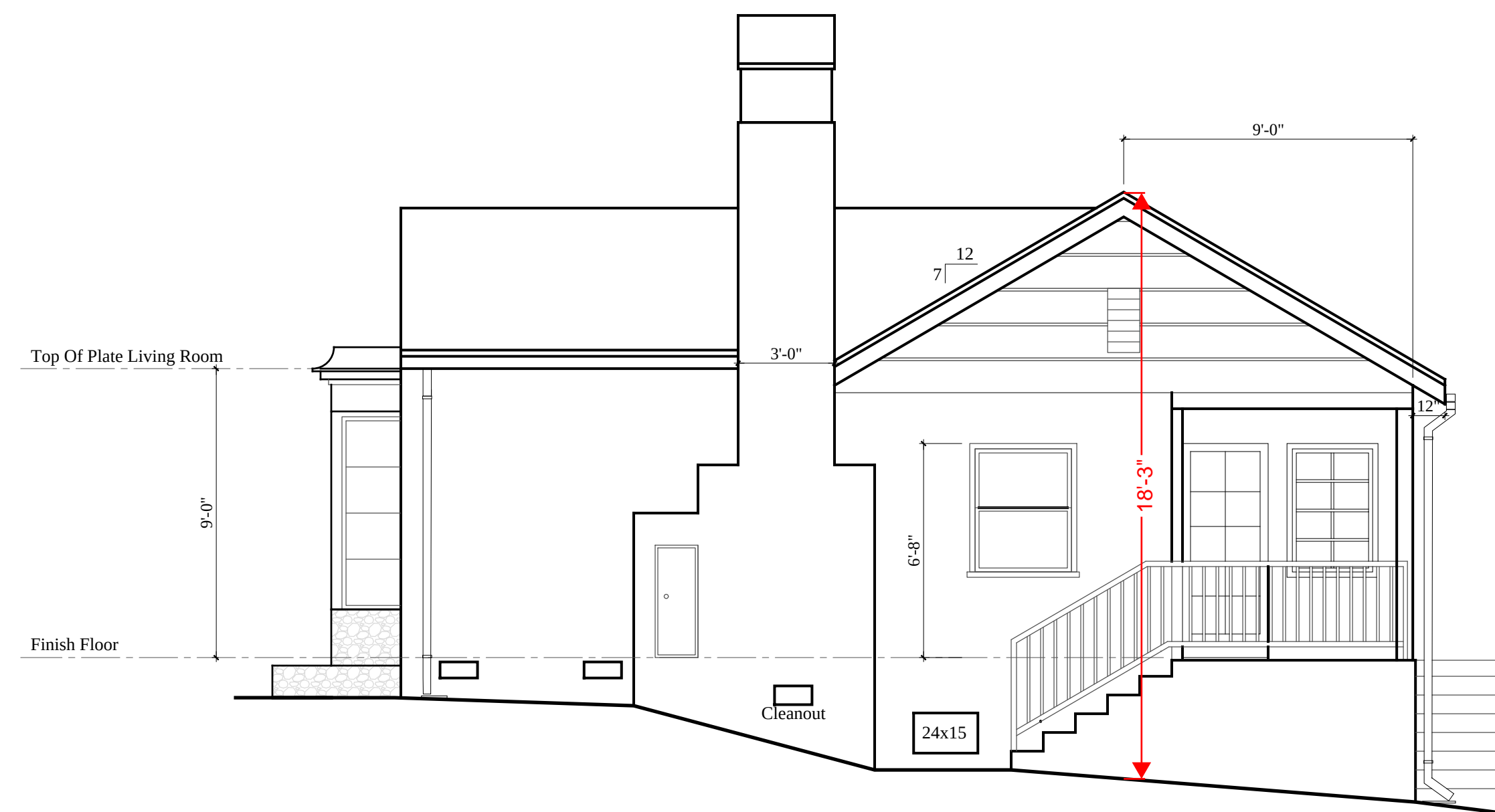
Ceilings	R-30
Exterior Walls	R-13
Floors	R-19
Water Heater	R-12
Ducts	R-4.2

No.	Date	Description
Architect		
Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA, 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com		
Property Owner Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900		
Building Address 719 Wilson Ct, Burbank, CA 91501		
Key Plan		
If this sheet is not 24"x36", it is a reduced copy.		
Existing Basement Plan		
Drawing No	Scale	1/4" = 1'-0"
A2.2	Date	12/13/2023
	Ref No	

1 Existing Basement Plan
1/4" = 1'-0"



1 Existing North (Front) Elevation
1/4"=1'-0"

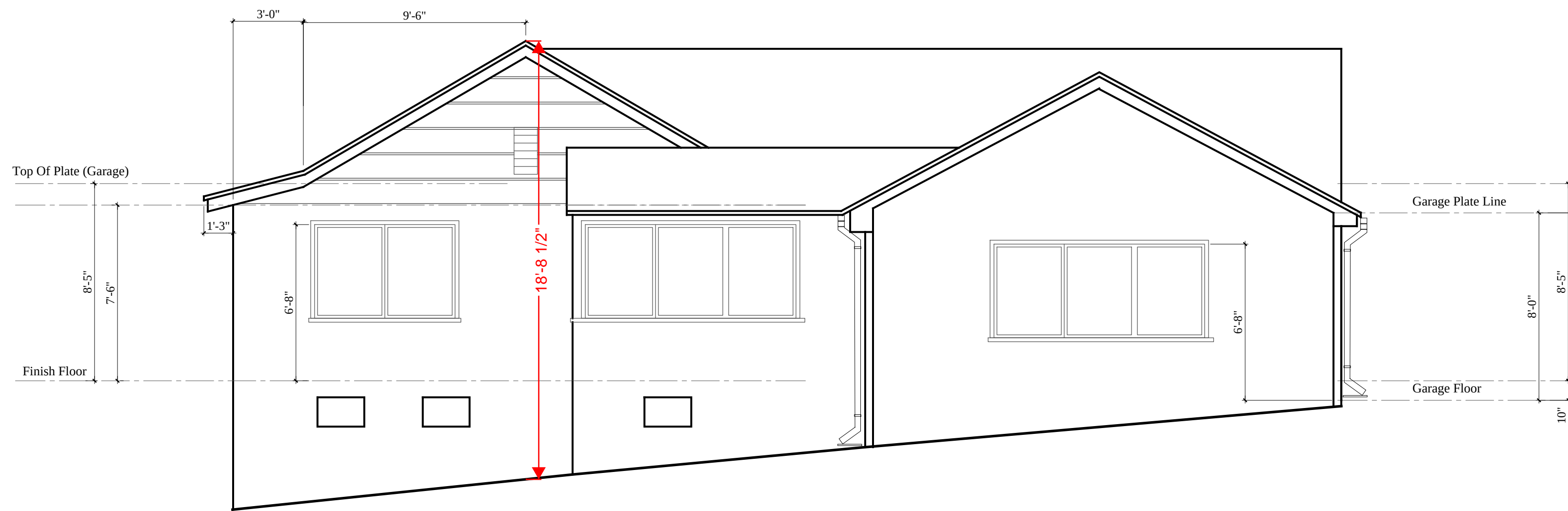


2 Existing West Elevation
1/4"=1'-0"

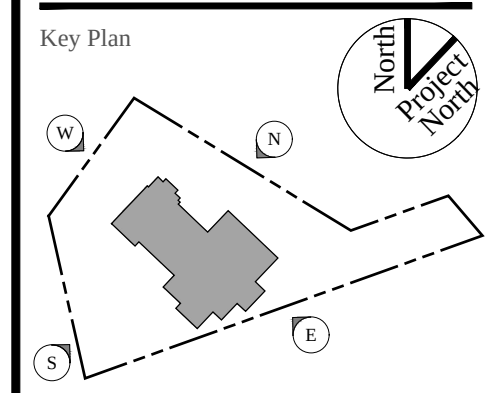
No.	Date	Description
Architect		
Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA, 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com		
Property Owner Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900		
Building Address 719 Wilson Ct, Burbank, CA 91501		
Key Plan 		
If this sheet is not 24"x36", it is a reduced copy.		
Existing Elevations		
Drawing No A2.3	Scale 1/4" = 1'-0"	Date 12/13/2023
Ref No		



1 Existing South (Rear) Elevation
1/4"=1'-0"



2 Existing East Elevation
1/4"=1'-0"

No.	Date	Description
Architect		
Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA, 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com		
Property Owner Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900		
Building Address 719 Wilson Ct, Burbank, CA 91501		
Key Plan 		
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Existing Elevations		
Drawing No	Scale	1/4" = 1'-0"
A2.4	Date	12/13/2023
	Ref No	

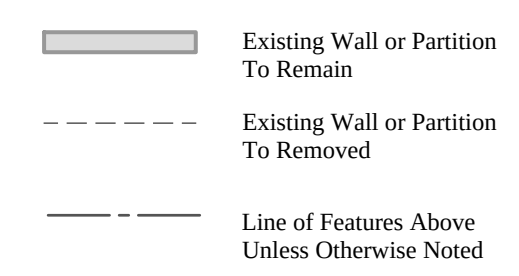
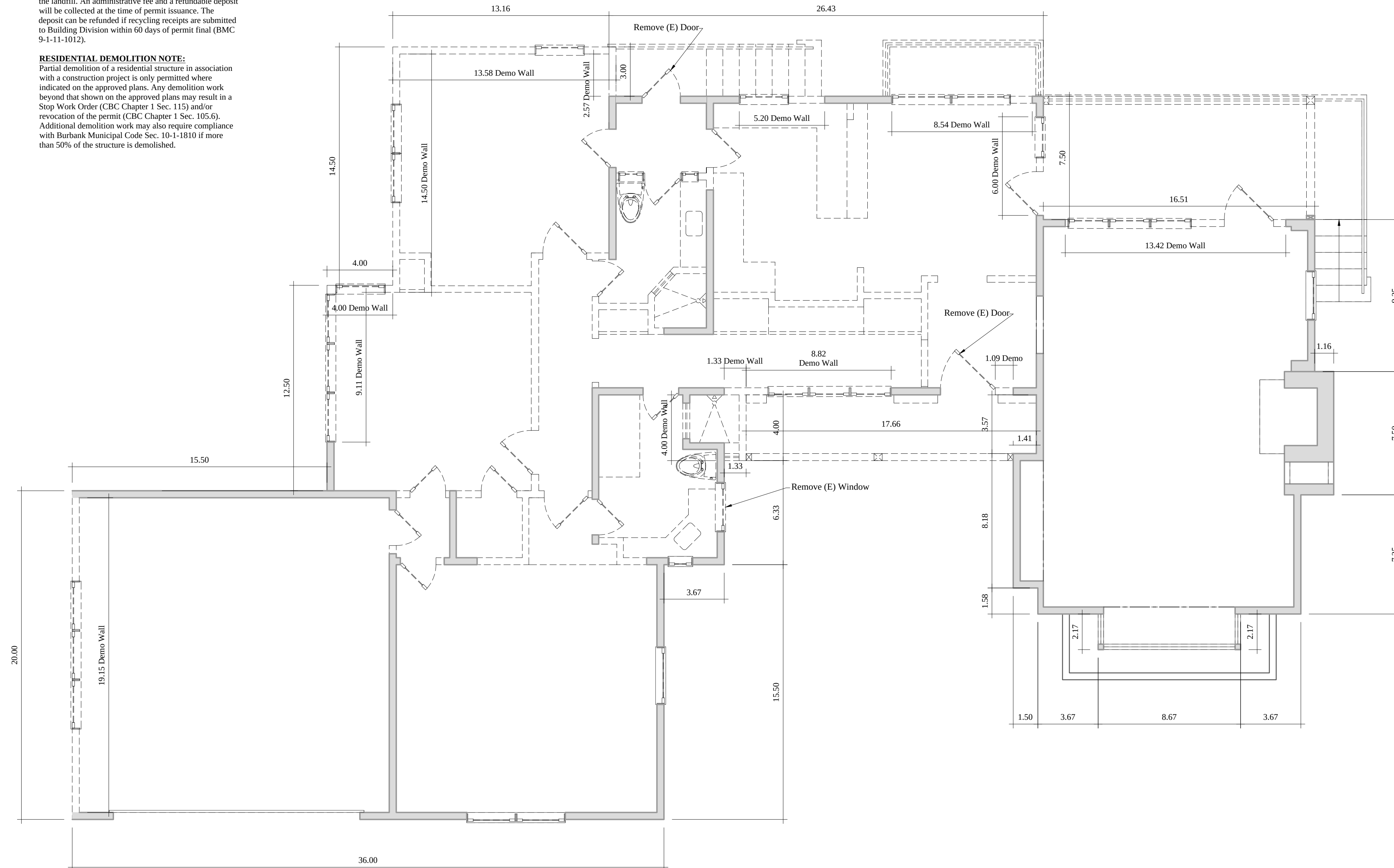
DEMOLITION NOTES

DIVERSION OF C&D DEBRIS:

A minimum 65% of generated debris shall be recycled, reused, or diverted from the landfill. An administrative fee and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-11-1012).

RESIDENTIAL DEMOLITION NOTE:

Partial demolition of a residential structure in association with a construction project is only permitted where indicated on the approved plans. Any demolition work beyond that shown on the approved plans may result in a Stop Work Order (CBC Chapter 1 Sec. 115) and/or revocation of the permit (CBC Chapter 1 Sec. 105.6). Additional demolition work may also require compliance with Burbank Municipal Code Sec. 10-1-1810 if more than 50% of the structure is demolished.



1 Demo First Floor Plan
1/4"=1'-0"

Exterior Wall Demolition Calculation:

Existing L.F. Exterior Wall	L.F. of Existing Exterior Wall To Be Removed
36.00'	1.33'
15.50'	4.00'
3.50'	8.82'
6.33'	1.09'
1.33'	13.42'
4.00'	6.00'
17.66'	8.54'
3.57'	5.20'
8.18'	2.57'
1.58'	13.58'
1.50'	14.50'
2.17'	4.00'
8.67'	9.11'
2.17'	19.15'
3.67'	
7.25'	
7.50'	
1.16'	
9.25'	
16.51'	
7.50'	
26.43'	
13.16'	
14.50'	
4.00'	
12.50'	
15.50'	
20.00'	
271.09 LF	111.31' LF
	Total

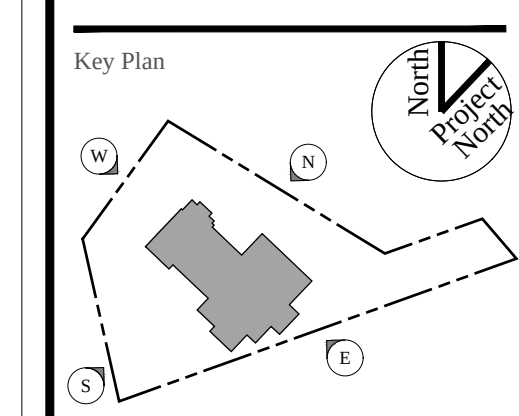
271.09 LF x 50% = 135.54
135.54 > 111.31' LF of Proposed Exterior Wall Demolition
Therefore Project is Not a "Whole House Demolition"

No.	Date	Description
		Architect

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Glendale, CA, 91204
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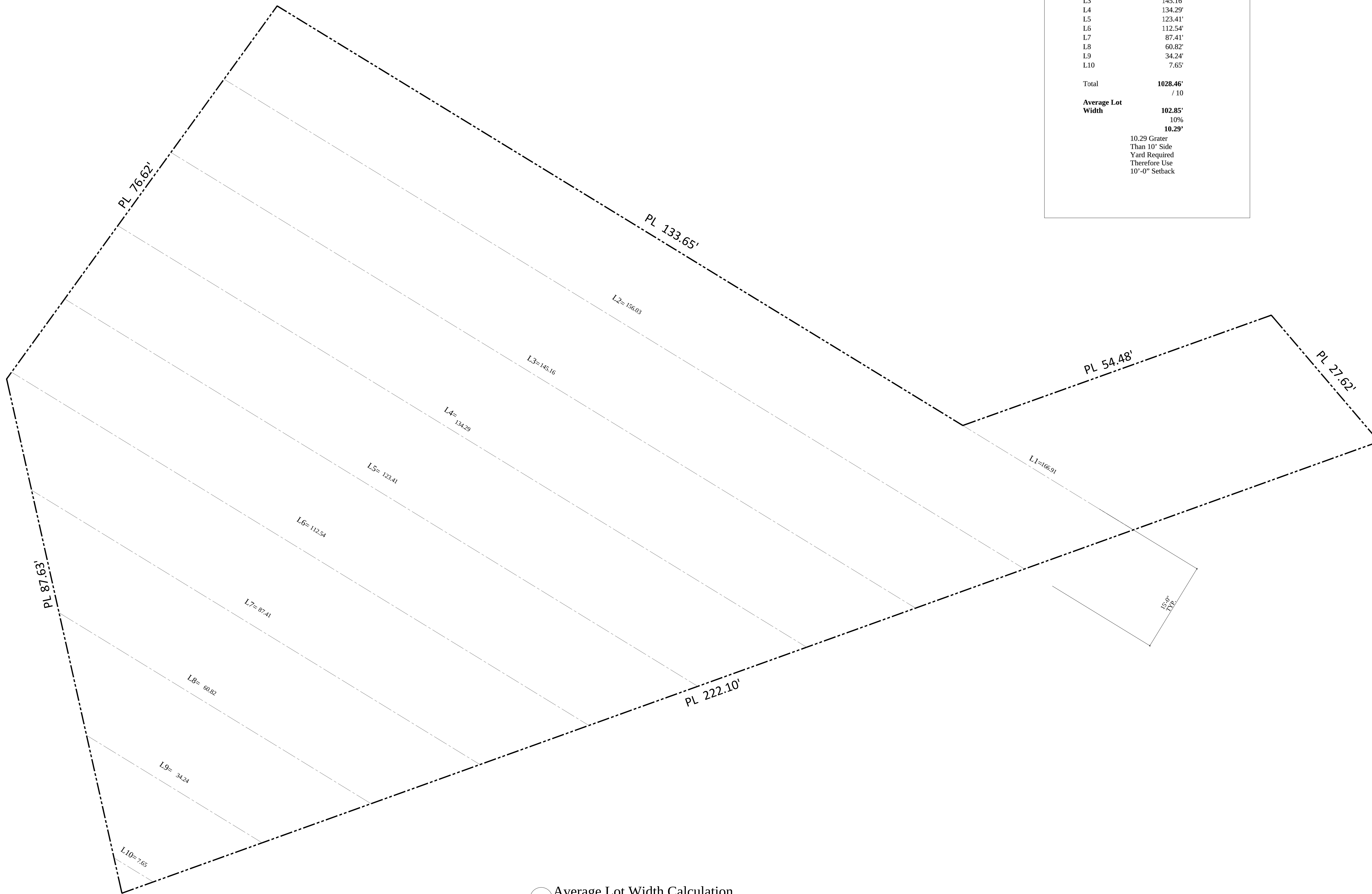
Demo First Floor Plan

Drawing No	Scale
A3.0	1/4" = 1'-0"
Date	Ref No
12/13/2023	

719 Wilson Ct

719 Wilson Ct

719 Wilson Ct



Segments @ 15' Length

Average Width Calculation

L1	166.91'
L2	156.03'
L3	145.16'
L4	134.29'
L5	123.41'
L6	112.54'
L7	87.41'
L8	60.82'
L9	34.24'
L10	7.65'
Total	1028.46'
	/ 10
Average Lot Width	102.85'
	10%
	10.29'
	10.29 Greater Than 10' Side Yard Required Therefore Use 10'-0" Setback

1 Average Lot Width Calculation
1/8"=1'-0"

- Existing to Remain
- Proposed Partition
- (E) Exterior Door or Window To Relocate
- (N) Exterior Door or Window Designation
- Exterior Elevation Designation Drawing #
- Building Section Designation Drawing #
- (AB) Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- (CM) Carbon Monoxide Detector Outside Each Bedroom. Hardwired w/ Battery Backup
- (MV) Ceiling Mounted Mechanical Vent w/ Humidistat - 50 CFM min. ENERGY STAR compliant, ducted to outside. See also Form GRN 14, Notes 25 & 26
- (SD) Ceiling Mounted Smoke Detector. Hardwired w/ Battery Backup
- (NA) Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- (SH) Shower Stall 7.1 SF Min and Accommodate 30" Circle at Threshold Level to Height of 70" Above Drain
- Provide 15" Min. between the center of water closet to any side wall and provide 24" clear space in front of and water closet. (Calif. Plumb. Code 407.6)
- Denotes Ceiling Height

Insulation Schedule:

Ceilings	R-30
Exterior Walls	R-13
Floors	R-19
Water Heater	R-12
Ducts	R-4.2

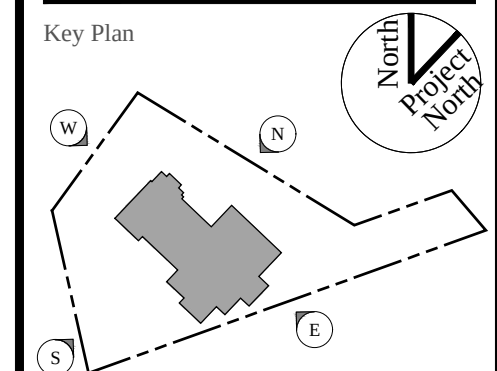
No.	Date	Description
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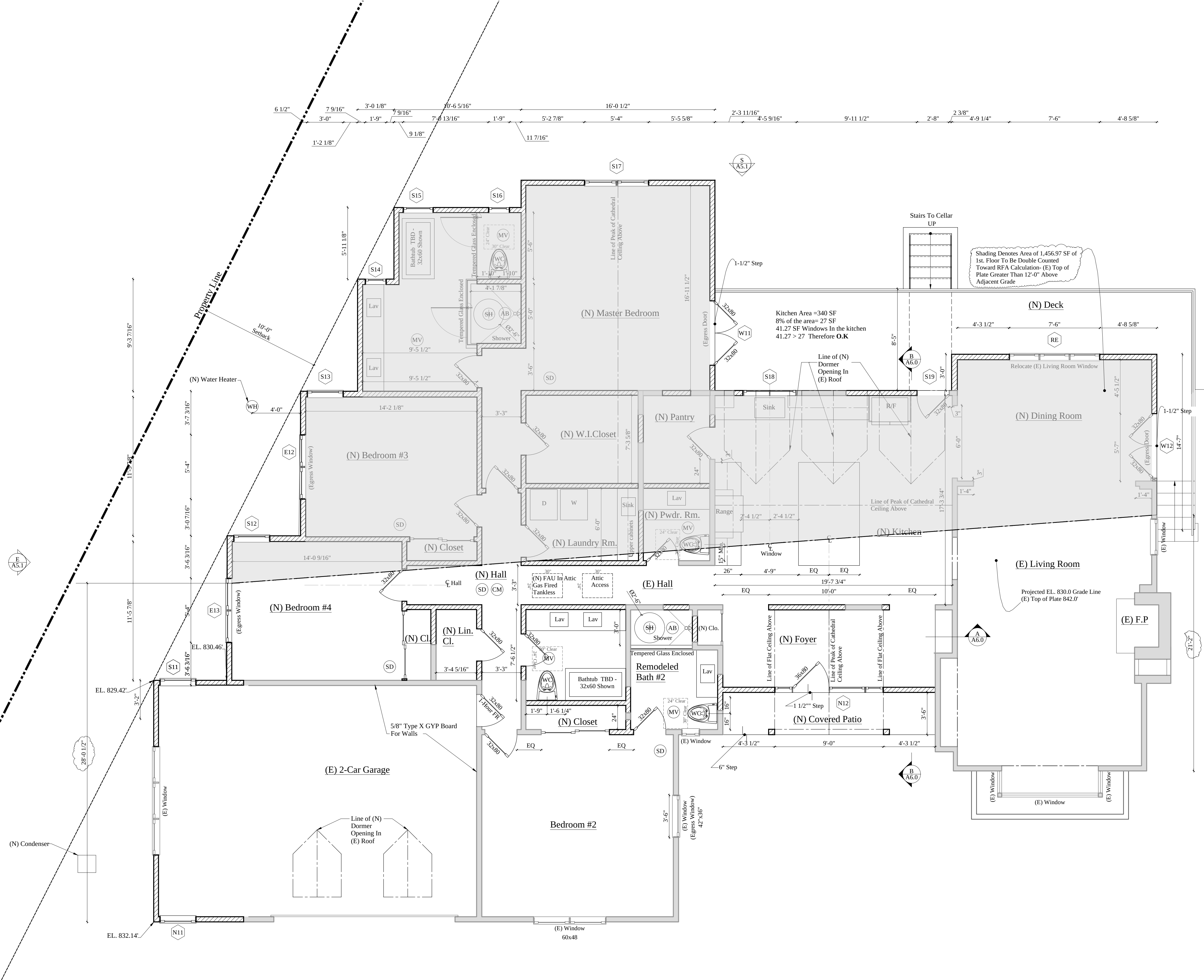
Building Address
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Burbank, CA 91501



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Average Lot Width Calculation

Drawing No	Scale
A4.0	1/8" = 1'-0"
Date	12/13/2023
Ref No	



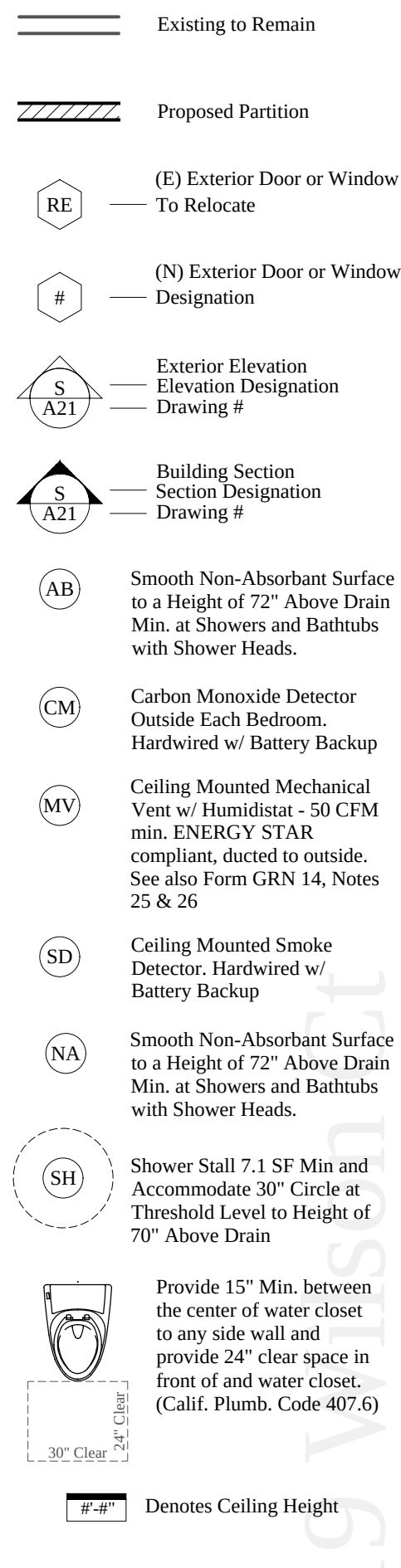
Clothes Dryer Notes:
 A minimum 4" moisture exhaust duct must be provided (CMC 504.4.2)
 Dryer exhaust cannot exceed 14 ft. with a maximum of two 90 deg. elbows (CMC 504.4.2.1)
 A flexible duct cannot extend more than 6 ft. and cannot be concealed (CMC 504.4.2.2)

Notes:
 New installation of gas water heater shall have all the following as per 2022 California Energy Code 150.0(n):
 1. A 120V electrical receptacle is within 3 feet from the water heater and accessible with no obstructions.
 2. A Category III or IV vent, or a Type B vent with straight pipe between outside termination and the water heater.
 3. A condensate drain no more than 2 inches higher than the base on water heater for natural draining.
 4. A gas supply line with capacity of at least 200,000 Btu/hr.
 5. Unfired tanks shall have a minimum R-12 insulation.
 6. R-7.7 insulation shall be installed on the first 5 feet of hot and cold-water pipes.
 7. All hot water piping 3/4" or larger, from the water heater to the kitchen fixtures, shall have R-4 insulation

Smoke Alarm Requirements:
 1. An approved smoke alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.
 2. Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring.
 3. Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
 4. Smoke detectors shall be hard wired and shall be equipped with battery backup.

Carbon Monoxide Alarm Notes:
 1. An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplace, and/or an attached garage with an opening that communicates with the dwelling.
 2. CO alarms shall be hard wired and shall be equipped with battery backup.
 3. CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 720.
 4. CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement.
 5. CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
 6. In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes.

Landing Note:
 The landings or finished floors shall not be more than 1/2" lower than the top of threshold except the landing or floor on the exterior side shall not be more than 3/4" below the top of threshold provided the door does not swing over the landing or floor (CRC 311.3.1, CBC 1010.1.7)



Insulation Schedule:

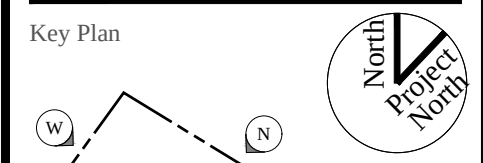
Ceilings	R-30
Exterior Walls	R-13
Floors	R-19
Water Heater	R-12
Ducts	R-4.2

No.	Date	Description
Architect		

Structural Engineer
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 818/521-4900

Building Address
 719 Wilson Ct.
 Burbank, CA 91501



1 Proposed First Floor Plan
 1/4"=1'-0"

Proposed First Floor Plan

Los Angeles County Department of Public Works
Development Services
Building and Safety Division

COOL ROOFS
TECHNICAL REQUIREMENTS

COOL ROOF - TECHNICAL REQUIREMENTS

APPLICANT INSTRUCTIONS

- Effective on May 6, 2019, roofing material must comply with the requirements shown below.
- Please provide the following information for any project involving roofing materials:
 - An approved 3rd party listing specific to the roofing product being installed.
 - A current product identification number from the Cool Roof Rating Council (CRRCC). The listing must indicate the minimum values listed in the tables below.

Note: The Solar Reflectance Index (SRI) value may be used as an alternative to compliance with the 3-year aged solar reflectance and thermal emittance values.

- During a roof inspection, roofing product shall be on site for inspector to verify compliance with requirements below.

*Numbers refer to Tables in the 2017 County of Los Angeles Green Building Standards Code.

REQUIREMENTS

Table 4.106.6(1) Low Rise Residential

ROOF SLOPE	MINIMUM 3-YEAR AGED SOLAR REFLECTANCE	THERMAL EMITTANCE	SRI
≤ 2:12	0.65	0.85	78
>2:12	0.25	0.85	20

Table 4.106.6(2) High Rise Residential Buildings, Hotels and Motels

ROOF SLOPE	MINIMUM 3-YEAR AGED SOLAR REFLECTANCE	THERMAL EMITTANCE	SRI
≤ 2:12	0.65	0.75	78
>2:12	0.25	0.75	20

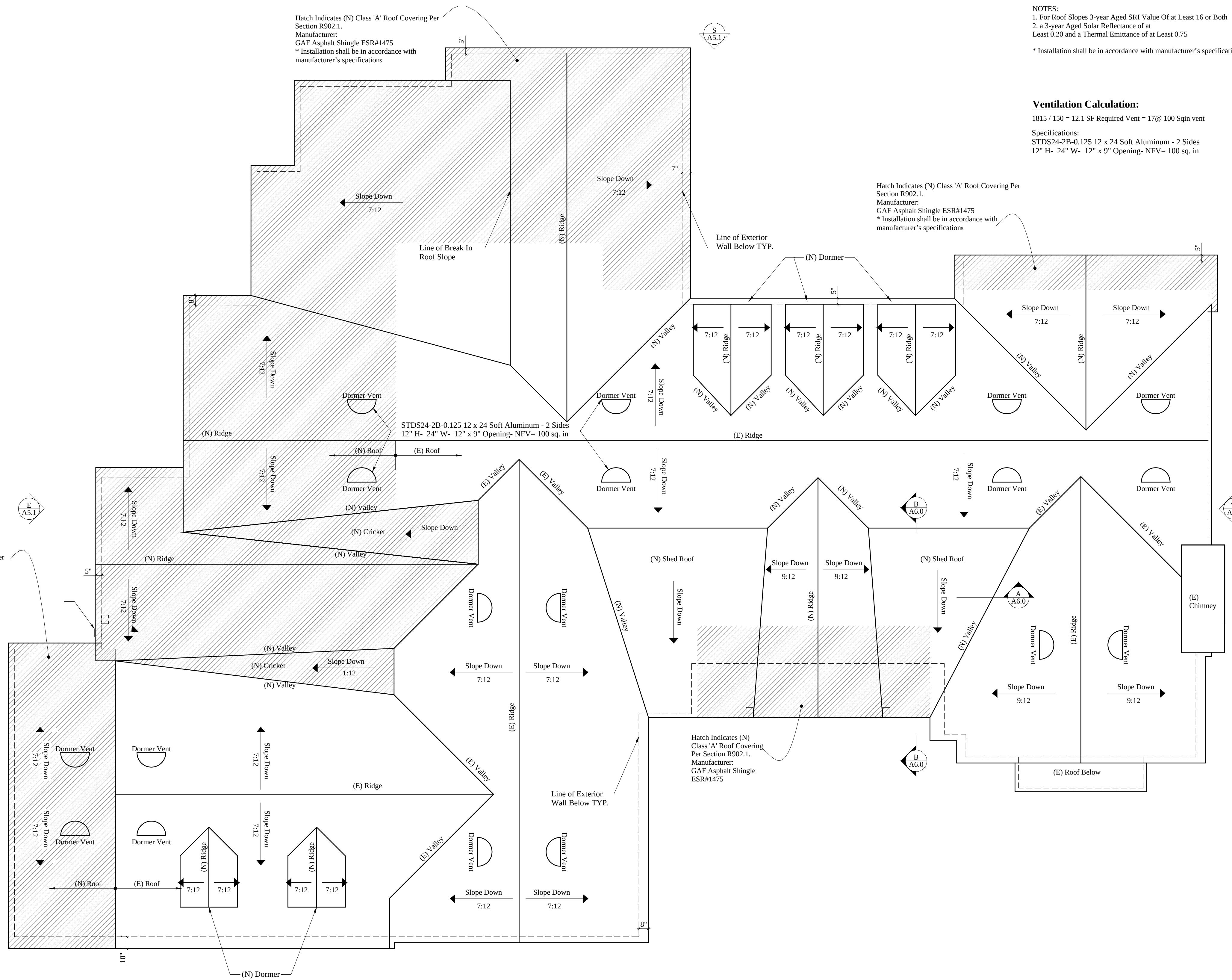
Table 5.106.11 Non-Residential

ROOF SLOPE	MINIMUM 3-YEAR AGED SOLAR REFLECTANCE	THERMAL EMITTANCE	SRI
≤ 2:12	0.68	0.85	82
>2:12	0.28	0.85	27

EXCEPTIONS

- Roof repair;
- Roof replacement when the roof area being replaced is equal to or less than 50% of the total roof area;
- Installation of building-integrated photovoltaics (BIPV);
- R Occupancies Only: Installation of steep sloped roof (>2:12) in climate zone 16 on other than a low-rise multifamily building;
- Additions resulting in less than 500 square feet of added roof area or less than 50% of the total roof area, whichever is greater;
- Roof constructions that have a thermal mass over the roof membrane including areas of vegetated (green) roofs, weighing at least 25 pounds per square foot.

Page 1 of 1 Updated: 07/17/2019



- Wall Below
- ==== Roof
- RE (E) Exterior Door or Window To Relocate
- # (N) Exterior Door or Window Designation
- S A21 Exterior Elevation Elevation Designation Drawing #
- S A21 Building Section Section Designation Drawing #
- AB Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- CM Carbon Monoxide Detector Outside Each Bedroom. Hardwired w/ Battery Backup
- MV Ceiling Mounted Mechanical Vent w/ Humidistat - 50 CFM min. ENERGY STAR compliant, ducted to outside. See also Form GRN 14, Notes 25 & 26
- SD Ceiling Mounted Smoke Detector. Hardwired w/ Battery Backup
- NA Smooth Non-Absorbant Surface to a Height of 72" Above Drain Min. at Showers and Bathtubs with Shower Heads.
- SH Shower Stall 7.1 SF Min and Accommodate 30" Circle at Threshold Level to Height of 70" Above Drain
- Provide 15" Min. between the center of water closet to any side wall and provide 24" clear space in front of and water closet. (Calif. Plumb. Code 407.6)
- #-# Denotes Ceiling Height

Insulation Schedule:

Ceilings	R-30
Exterior Walls	R-13
Floors	R-19
Water Heater	R-12
Ducts	R-4.2

No.	Date	Description

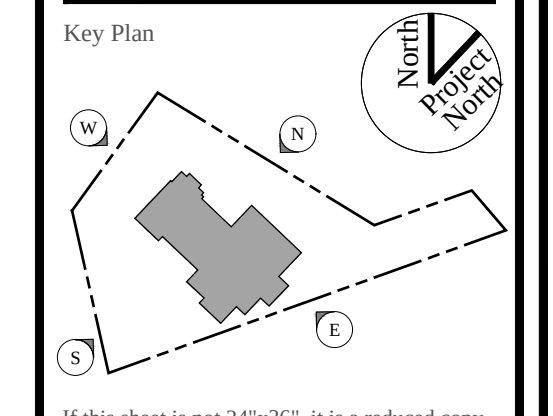
Architect

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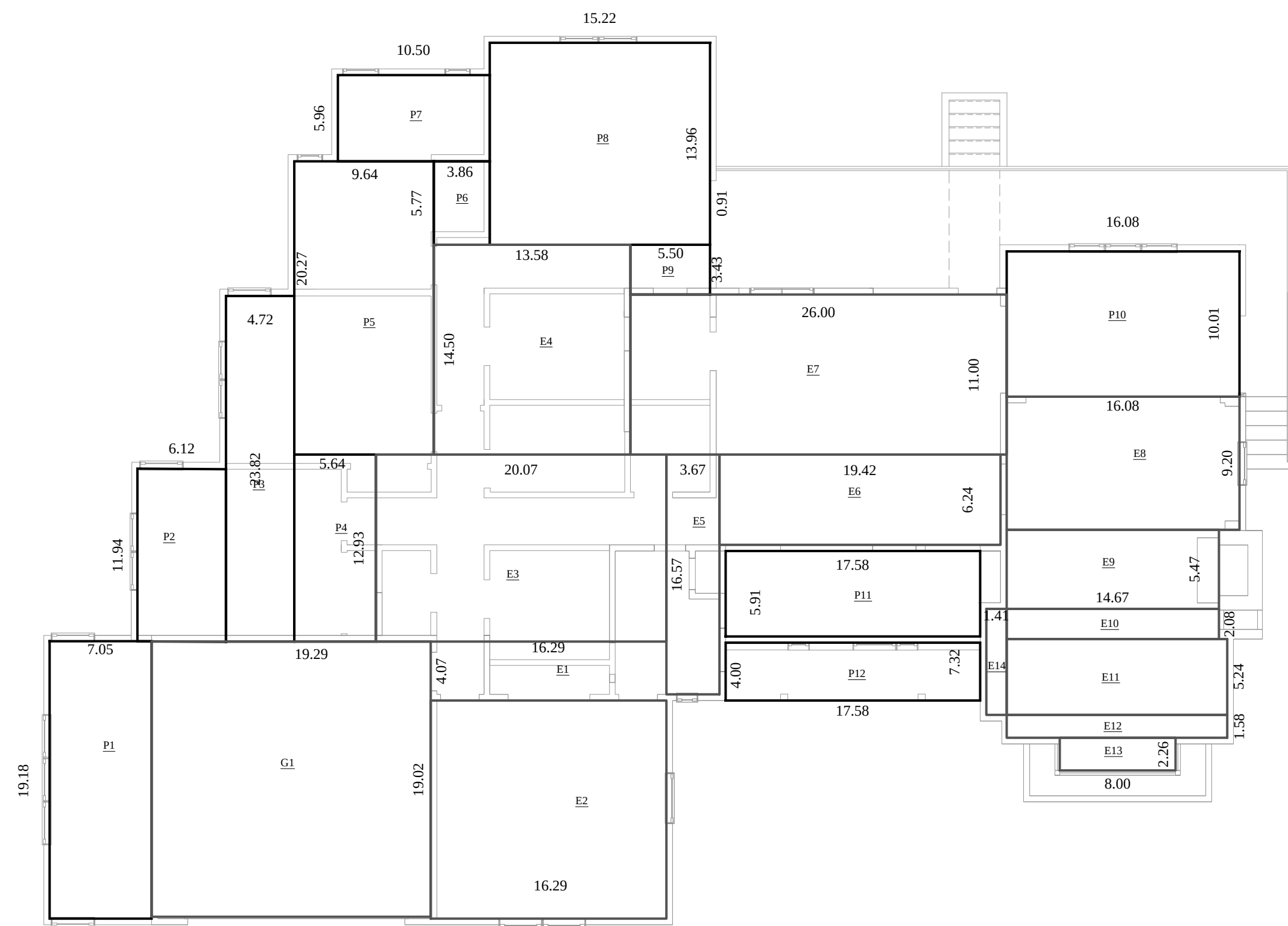


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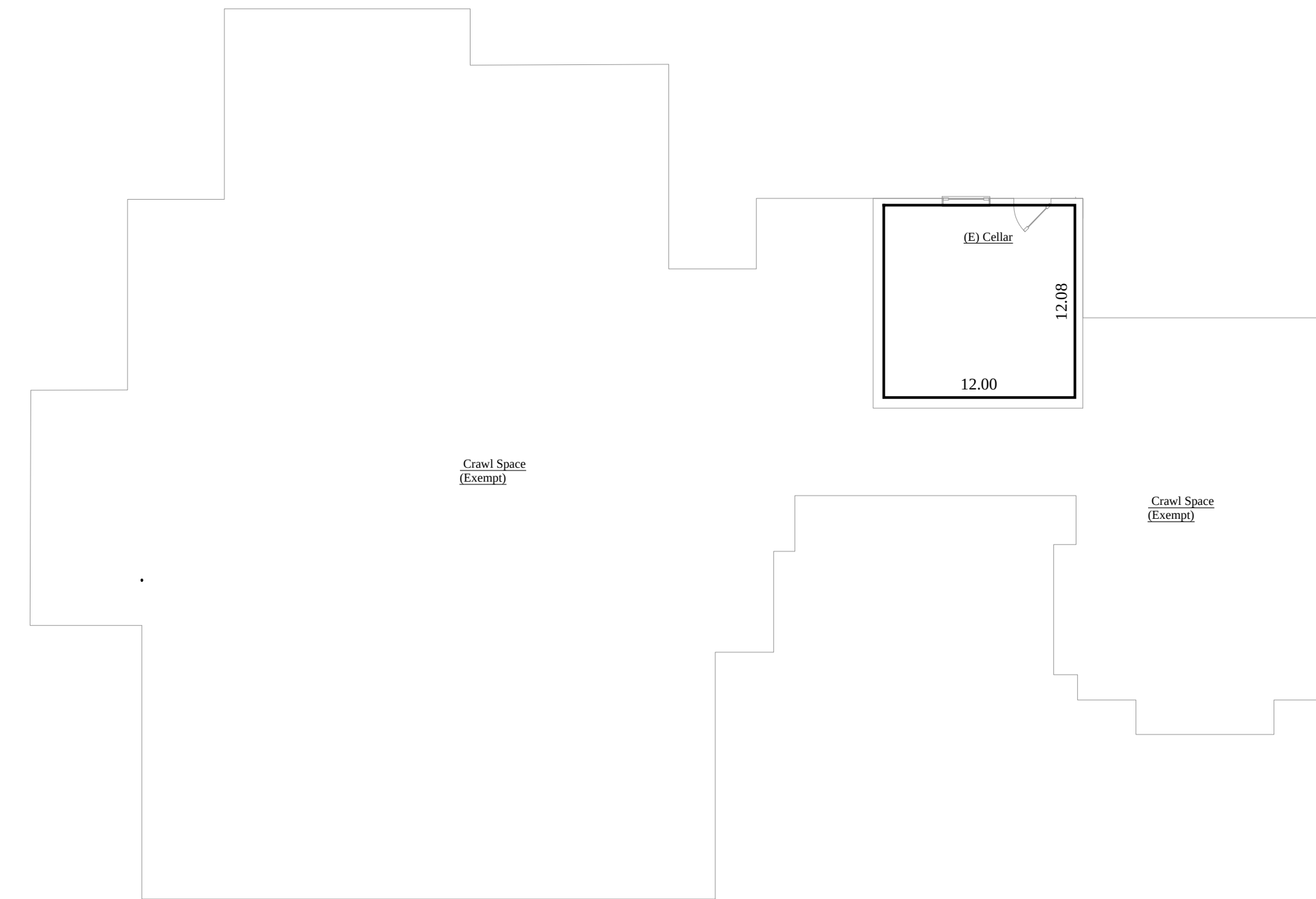
Proposed Roof Plan

Drawing No **A4.2** Scale 1/4" = 1'-0"
 Date 12/13/2023
 Ref No

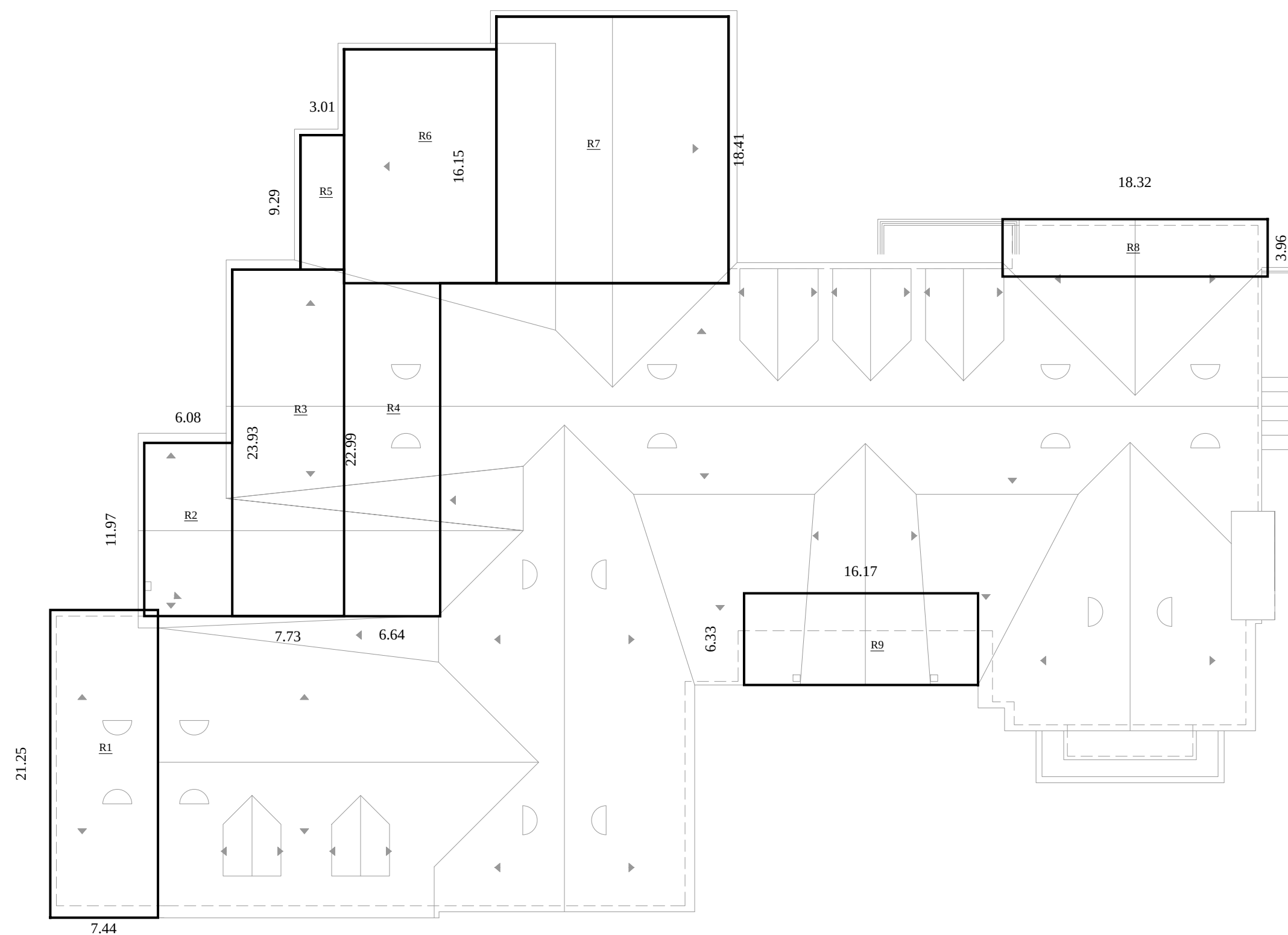
1 Proposed Roof Plan
 1/4" = 1'-0"



1 First Floor Area Diagram
1/8"=1'-0"



1 Cellar Floor Area Diagram
1/8"=1'-0"



3 Roof Area Diagram
1/8"=1'-0"

Residential Floor Area			
Measured to Inside Face of Exterior Walls			
Lot Area (per Zimas)		13650.00 SF	
designation	x	factor for triangular y areas	area note
Existing Residential Floor Area, First Floor			
E1	16.29'	4.07'	66.30 SF (E) RFA
E2	15.07'	16.29'	245.49 SF (E) RFA
E3	20.07'	12.93'	259.51 SF (E) RFA
E4	13.58'	14.50'	196.91 SF (E) RFA
E5	3.67'	16.57'	60.81 SF (E) RFA
E6	19.42'	6.24'	121.18 SF (E) RFA
E7	26.00'	11.00'	286.00 SF (E) RFA
E8	16.08'	9.20'	147.94 SF (E) RFA
E9	5.47'	14.67'	80.24 SF (E) RFA
E10	14.67'	2.08'	30.51 SF (E) RFA
E11	14.67'	5.24'	76.87 SF (E) RFA
E12	14.67'	1.58'	23.18 SF (E) RFA
E13	8.00'	2.26'	18.08 SF (E) RFA
E14	1.41'	7.32'	10.32 SF (E) RFA
E15	19.29'	19.02'	366.90 SF (E) Garage
			1990.24 SF Total (E) RFA 1st Floor
			-366.90 SF (E) Garage
			1623.34 SF (E) RFA
Proposed Residential Floor Area			
P1	7.05'	19.18'	135.22 SF Proposed RFA(Garage)
P2	6.12'	11.94'	73.07 SF Proposed RFA
P3	4.72'	23.82'	112.43 SF Proposed RFA
P4	5.64'	12.93'	72.93 SF Proposed RFA
P5	9.64'	20.27'	195.40 SF Proposed RFA
P6	3.86'	5.77'	22.27 SF Proposed RFA
P7	10.50'	5.96'	62.58 SF Proposed RFA
P8	15.22'	13.96'	212.47 SF Proposed RFA
P9	5.50'	3.43'	18.87 SF Proposed RFA
P10	16.08'	10.01'	160.96 SF Proposed RFA
P11	17.58'	5.91'	103.90 SF Proposed RFA
P12	17.58'	4.00'	70.32 SF Proposed Covered Entry
			1240.42 SF Proposed RFA 1st Floor
			135.22 SF Proposed Garage
			1105.20 SF Proposed RFA
Existing Residential Floor Area, Cellar			
C1	12.00'	12.08'	144.96 SF (E) Cellar RFA
Total (E) 1st Floor Area			
		1990.24 SF	
		144.96 SF	
		1240.42 SF	
		3375.62 SF	
		-400.00 SF	Garage Floor Area Exemption
		2975.62 SF	Total RFA <3000.00 SF
			Therefore O.K
New Roof Area			
R1	7.44'	21.25'	158.10 SF New Roof Area
R2	6.08'	11.97'	72.78 SF New Roof Area
R3	7.73'	23.93'	22.99 SF New Roof Area
R4	6.64'	22.99'	152.65 SF New Roof Area
R5	3.01'	9.29'	27.96 SF New Roof Area
R6	16.15'	10.53'	170.06 SF
R7	16.04'	18.41'	295.30 SF
R8	18.32'	3.96'	72.55 SF
R9	16.17'	6.33'	102.36 SF
		1074.74 SF	Total proposed Roof

No. | Date | Description

Architect

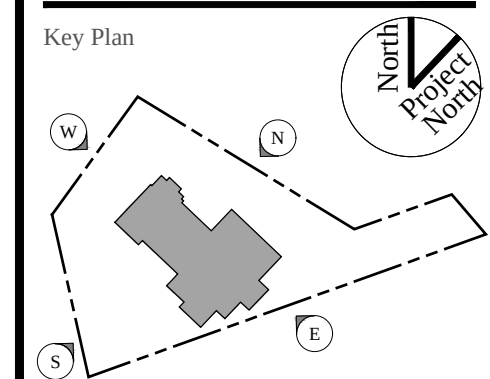
Structural Engineer
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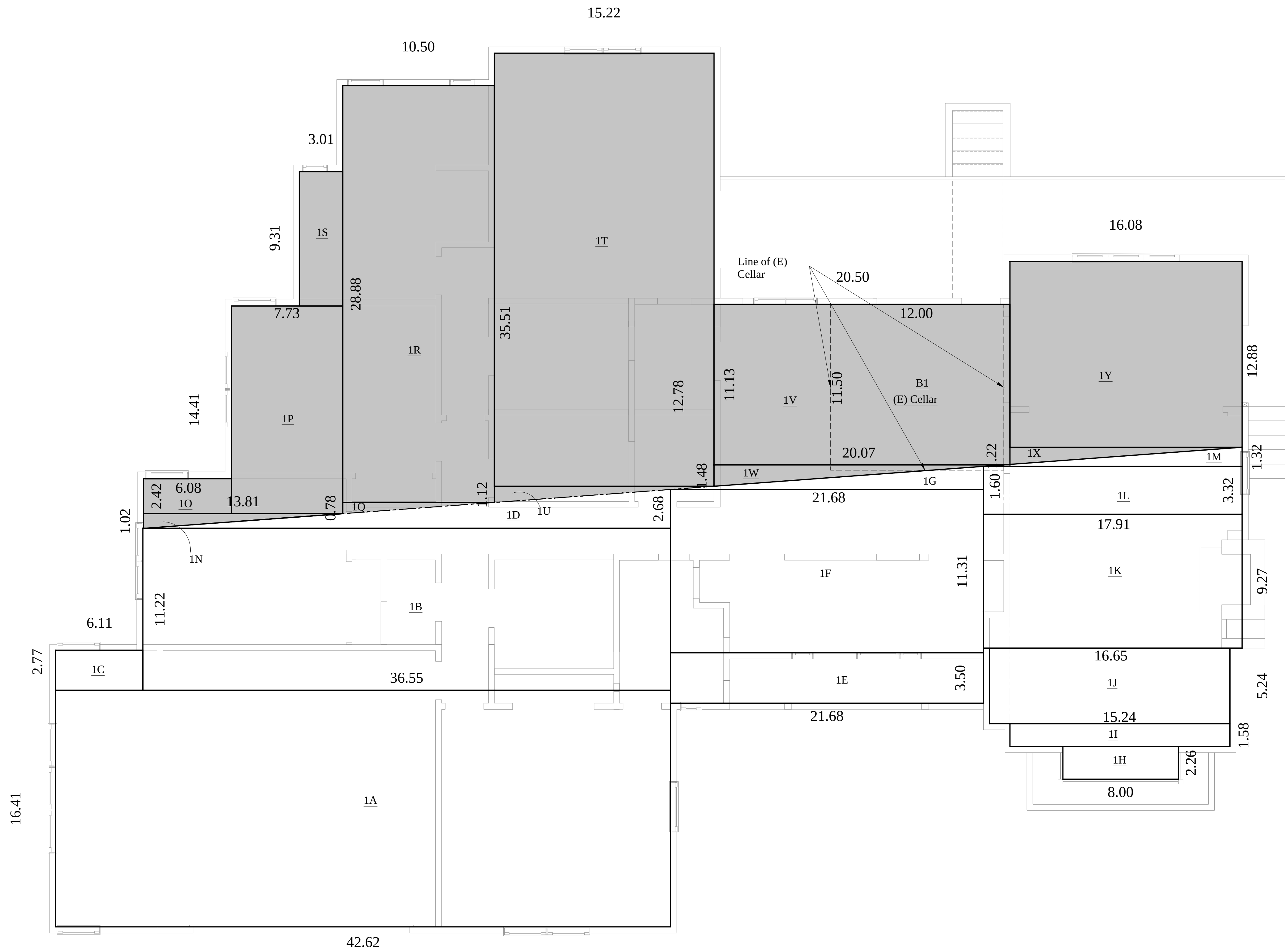
Key Plan



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Floor Area Calculations

Drawing No. **A4.3** | Scale 1/4" = 1'-0"
Date 12/13/2023
Ref No



1 First Floor Area Diagram
1/4"=1'-0"

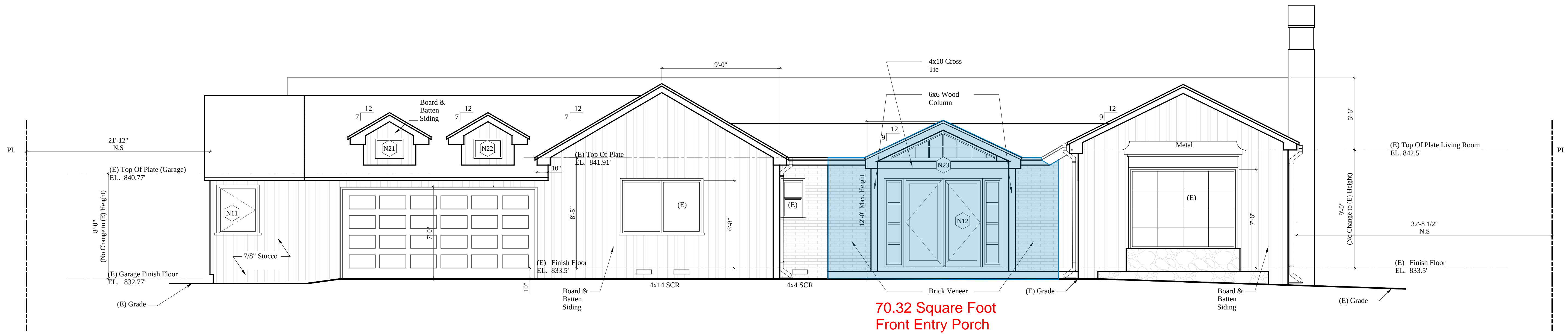
Residential Floor Area
Measured to Inside Face of Exterior Walls

Lot Area (per Zimas) 13650.00 SF

designat	x	factor for triangular areas	area	note
Residential Floor Area, First Floor				
1A	16.41'	42.62'	699.39 SF	
1B	36.55'	11.22'	410.09 SF	
1C	6.11'	2.77'	16.92 SF	
1D	36.55'	2.68'	48.98 SF	0.5
1E	3.50'	21.68'	75.88 SF	
1F	21.68'	11.31'	245.20 SF	
1G	21.68'	1.60'	17.34 SF	0.5
1H	2.26'	8.00'	18.08 SF	
1I	1.58'	15.24'	24.08 SF	
1J	16.65'	5.24'	87.25 SF	
1K	17.91'	9.27'	166.03 SF	
1L	3.32'	17.91'	59.46 SF	
1M	1.32'	17.91'	11.82 SF	0.5
1N	1.02'	13.81'	7.04 SF	2
1O	2.42'	6.08'	14.71 SF	2
1P	7.73'	14.41'	111.39 SF	2
1Q	10.50'	0.78'	4.10 SF	0.5
1R	10.50'	28.88'	303.24 SF	2
1S	9.31'	3.01'	28.02 SF	2
1T	15.22'	35.51'	540.46 SF	2
1U	1.12'	15.22'	8.52 SF	0.5
1V	11.13'	20.50'	228.17 SF	2
1W	1.48'	20.50'	15.17 SF	0.5
1X	1.22'	16.08'	9.81 SF	0.5
1Y	16.08'	12.88'	207.11 SF	2
B1	12.00'	11.50'	138.00 SF	
			4974.01 SF	Total Proposed RFA
			-400.00 SF	Garage Exemption
			4574.01 SF	

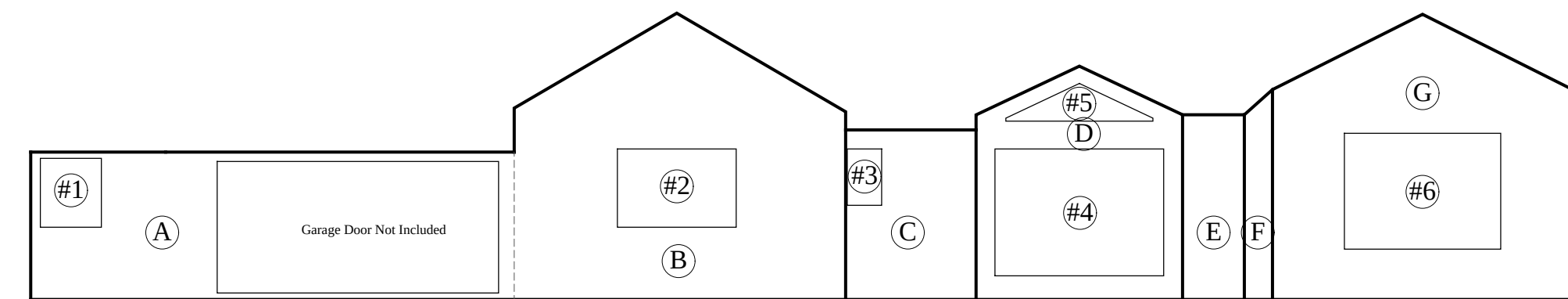
Lot Size=13,650
 Lot Size up to 7,500: 7500 x 0.4 = 3,000
 Lot Size between 15,000 and 7,500: 13,650 - 7,500=6,150
 6,150 x 0.3 = 1,845
 3,000+1,845=4,845 SF < 4,848.98 SF - Over Allowed FAR by 3.98 SF

No.	Date	Description
Architect		
Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA, 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com		
Property Owner Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900		
Building Address 719 Wilson Ct. Burbank, CA 91501		
Key Plan 		
Floor Area Calculations Per Zoning Code		
Drawing No	Scale	1/4" = 1'-0"
A4.4	Date	12/13/2023
Ref No		



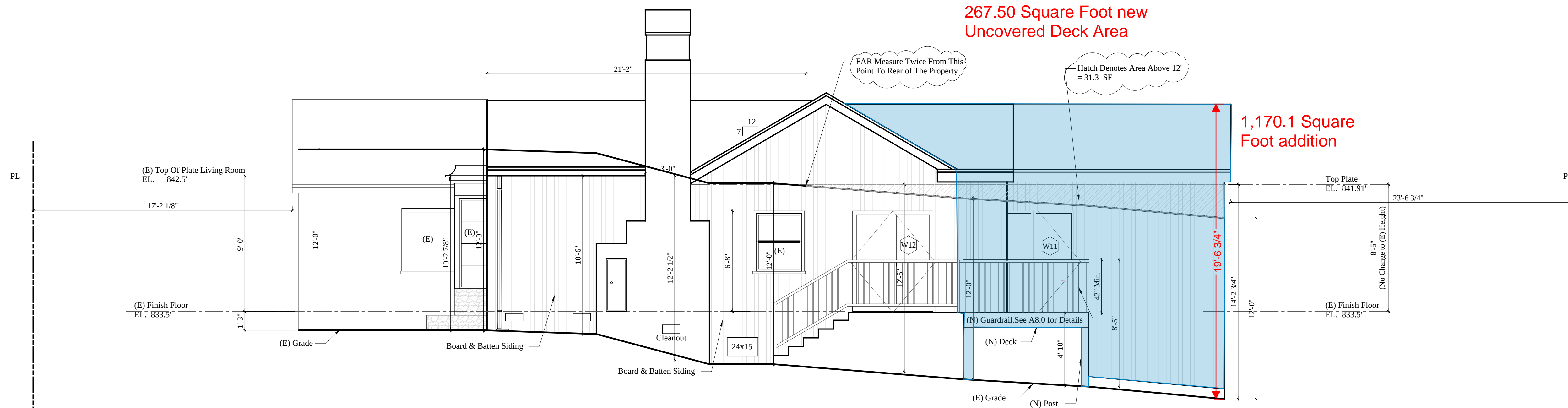
70.32 Square Foot Front Entry Porch

1 Proposed North (Front) Elevation
1/4"=1'-0"



Front Elevation Area of Walls:	Front Elevation Area of Windows/ Entry Door (Garage Door Not Included)
A: 194 SF	#1: 11 SF
B: 200 SF	#2: 24 SF
C: 51 SF	#3: 4 SF
D: 104 SF	#4: 60 SF
E: 26 SF	#5: 12 SF
F: 15 SF	#6: 48 SF
G: 170 SF	Total = 159 SF
H: 5 SF	Proposed 159 SF > 153 SF Min. Therefore O.K.
Total = 765 SF x 20% Min. = 153 SF	

3 Proposed North (Front) Elevation Diagram
1/8"=1'-0"



267.50 Square Foot new Uncovered Deck Area

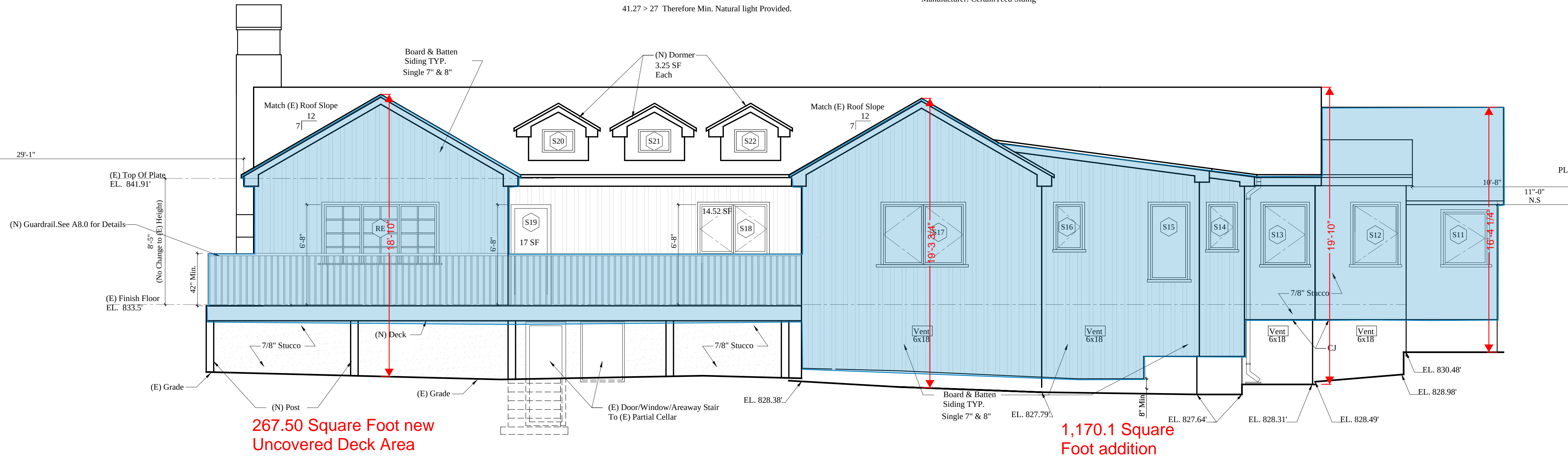
1,170.1 Square Foot addition

2 Proposed West Elevation
1/4"=1'-0"

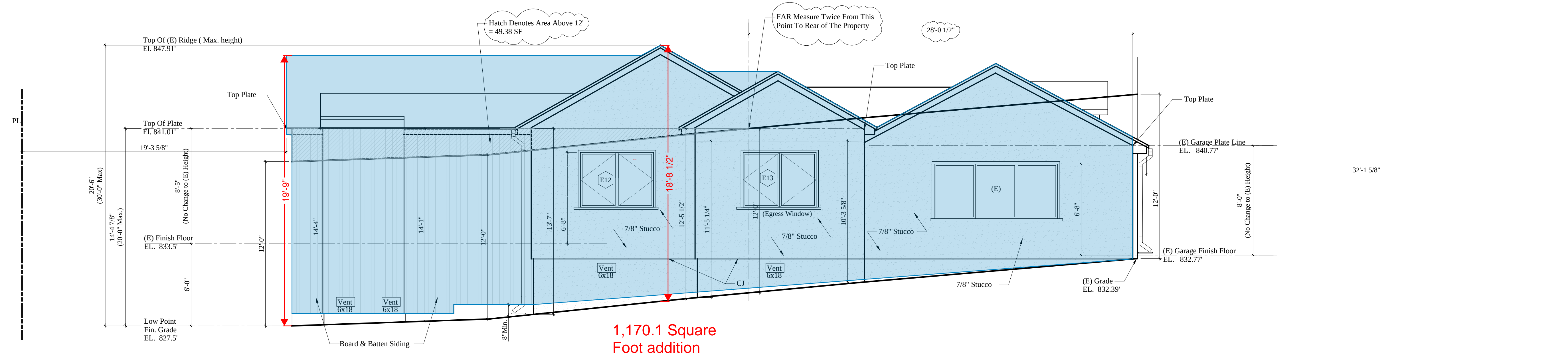
No.	Date	Description
Architect		
Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA, 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com		
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Building Address 719 Wilson Ct, Burbank, CA 91501		
Key Plan 		
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Proposed Elevations		
Drawing No A5.0	Scale 1/4" = 1'-0"	Date 12/13/2023
		Ref No

Kitchen Area = 340 SF
8% of the area = 27 SF
41.27 SF Windows In the kitchen
41.27 > 27 Therefore Min. Natural light Provided.

Board & Batten Siding Single 7" & 8" Thickness
ICC # 1066
Manufacturer: CertainTeed Siding

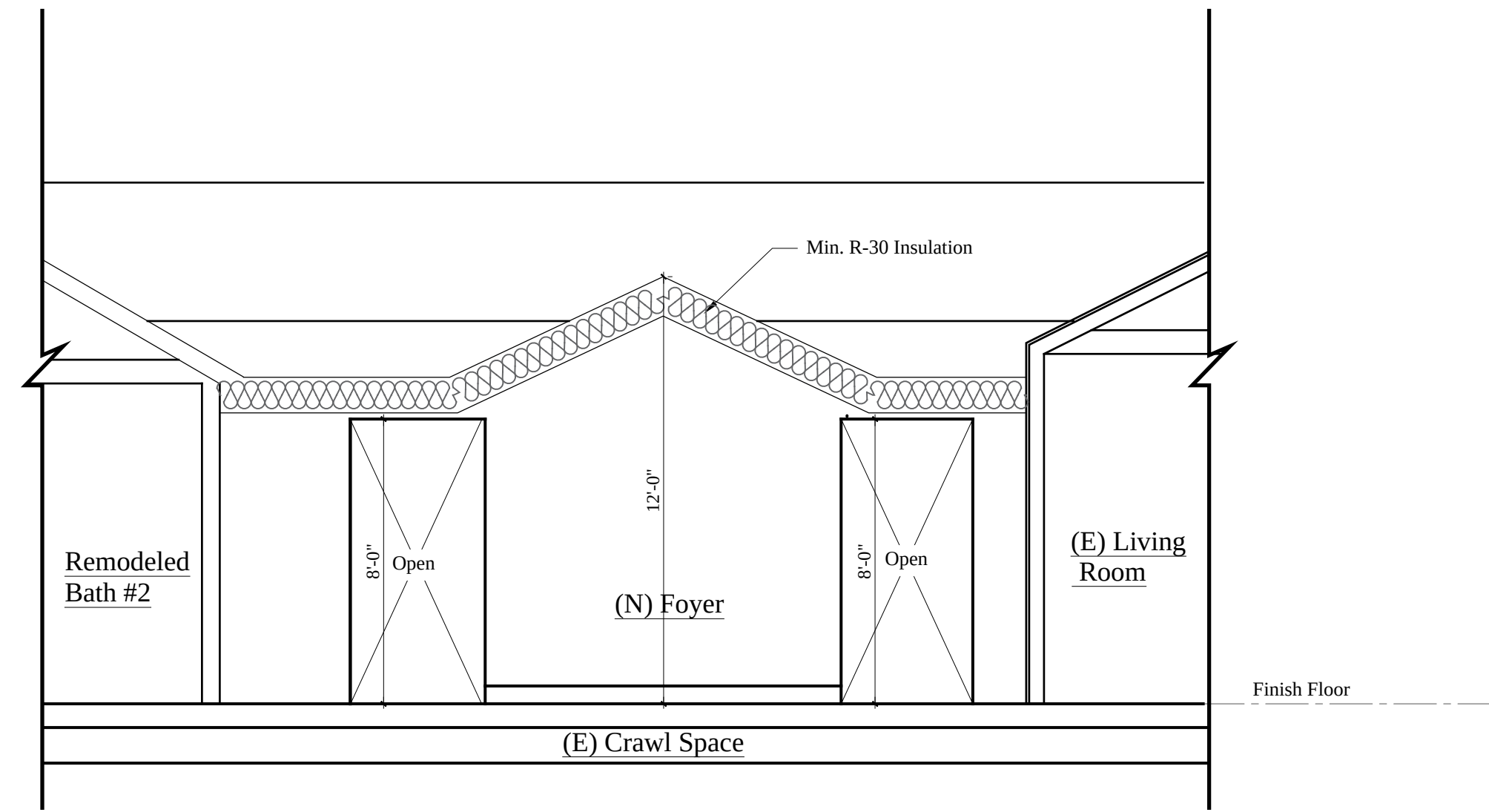


1 Proposed South(Rear) Elevation
1/4"=1'-0"

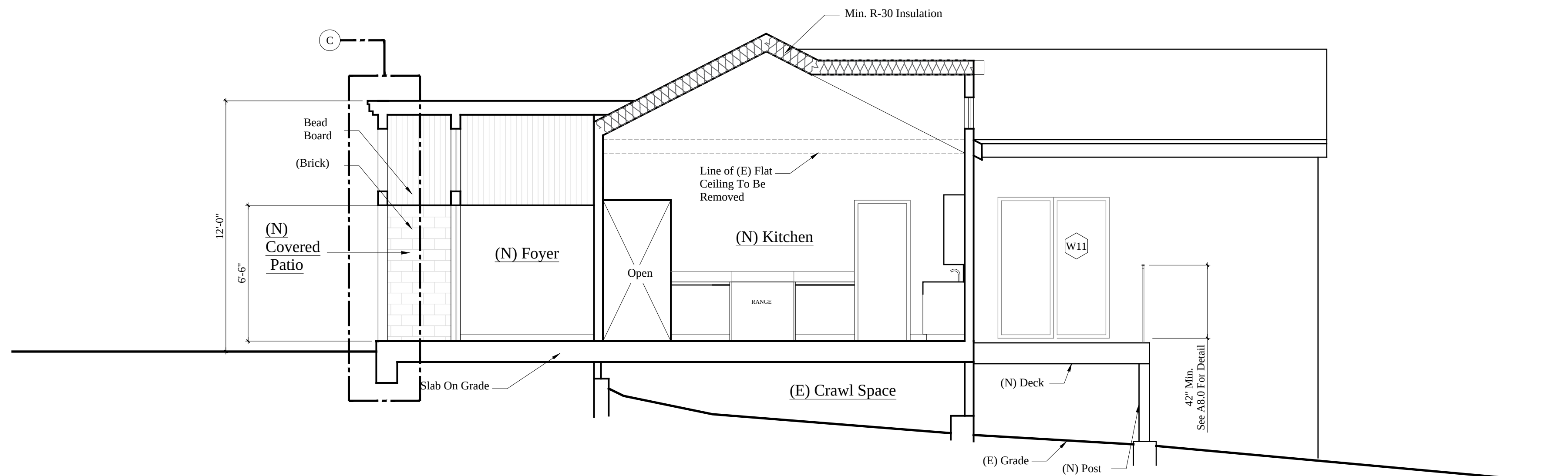


2 Proposed East Elevation
1/4"=1'-0"

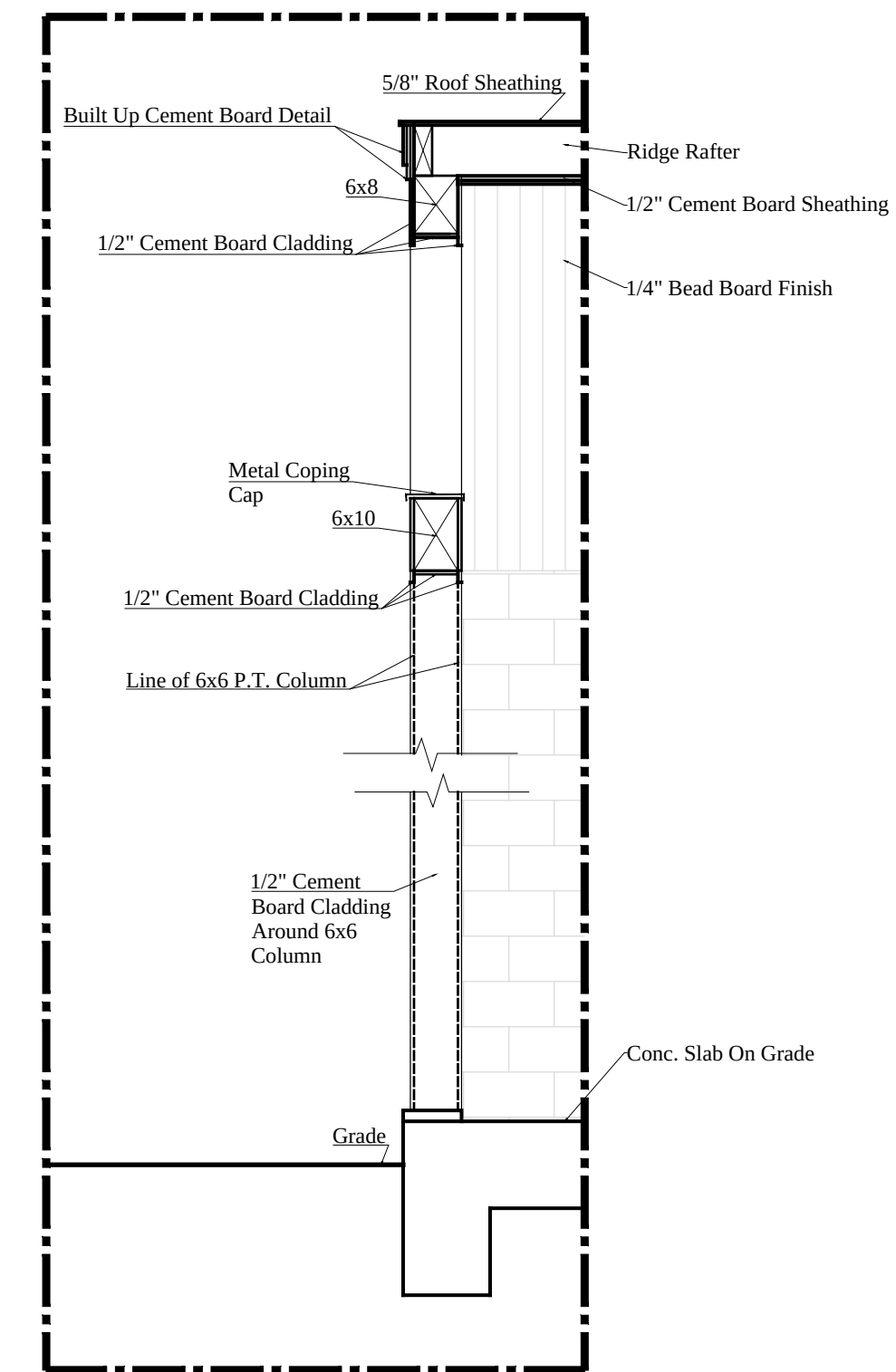
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Architect		
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Property Owner Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900		
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Key Plan 		
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Proposed Elevations		
Drawing No A5.1	Scale 1/4" = 1'-0"	Date 12/13/2023
Ref No		



1 Proposed Section A-A
1/4"=1'-0"



2 Proposed Section B-B
1/4"=1'-0"



3 Detail Section C
1/2"=1'-0"

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Architect

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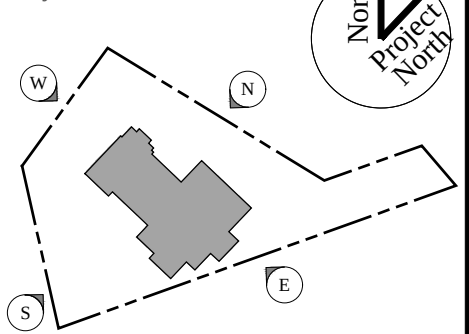
Property Owner

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1351 E Alameda Ave.
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Building Address

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Burbank, CA 91501

Key Plan

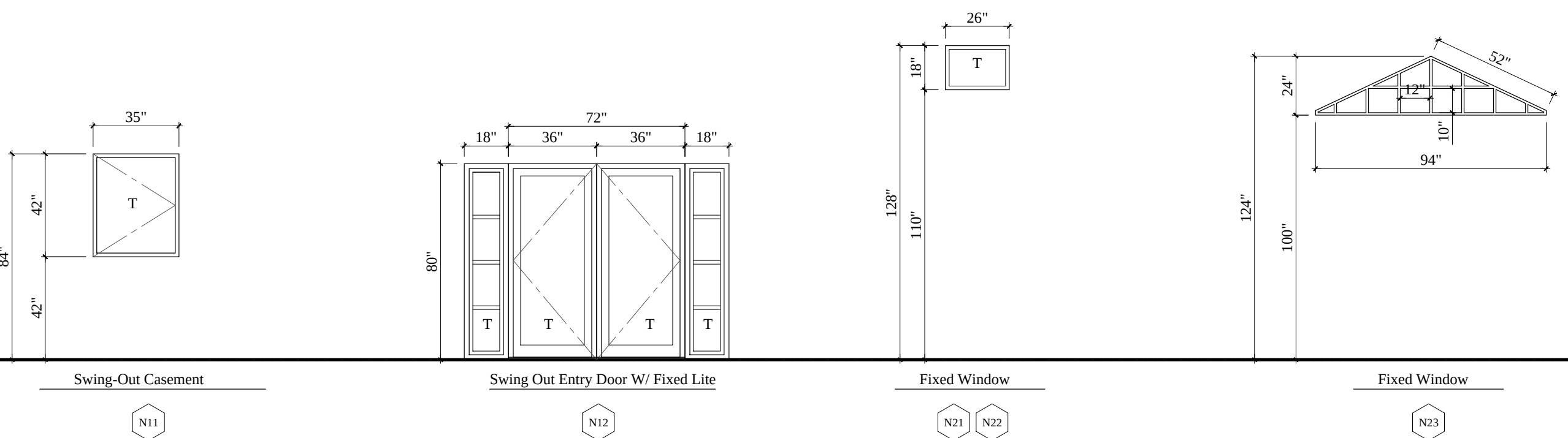


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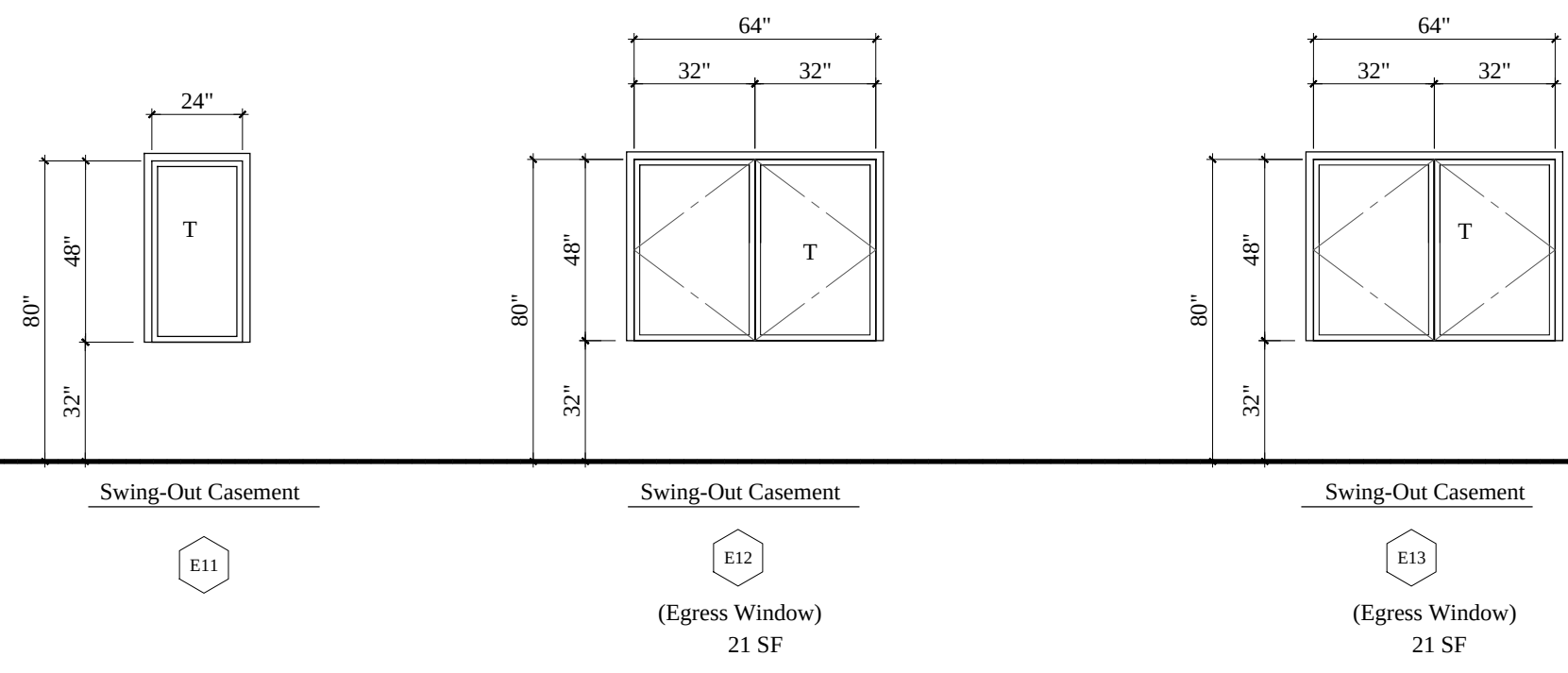
Proposed Sections

Drawing No	Scale	1/4" = 1'-0"
A6.0	Date	12/13/2023
Ref No		

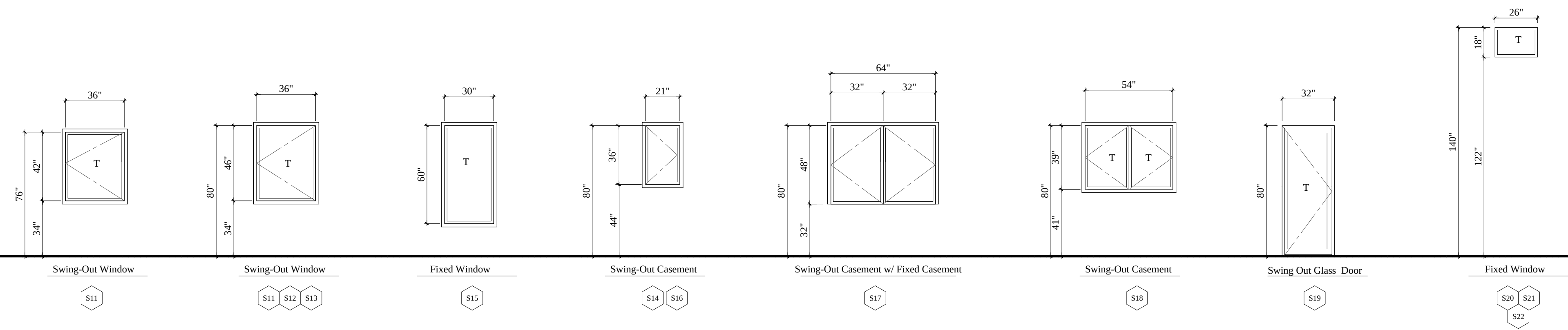
North



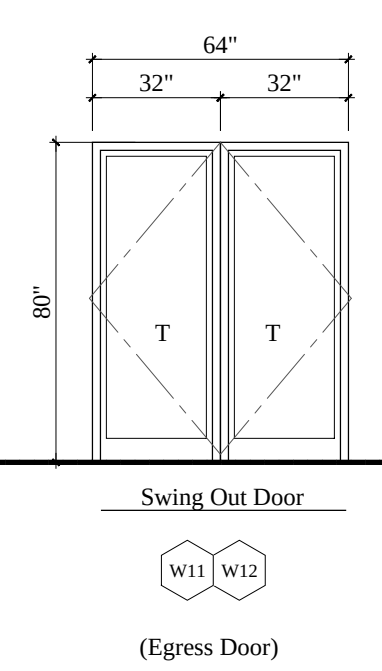
East



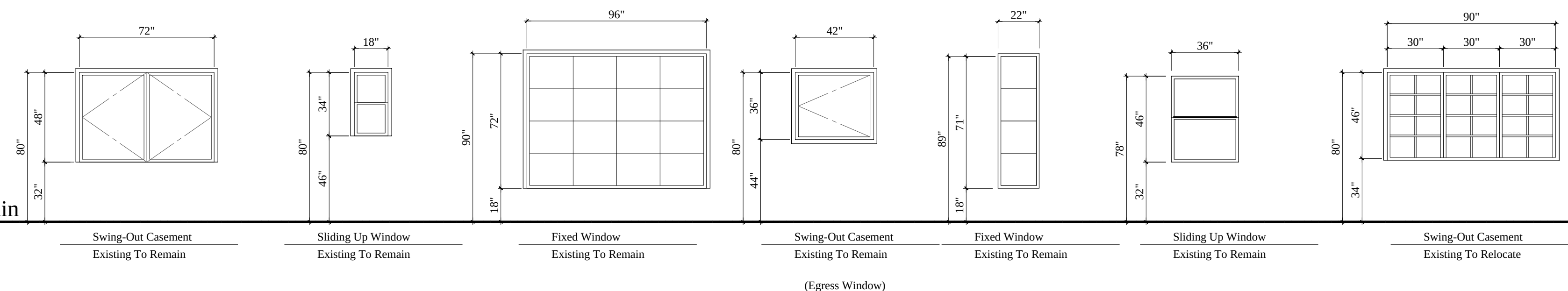
South



West



Existing To Remain



Note:

"T" on elevations indicates tempered glass.
 All dimensions are in inches.
 All dimensions are nominal and exclude frame size. Coordinate actual size and rough openings with manufacturer.
 Verify all dimensions at existing openings and at steel frames.
 Verify all dimensions at roof overhangs.
 Verify all dimensions of existing units for reuse.
 Elevations are shown from exterior side.
 Door Panel thickness to be "substantial": 2-1/4" Verify w/ Owner
 Windows Material = Wood Panel

VHFHSZ Note:

Exterior door assemblies shall meet the following :Minimum 20 minute fire resistance rating when tested according to NFPA 252

U-FACTOR AND SHGC REQUIREMENTS

The maximum U-factor for windows will be 0.30.
 The maximum SHGC in cooler climates will be 0.23.
 The maximum U-factor for doors with less than 25% glazing will be 0.20.

NOTE:

The nfrtc temporary label displayed on windows and skylights (incl. tubular) must remain on the unit until final inspection has been completed.

Egress Windows NOTE:

have a minimum clear opening area of 5.7 SF when above the gradefloor and 5 SF on the grade-floor, a minimum net height of 24", a minimum net width of 20", and a sill height not more than 44" above finish floor.

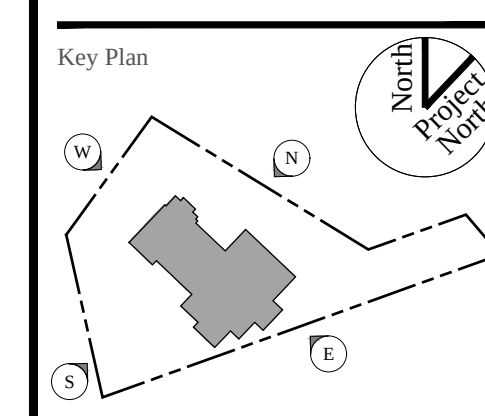
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Architect

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Building Address
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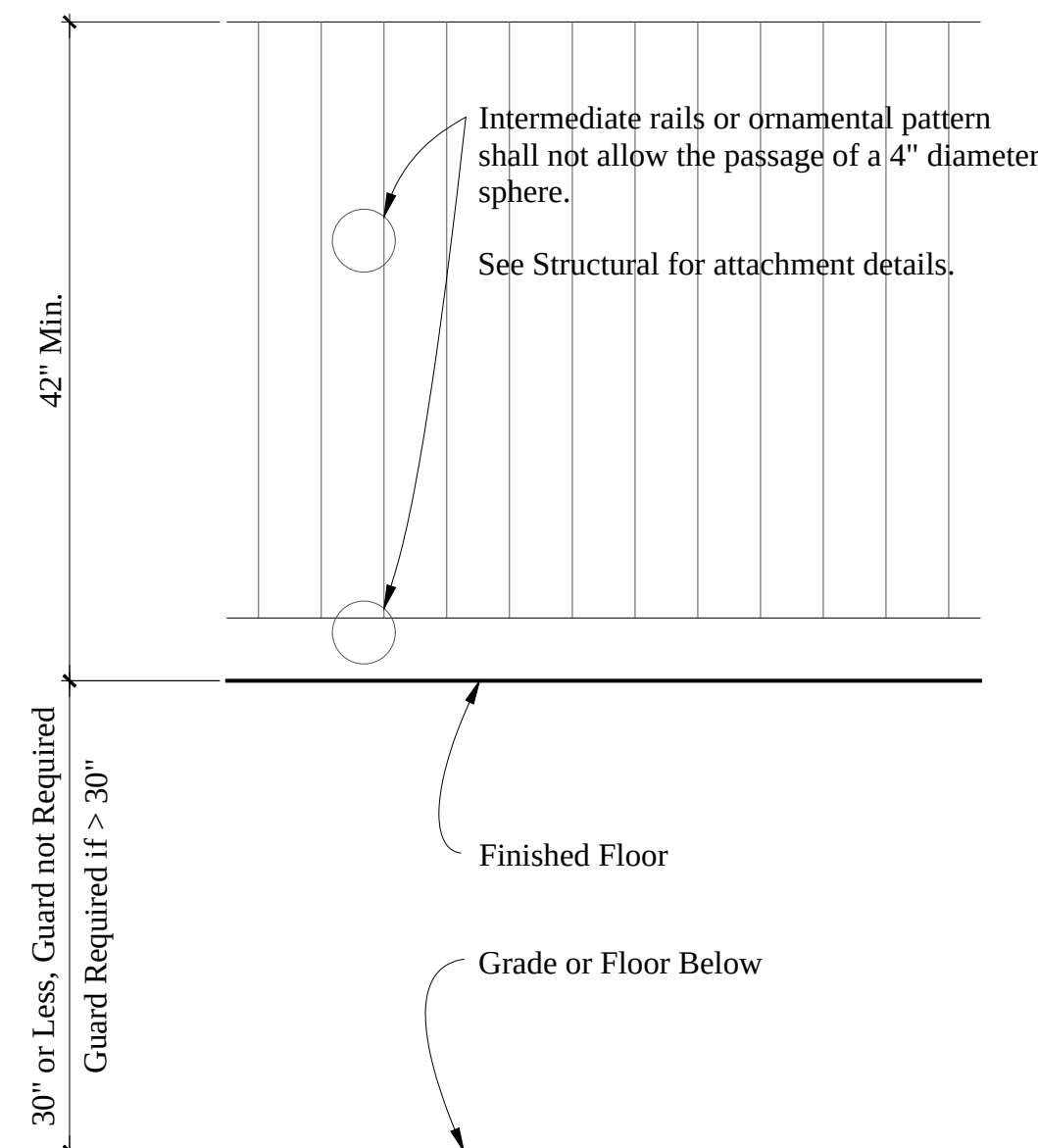


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Door & Windows Schedule

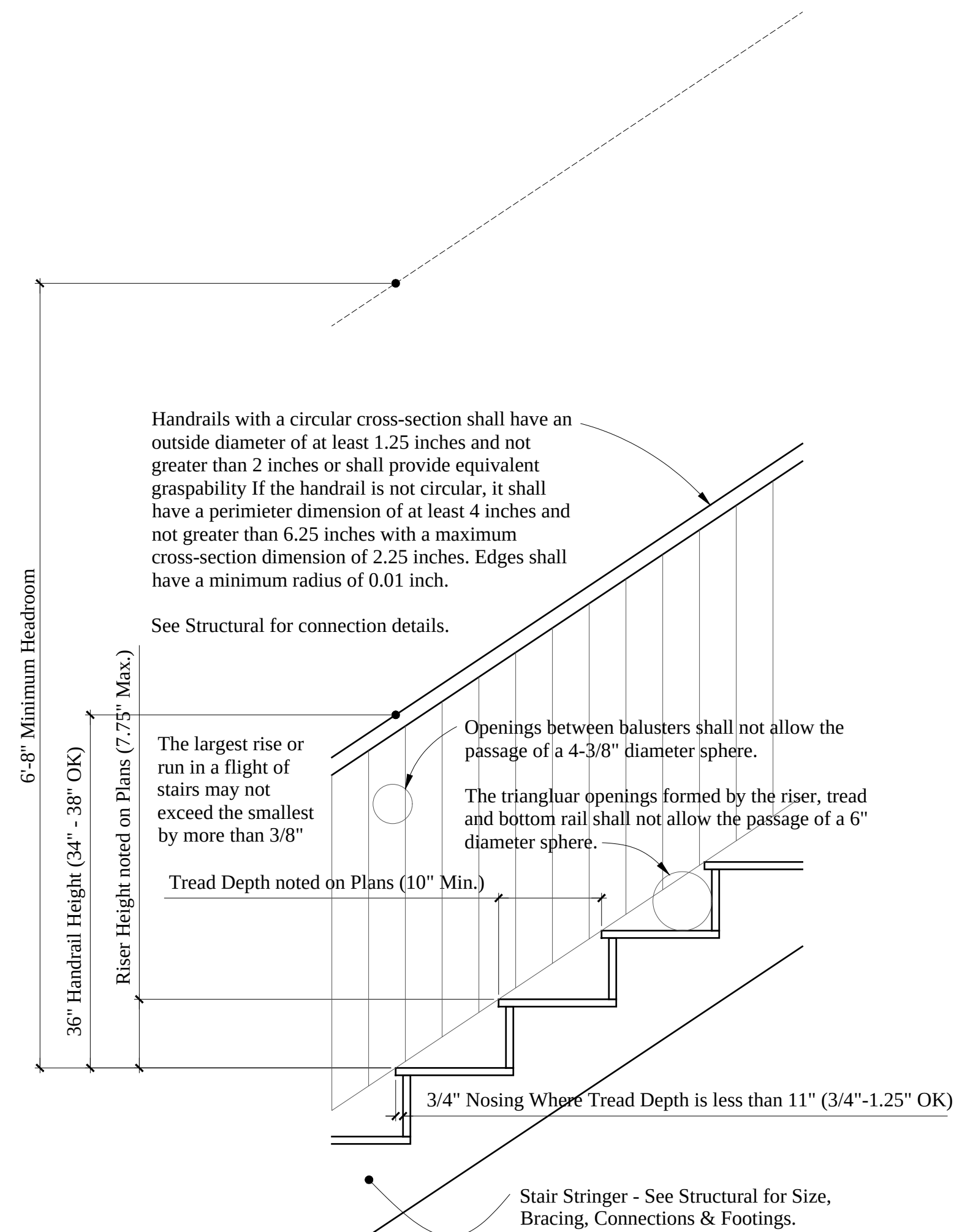
Drawing No	Scale	1/4" = 1'-0"
A7.0	Date	12/13/2023
Ref No		

- a. 7.75" maximum rise & minimum 10" run. R311.7.5
- b. Minimum 6'-8" headroom clearance. R311.7.2
- c. Minimum 36" clear width. R311.7.1
- d. Handrails 34" to 38" high above tread nosing R311.7.8.1
- e. Handgrip portion of handrail shall not be less than 1.25" and no more than 2" cross-sectional dimension having a smooth surface with no sharp corners. R311.7.8.5
- f. Maximum 4" clear spacing opening between rails.



Provide Guards at floor and roof openings, landings, balconies and open sides of stairs, which are more than 30" above grade or the floor below, and as shown on plans. Guards shall not be less than 42" in height. Open Guards shall not have intermediate rails or an ornamental pattern that would allow a sphere 4" in diameter to pass through.

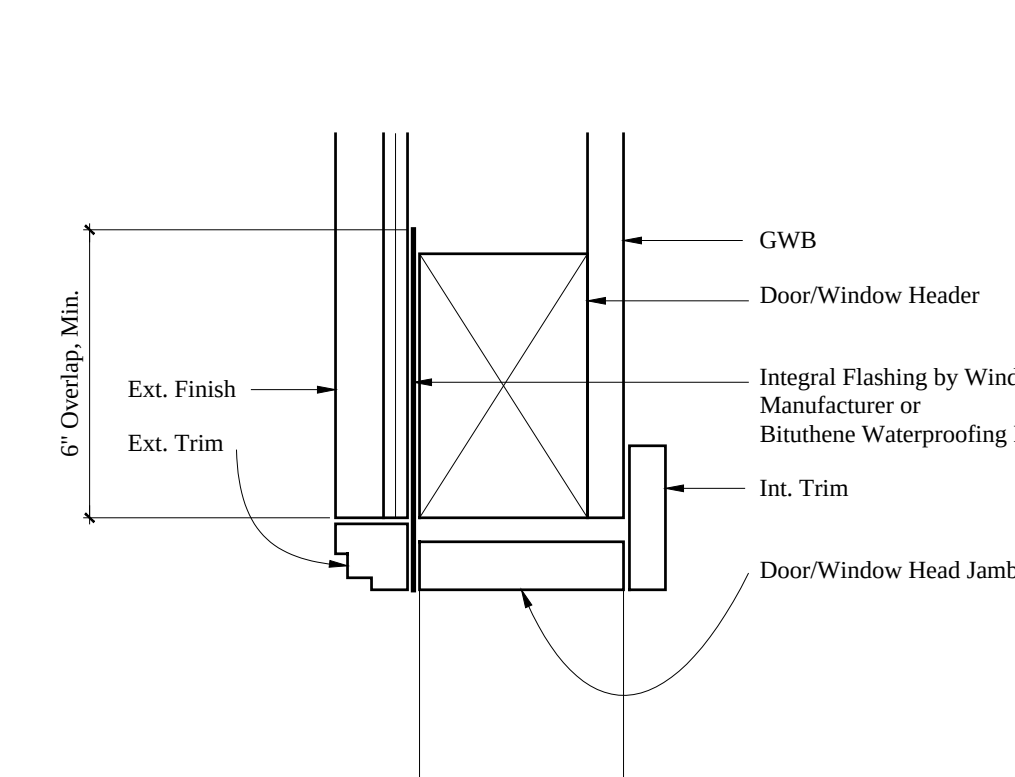
7 Guard Detail
1" = 1'-0" (1:12)



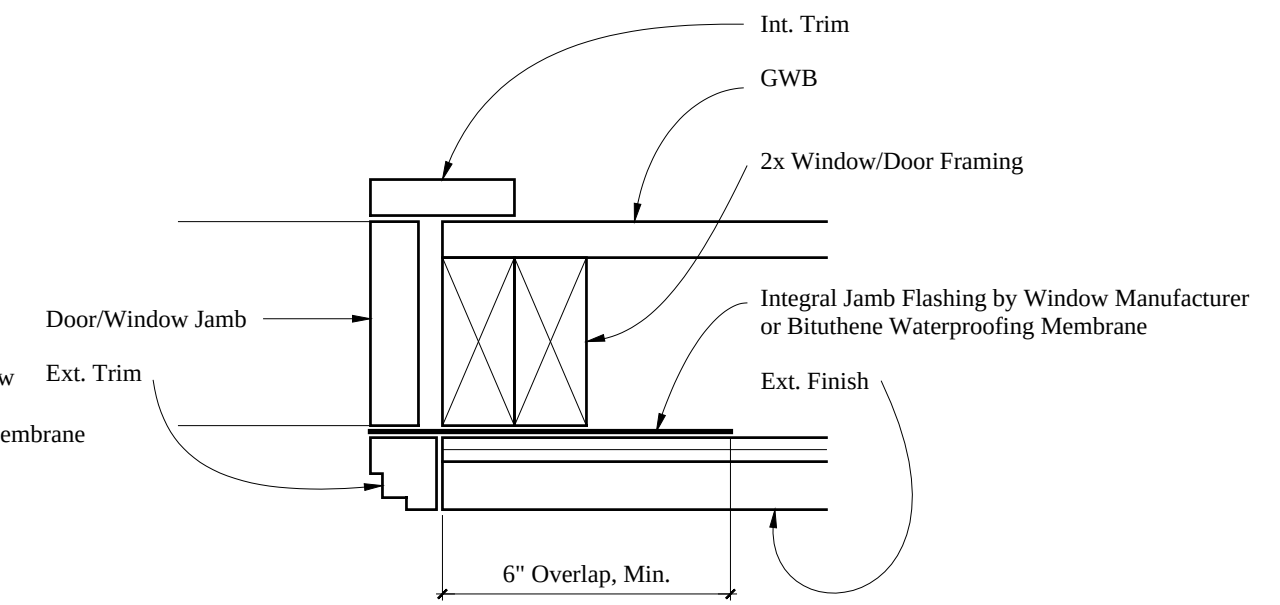
Stairway width is noted on plans and shall be no less than 36" (4'-1/2" Max. handrail projection is permitted on each side.

Stairways shall be positively anchored to primary structure without the use of toenails or nails subject to withdrawal.
All Stairways shall have an illumination level on tread runs of not less than 1 foot-candle (11 lux)

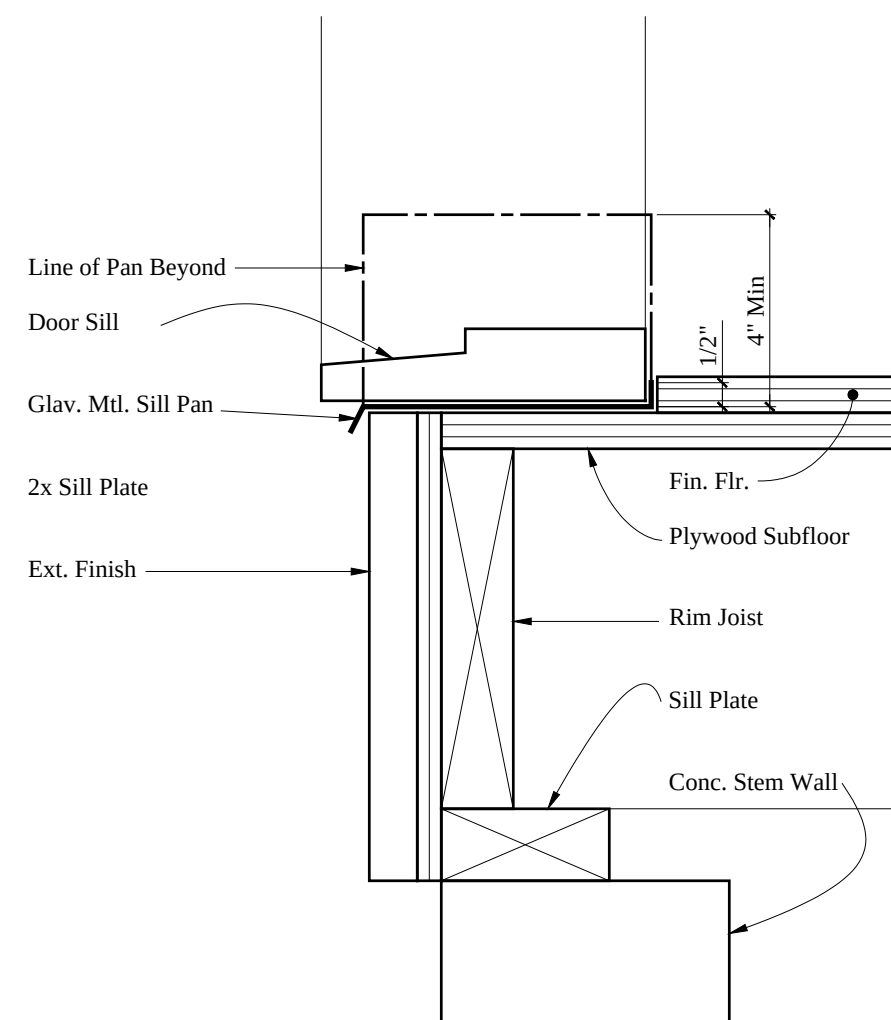
6 Stair Detail
1" = 1'-0" (1:12)



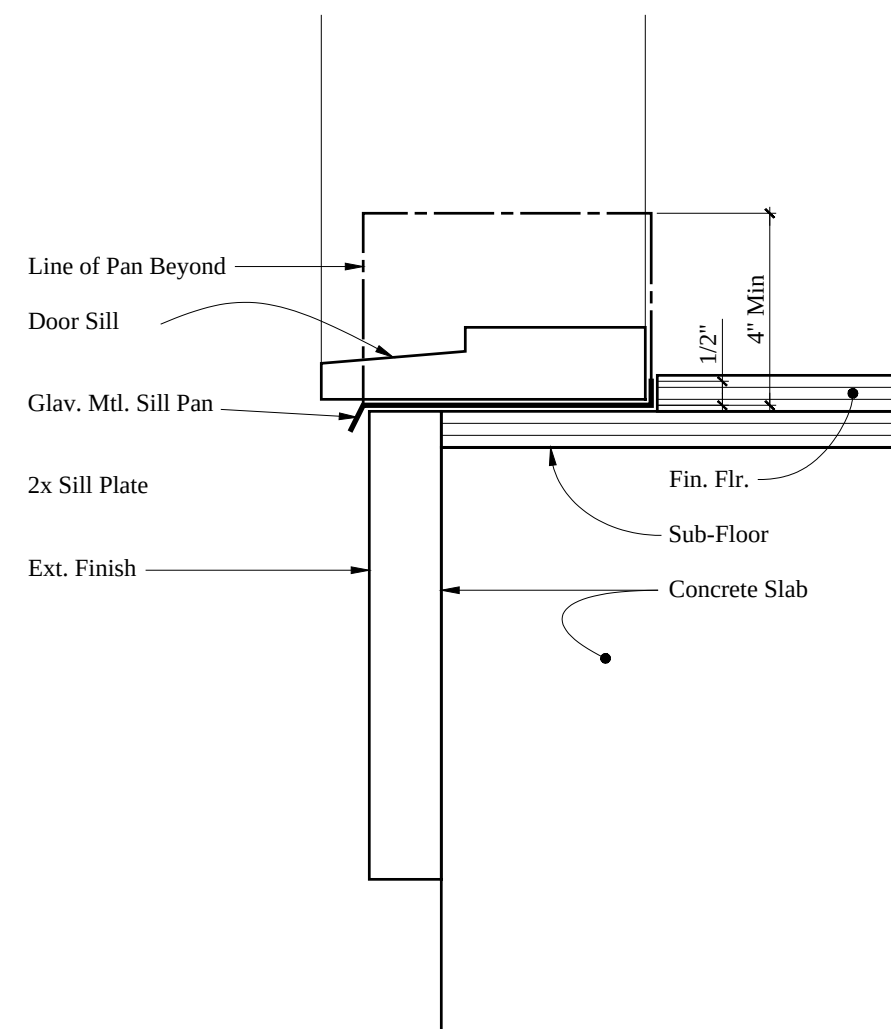
4 Typical Door & Window Head Flashing
3" = 1'-0" (1:4)



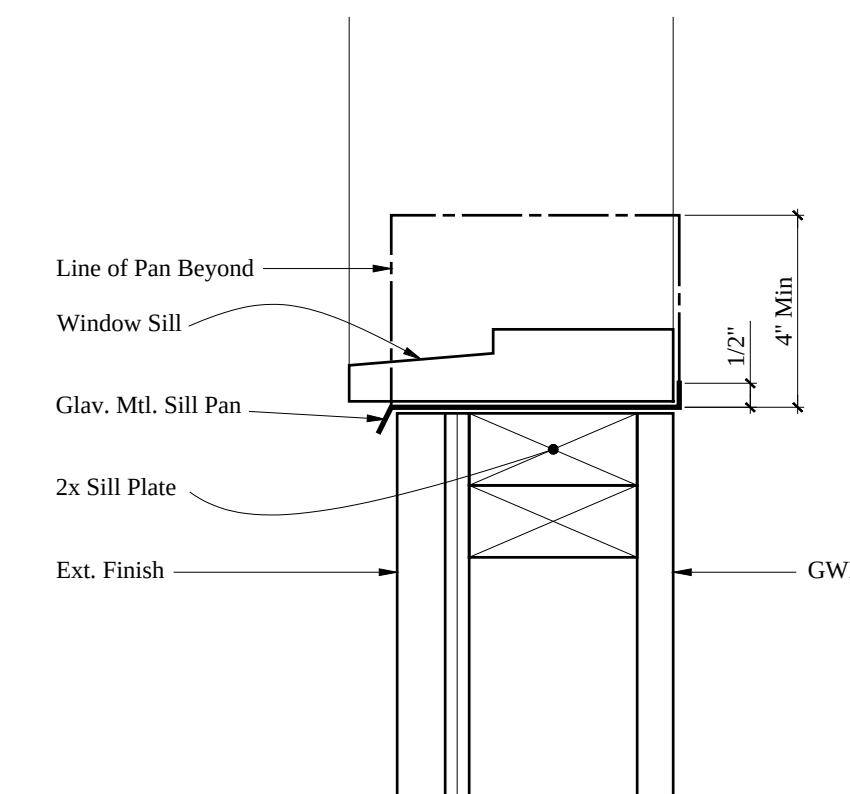
3 Typical Door & Window Jamb Flashing
3" = 1'-0" (1:4)



2B Typical Door Sill Flashing
3" = 1'-0" (1:4)

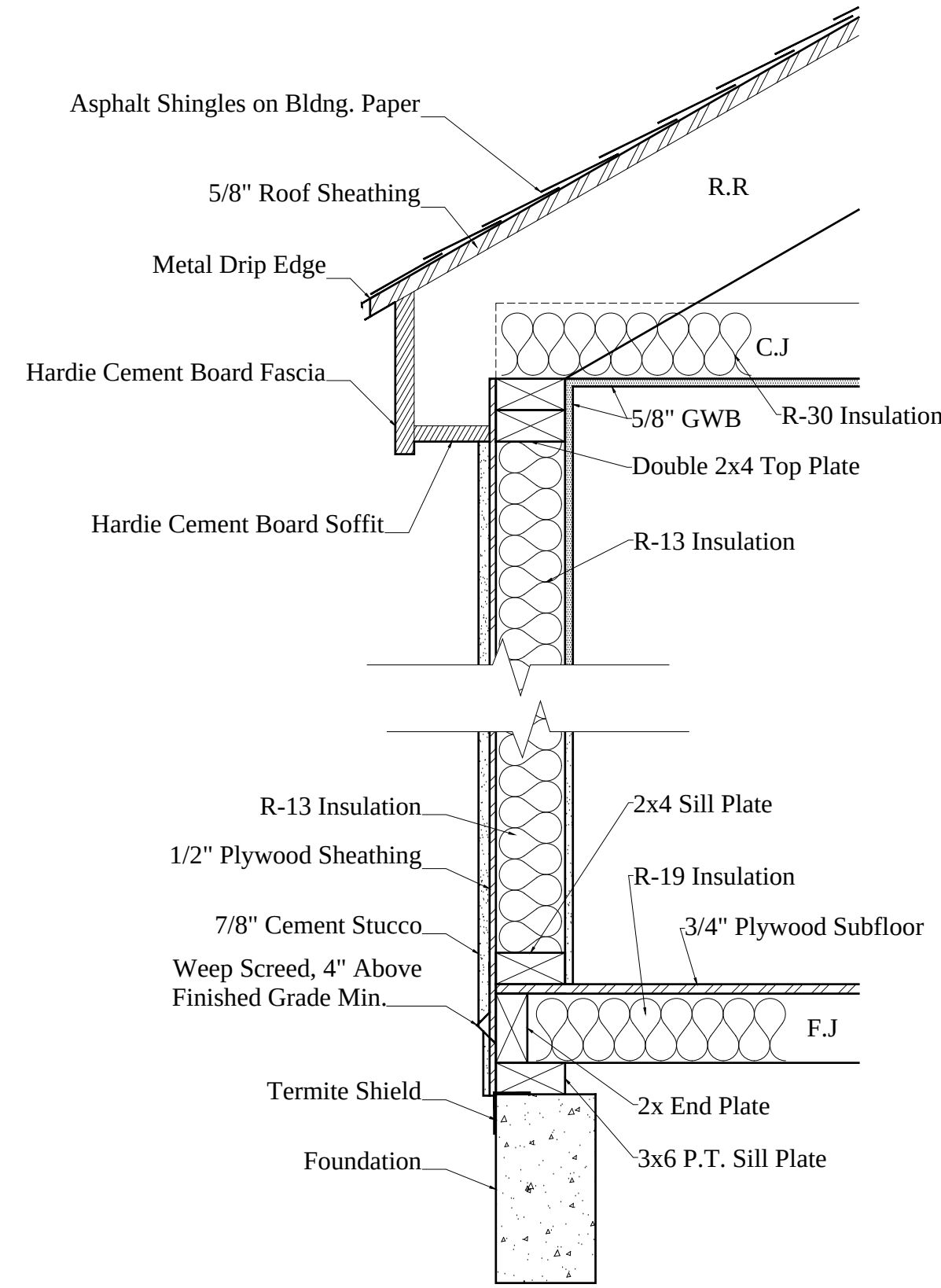


2A Typical Door Sill Flashing
3" = 1'-0" (1:4)

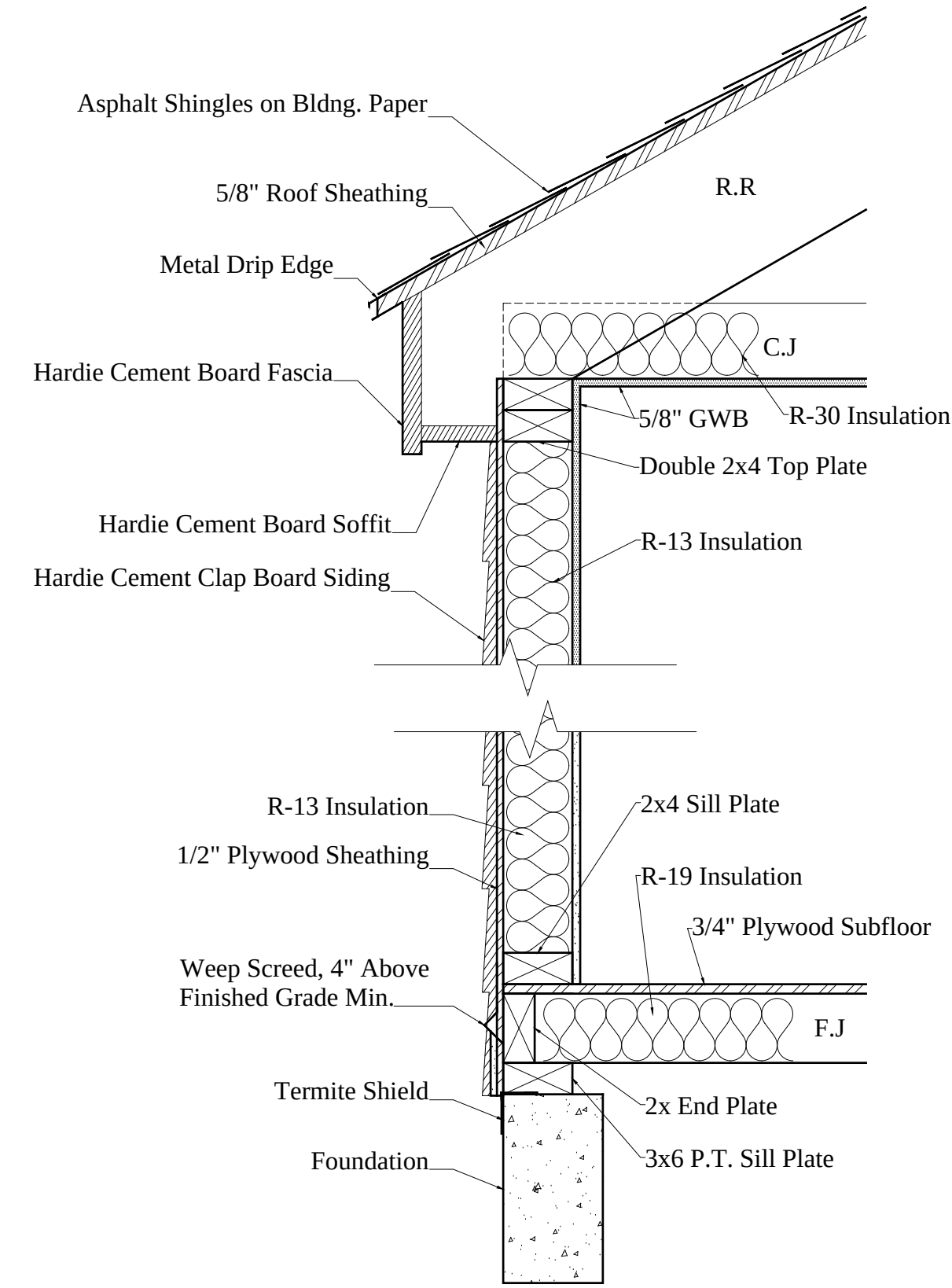


1 Typical Window Sill Flashing
3" = 1'-0" (1:4)

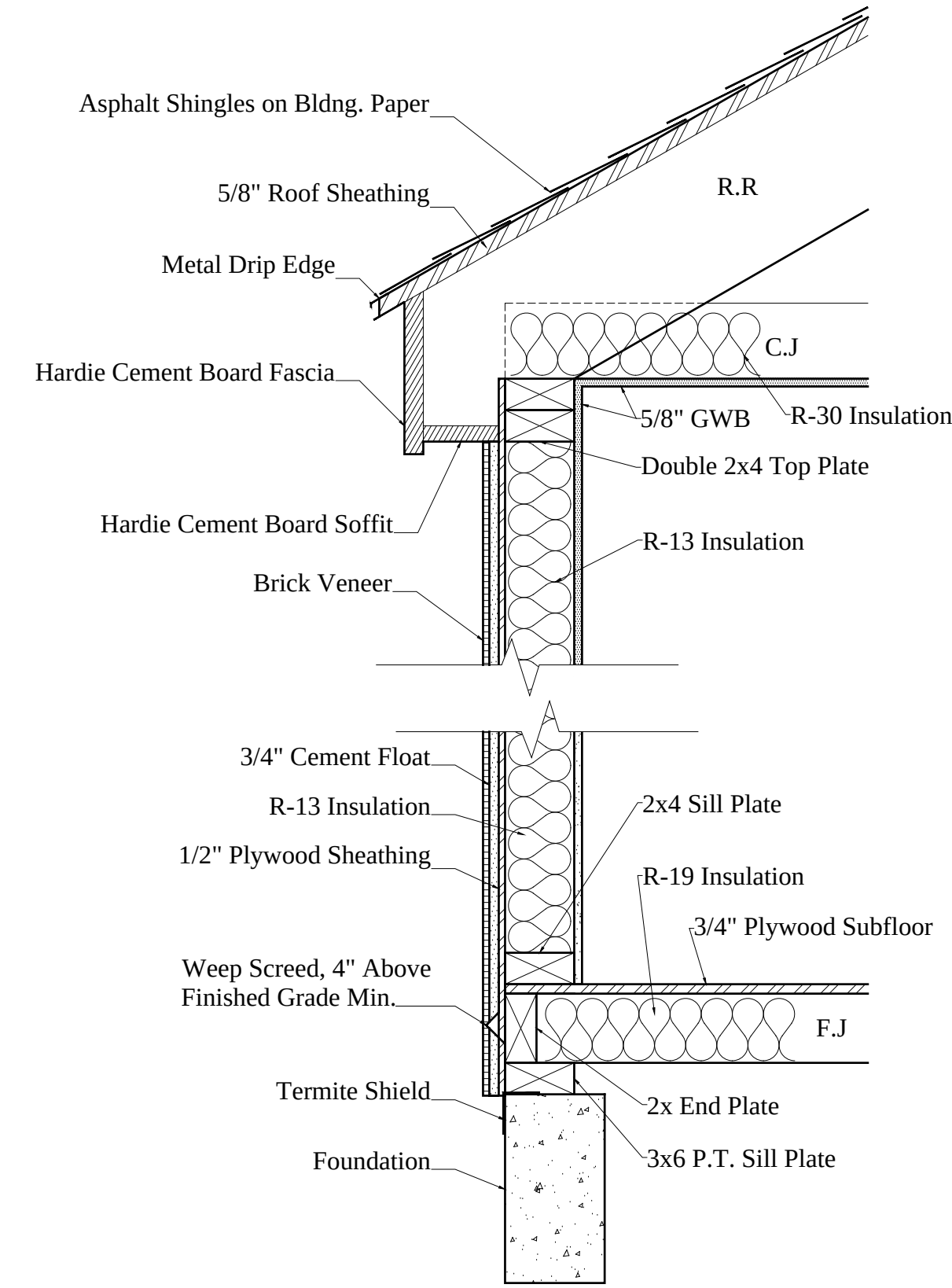
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Architect		
Structural Engineer ARPA Technology Group 635 West Colorado Blvd., #201 Glendale, CA 91204 Phone: (818) 434-1708 Fax: (818) 252-1370 Web: www.arka-i.com		
Property Owner		
Hakob Avagyan 1351 E Alameda Ave. Glendale, CA 91201 818/521-4900		
Building Address		
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Key Plan		
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Details		
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A8.0	Date	12/13/2023
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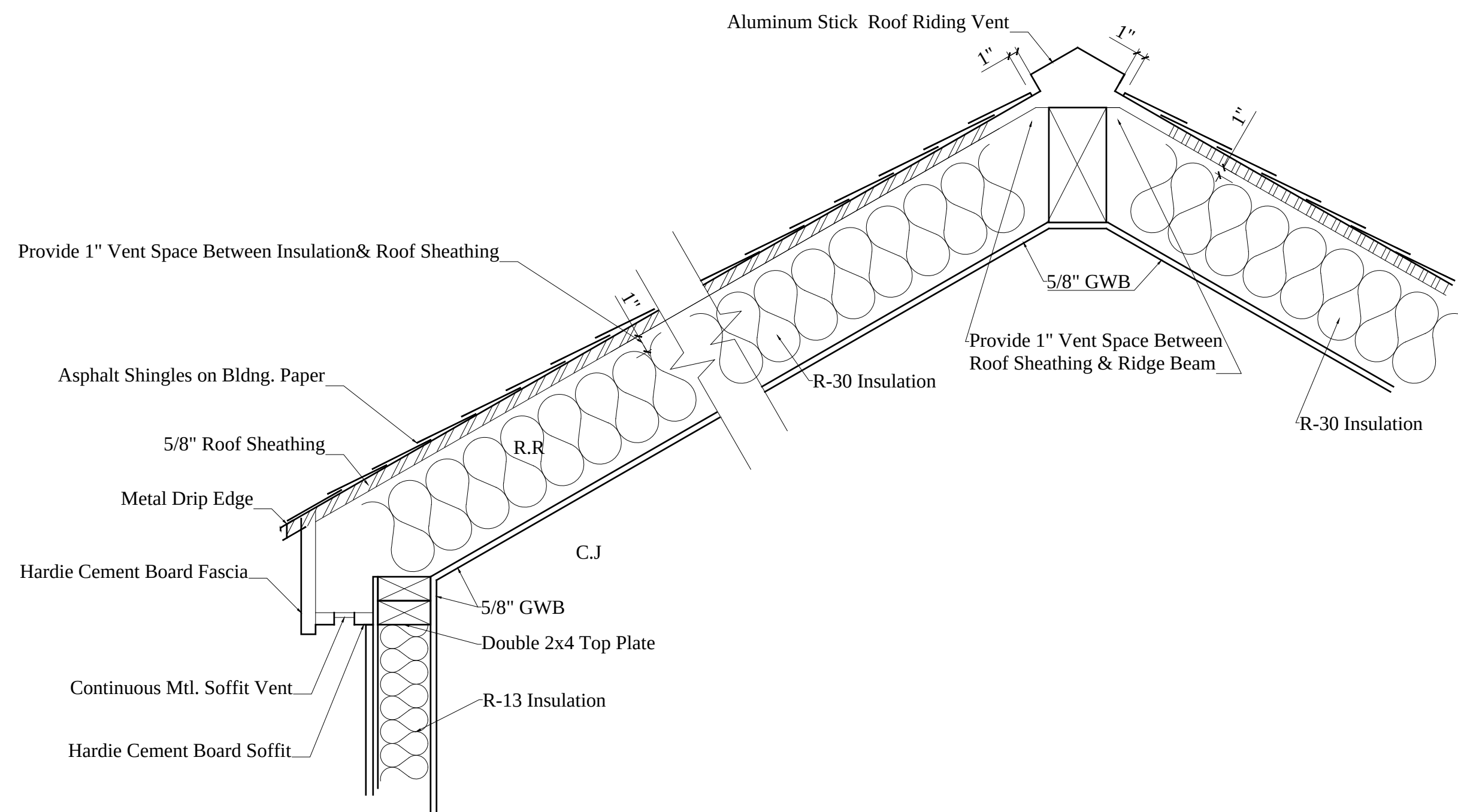
1 Exterior Wall Detail @ Stucco (1-HR F.R.)
1" = 1'-0" (1:12)



2 Exterior Wall Detail @ Clap Board Siding (1-HR F.R.)
1" = 1'-0" (1:12)



3 Exterior Wall Detail @ Brick Veneer (1-HR F.R.)
1" = 1'-0" (1:12)



4 Ventilation Detail @ Vaulted Ceiling
1" = 1'-0" (1:12)

No.	Date	Description

Architect

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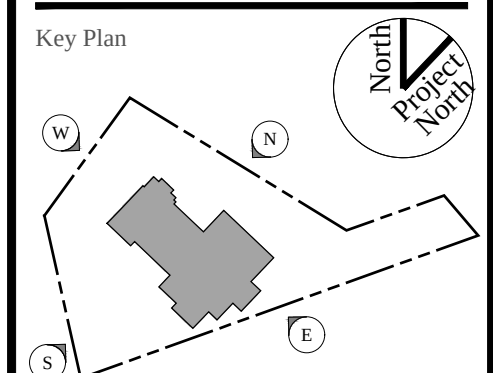
Property Owner

Hakob Avagyan
1351 E Alameda Ave.
Glendale, CA 91201
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Building Address

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Burbank, CA 91501

Key Plan



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Details

Drawing No	Scale	as Noted
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