

- LEGENDS :**
- (E) EXISTING
 - (N) NEW
 - PROPERTY LINE
 - [Hatched] HATCHED AREA SHOW NEW 2ND FLR. HOUSE ADDITION
 - [Dashed] HATCHED AREA SHOW NEW 1ST FLR. HOUSE ADDITION
 - [Hatched] HATCHED AREA SHOW NEW ADDITION TO EXISTING GARAGE

PROVIDENCIA AVE.

1 SITE DEVELOPMENT PLAN

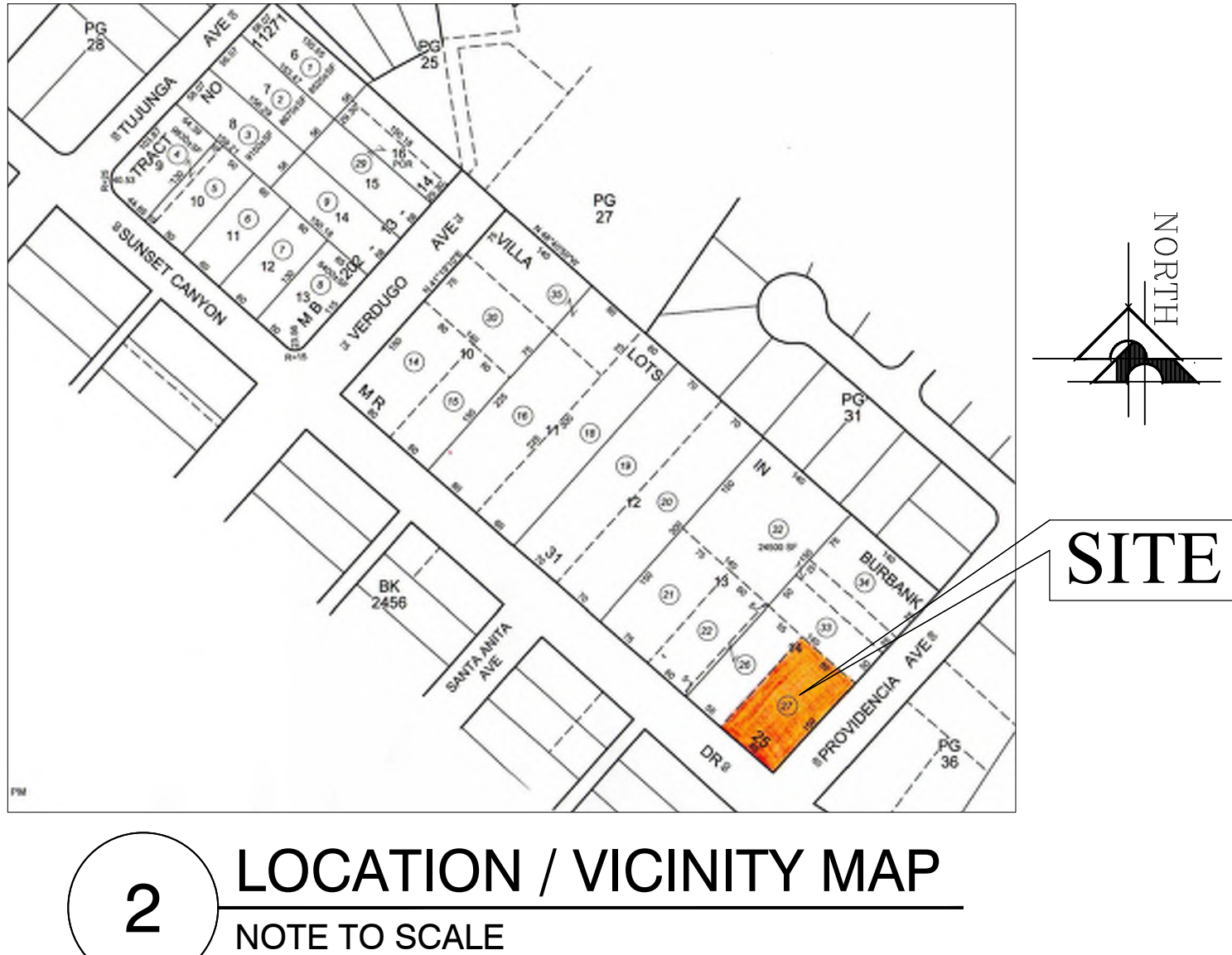
SCALE : 1/8" = 1'-0"

- GENERAL NOTES :**
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
 - ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 NEW EDITION OF THE CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION INCLUDING BURBANK BLDG. & SAFETY CODE.
 - WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
 - "NO MATERIALS" SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
 - NO NEW ROOF TOP EQUIPMENT IS ALLOWED.
 - THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THIS LOT OR WITHIN 20 FEET OF THE LOT. (CRC SECTION R106.1.1)
 - INSTALL 6" SISALKRAFT FLASHING AT EXTERIOR OPENING.
 - ALL DIMENSIONS ARE GIVEN FROM FACE TO FACE OF STUDS U.O.
 - CONTRACTOR TO MAINTAIN CITY STREET AND SIDEWALKS CLEAR OF DIRT AND DEBRIS AT ALL TIMES.
 - PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASED SHEATHING PRIOR TO EXTERIOR LATH APPLICATION.
 - THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCES OR STATE LAW.
 - ALL WALLS TO BE 1-HOUR RATED U.O.
 - ALL WORKS SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THIS PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO INSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
 - THE FOLLOWING LOCATION SHALL BE PROVIDED WITH SAFETY GLAZING (2406.4 VOL. 1, CBC 2016)
 - ALL GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOL, SAUNAS, STEAM ROOM, BATH TUBS & SHOWER EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE OR DRAIN INLET
 - ALL GLAZING WITHIN 24" INCHES OF A DOOR AND WITHIN 60" INCHES OF THE FLOOR.
 - GLASS OVER 9 SQ. FT. IN AREA WITHIN 18" OF THE FLOOR OR 36" INCHES OF GRADE AND GLASS DOOR AND WALL PANELS.
 - ALL WINDOW GLASS ARE TO BE DUAL TYPE UNLESS OTHERWISE STATED

- HERS FEATURE SUMMARY**
- THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED RATER AS A CONDITION FOR MEETING THE MODELLED ENERGY PERFORMANCE FOR THIS COMPLETE ANALYSIS. ADDITIONAL DETAIL IS PROVIDED IN THE BUILDING TABLES BELOW. REGISTERED CF2RS AND CF3RS ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY.
- BUILDING-LEVEL VERIFICATIONS :**
 - NONE
 - COOLING SYSTEM VERIFICATIONS :**
 - NONE
 - HEATING SYSTEM VERIFICATIONS :**
 - NONE
 - HVAC DISTRIBUTION SYSTEM VERIFICATIONS :**
 - NONE
 - DOMESTIC HOT WATER SYSTEM VERIFICATIONS :**
 - NONE
- HERS VERIFICATION REQUIREMENTS :**
- FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION :
 NAME : TEO TOMASIAN LICENSE NO. : N/A
 HERS Tests.com

PW-SEWER NOTES :

1. BEFORE APPROVAL FROM THE PUBLIC WORKS WASTEWATER DIVISION CAN OCCUR BACKWATER VALVE TO BE INSTALLED ON PRIVATE BUILDING SEWER PER BMC 8-1-313 AND REQUIREMENTS OF THE CITY'S CDD-BUILDING DEPARTMENT. IT IS NOTED AND ACKNOWLEDGE THAT CITY STAFF WILL NOT SIGN OFF ON THE FINAL BUILDING PERMIT APPROVAL AND / OR CERTIFICATE OF OCCUPANCY UNTIL THE OWNER DEVELOPER PROVIDES PROOF THAT THE BACKWATER VALVE(S) HAVE BEEN INSTALLED. ANY EXISTING FIXTURES OR CONNECTION TO THE SEWER MAIN LINE MUST BE CAPPED BEFORE BUILDING DEMOLITION ACTIVITIES OCCUR. PER BMC 9-3-407 BEST MANAGEMENT PRACTICES SHALL APPLY TO ALL CONSTRUCTION PROJECTS, AND SHALL BE REQUIRED FROM THE TIME OF LAND CLEARING, DEMOLITION OR COMMENCEMENT OF CONSTRUCTION UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY.



PROJECT DESCRIPTION

PROJECT TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

ADDRESS : 526 S. SUNSET CYN. DR., BURBANK, CA. 91501

OWNER : MARINA ISOUNT
LOT AREA : 12,750 SQ. FT. (MAX. FLR. AREA = 7,500 X 0.4) + (5,250 X 0.3) = 4,575 SQ. FT.

BUILDING CODE : COMPLY W/ 2019 CBC, CRC, CPC, CMC, CEC, CFC, CFS, CGB, AND 2020 GBCS (GLENDALE BUILDING STANDARD CODE)

PROJECT DATE : YEAR 2020
ZONING : R-1 (HILLSIDE) ZONE

TOTAL AREA OF EACH OCCUP. CL./BLDG. STRUCTURE :
PROPOSED :
 PROPOSED TOTAL FIRST FLOOR HOUSE : 2,236.38 SQ. FT.
 PROPOSED TOTAL SECOND FLOOR HOUSE : 1,249.5 SQ. FT.
 PROPOSED COVERED ENTRY PORCH : 108.21 SQ. FT.
 PROP. COVERED PATIO (AFTER ADDITION) : 70.74 SQ. FT.
 PROPOSED 3 CAR GARAGE : 630 SQ. FT. (500 S.F. EXEMPT)

TOTAL PROPOSED FLR. AREA : 3,794.83 SQ. FT. < 4,575 S.F. (MAX.)
PROP. SECOND FLR. BALCONY : 329 SQ. FT.

EXISTING (DEMOLISH) :

EXISTING FIRST FLOOR : 2,101.28 SQ. FT.
 EXISTING SECOND FLOOR : 614.55 SQ. FT.
TOTAL EXISTING FIRST & SECOND FLOOR AREA : 2,715.83 SQ. FT.

EXIST'G. COVERED ENTRY PORCH : 108.21 SQ. FT.
 EXIST'G. REAR COVERED PATIO : 205.98 SQ. FT.
 EXIST'G. 2 CAR GARAGE : 473 SQ. FT. (500 S.F. EXEMPT)

TOTAL EXIST'G. FLR. AREA (DEMOLISH / REMOVE) : 3,030.02 SQ. FT. < 4,575 S.F. (MAX.)

PROPOSED FLR. AREA RATIO : 3,794.83 SQ. FT. / 12,750 SQ. FT. = 29.76 %
EXIST'G. FLR. AREA RATIO : 3,030.02 SQ. FT. / 12,750 SQ. FT. = 23.76 %
PROPOSED LOT COVERAGE : 2,045.5 SQ. FT. / 12,750 SQ. FT. = 23.89 %
EXIST'G. LOT COVERAGE : 2,888.5 SQ. FT. / 12,750 SQ. FT. = 22.65 %

PROPOSED NOS. OF STORY : 2- STORY HOUSE SINGLE FAMILY HOUSE
TYPE OF CONSTRUCTION : TYPE V B
PROPOSED BLDG. HEIGHT : PROPOSED HOUSE = 25'-0.25"
 EXISTING GARAGE = 13'-0" (RETAINED)
REQUIRED : NO SPRINKLER (EXISTING HOUSE NO SPRINKLER) NOT REQUIRED
 FULLY SPRINKLER REQUIRED FOR GARAGE

ARCHITECTURAL STYLE : PROPOSED : CONTEMPORARY SPANISH (RETAINED)
 EXISTING : CONTEMPORARY SPANISH

LEGAL DESCRIPTION

ASSESSORS PARCEL NO. : 5608 -030-027
 VILLA LOTS IN BURBANK SE 85 FT OF SW 150 FT OF LOT 14

CONSULTANT

BLDG. DESIGNER : V J & ASSOCIATES
 ADDRESS : 1224 E. BROADWAY, SUITE 202, GLENDALE, CA. 91205
 TEL. : 818 - 956 - 0570 FAX : 818 - 956 - 0571

STRUCT'L. ENGR' : EFREN S. TORRES
 ADDRESS : 1224 E. BROADWAY, SUITE 202, GLENDALE, CA. 91205
 TEL. : 818 - 956 - 0570 FAX : 818 - 956 - 0571

SHEET INDEX

DRWG. NO.	DRAWING TITLE	STRUCTURAL
A-1	SITE DEVT. PLAN, PROJECT DESCRIPTION, LEGAL DESC., CONSULTANT, SHEET INDEX	
A-1-1	SCOPE OF WORKS, NOTES, VICINITY MAP & LOCATION PLAN	
A-1-2	(EXISTING) FIRST FLOOR PLAN / SITE PLAN, LEGENDS & NOTES	
A-1-3	(EXISTING) SECOND FLOOR PLAN / SITE PLAN, BASEMENT / CRAWL SPACE PLAN, LEGENDS & NOTES	
A-1-4	(EXISTING) BUILDING ELEVATIONS, LEGENDS & NOTES	
A-1-5	PROJECT SIGN & VHSZ NOTES	
A-2	(PROPOSED 2-STORY HOUSE / GARAGE) PROPOSED FIRST FLOOR PLAN / SITE PLAN, LEGENDS & NOTES	
A-3	(PROPOSED 2-STORY HOUSE / GARAGE) PROPOSED SECOND FLOOR PLAN, LEGENDS & NOTES	
A-3-1	(PROPOSED 3 CAR GARAGE) PROPOSED ROOF PLAN, ELEVATION SECTION, LEGENDS & NOTES	
A-4	(PROPOSED 2-STORY HOUSE) PROPOSED ROOF PLAN, LEGENDS & NOTES	
A-5	PROPOSED BUILDING ELEVATIONS, LEGENDS & NOTES	
A-6	PROPOSED BUILDING ELEVATIONS, LEGENDA & NOTES	
A-7	SCHEDULE OF DOORS & WINDOW, FINISHES & NOTES	S-1 STRUCTURAL
A-8	WINDOW DETAILS	S-2.1 STRUCTURAL DETAILS
A-9	BUILDING SECTIONS, AVERAGE SETBACK CALCUS.	S-2.2 STRUCTURAL DETAILS
A-10	ARCHITECTURAL DETAILS	S-2.3 STRUCTURAL DETAILS
D-1	DEMOLITION PLAN HOUSE FIRST FLR. & GARAGE	S-2.4 STRUCTURAL DETAILS
D-2	DEMOLITION PLAN HOUSE SECOND FLR. & BASEMENT	S-2.5 STRUCTURAL DETAILS
D-3	DEMOLITION ELEVATIONS (HOUSE & GARAGE)	S-2.6 STRUCTURAL DETAILS
D-4	DEMOLITION ELEVATIONS (HOUSE & GARAGE)	S-2.7 STRUCTURAL DETAILS
1	TOPOGRAPHIC SURVEY MAP	S-3 FOUNDATION PLAN
		S-4 SECOND FLR. & LOW ROOF

CITY OF BURBANK | COMMUNITY DEVELOPMENT | PLANNING DIVISION

APPROVED

by: Joseph Pangilinan, Associate Planner

Project No. 23-0005188 Date: February 15, 2024

Revisions

Revisions	By

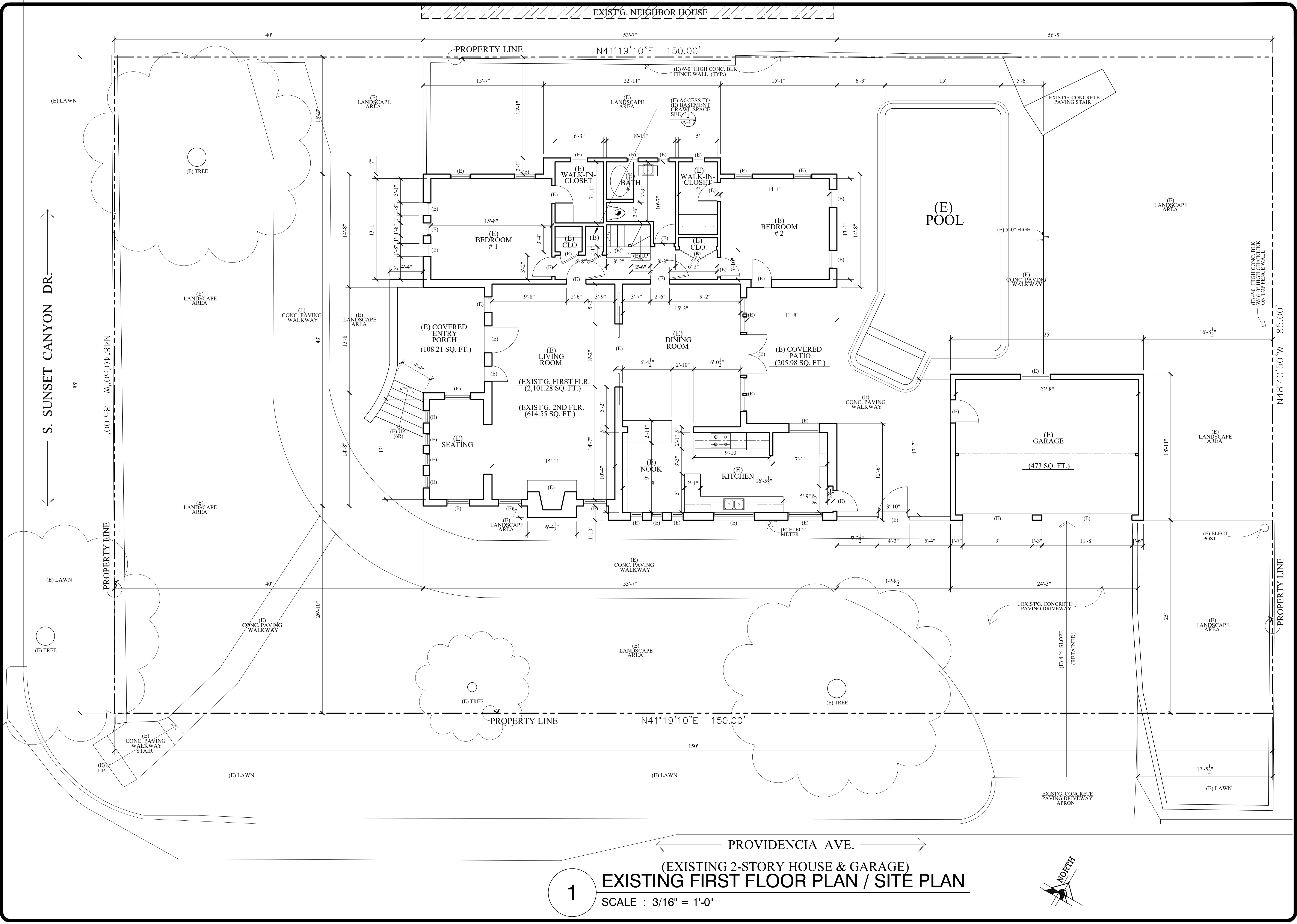
V J & ASSOCIATES
 building design • planning • interior

1224 E. BROADWAY, SUITE 105,
 Glendale, CA 91205
 (818) 956-0570

PROJECT TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADD : 526 S. SUNSET CYN. DR., BURBANK, CA. 91501
OWNER : MARINA ISOUNT
 526 S. SUNSET CYN. DR., BURBANK, CA. 91501
DRWG. TITLE : INDEX, VICINITY MAP, SCOPE OF WORKS, GEN. NOTES & DETAILS

Drawn by: NEIL A.
 Checked by: V.J.
 Date: SEPT. 29, 2023
 Scale: 1/8" = 1'-0"
 Job No.:
 Sheet No.: **A-1**



EXIST'G. NEIGHBOR HOUSE

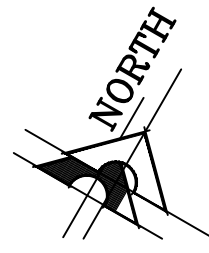
PROPERTY LINE N41°19'10"E 150.00'

PROPERTY LINE N41°19'10"E 150.00'

PROVIDENCIA AVE.

EXISTING FIRST FLOOR PLAN / SITE PLAN

SCALE : 3/16" = 1'-0"



Revisions	By

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PROJ. ADDR. : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : (EXISTING) HOUSE & GARAGE) EXIST'G. / AS BUILT FIRST FLR. PLAN / SITE PLAN, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

Date
SEPT. 10, 2023

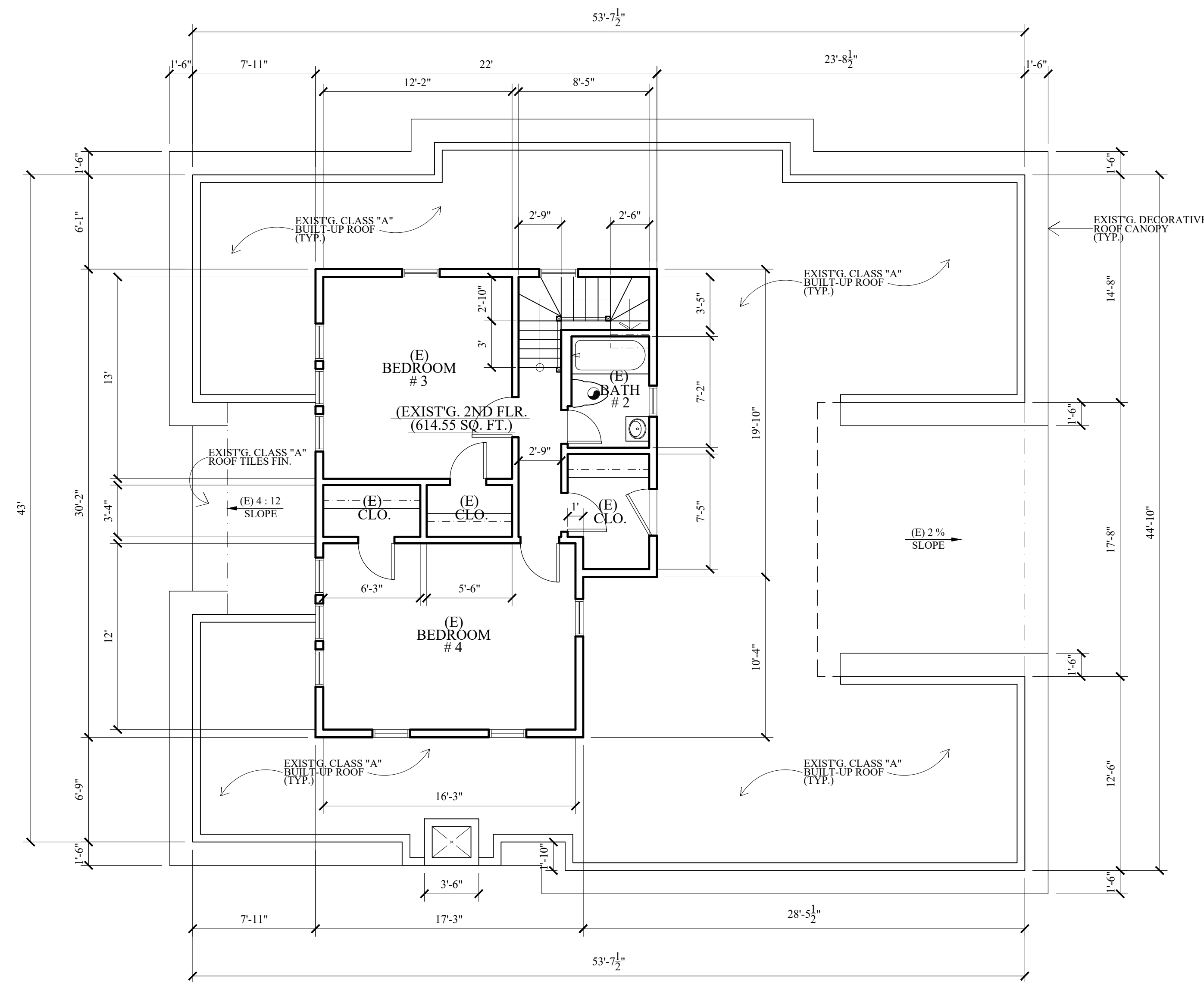
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Job No.

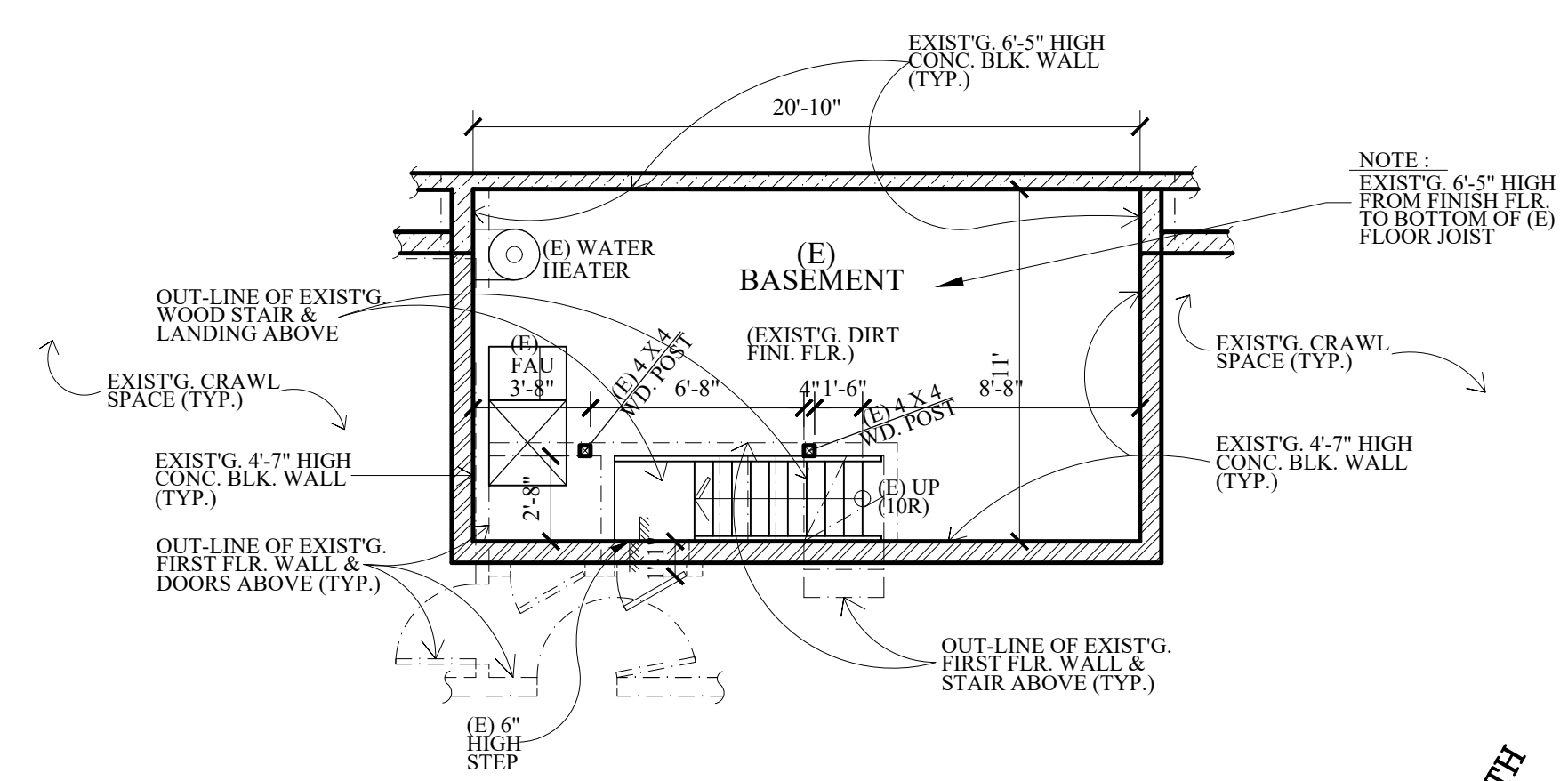
Sheet No.
A-1.1

of

Sheets



(EXISTING 2-STORY HOUSE)
1 EXISTING SECOND FLOOR PLAN
 SCALE : 3/16" = 1'-0"



(EXISTING 2-STORY HOUSE)
2 EXIST'G. BASEMENT CRAWL SPACE PLAN
 SCALE : 3/16" = 1'-0"

NOTES :

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LEGENDS :

(E) EXISTING

Revisions	By

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PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : EXIST'G. / AS-BUILT SECOND FLOOR PLAN, EXIST'G. BASEMENT
 PEAN LEIBSON & NOTES

Drawn by
 NEIL A.

Checked by
 V. J.

Date
 SEPT. 10, 2023

Scale
 3/16" = 1'-0"

Job No.

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A-1.2

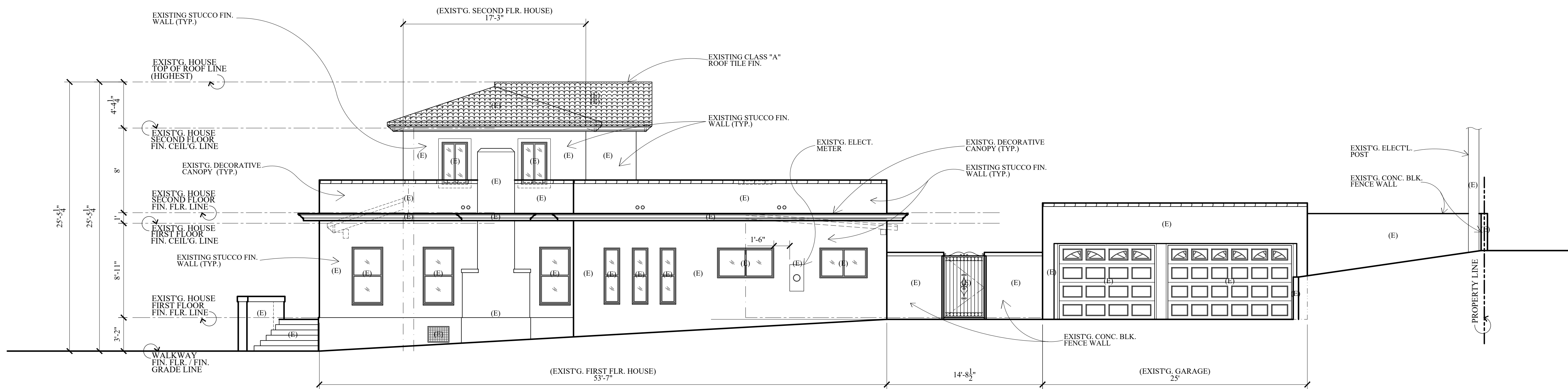
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LEGENDS :
 (E) EXISTING



1 EXISTING FRONT / WEST ELEVATION
 SCALE : 3/16" = 1'-0"



2 EXISTING RIGHT SIDE / SOUTH ELEVATION
 SCALE : 3/16" = 1'-0"

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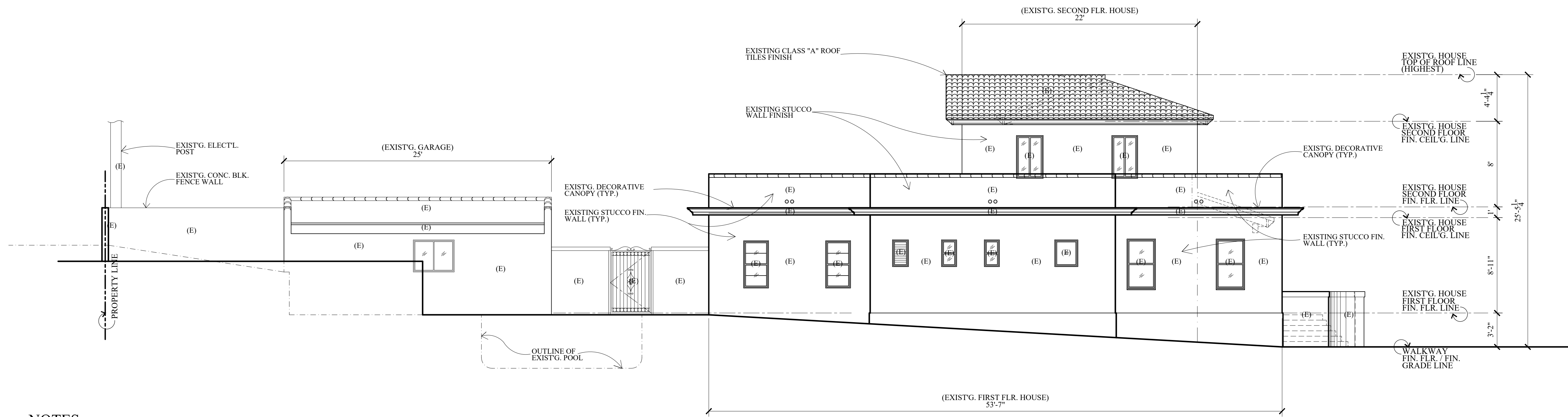
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 PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501
 OWNER : MARINA ISQUANT, 526 S. SUNSET CYN., DR., BURBANK, CA. 91501
 DRWG. TITLE : EXIST'G. HOUSE (EXIST'G. AS BUILT) ELEVATIONS W/EXIST'G. GARAGE FRONT ELEV.

Drawn by
 NEIL A.
 Checked by
 V. J.
 Date
 SEPT. 10, 2023
 Scale
 3/16" = 1'-0"
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A-1.3
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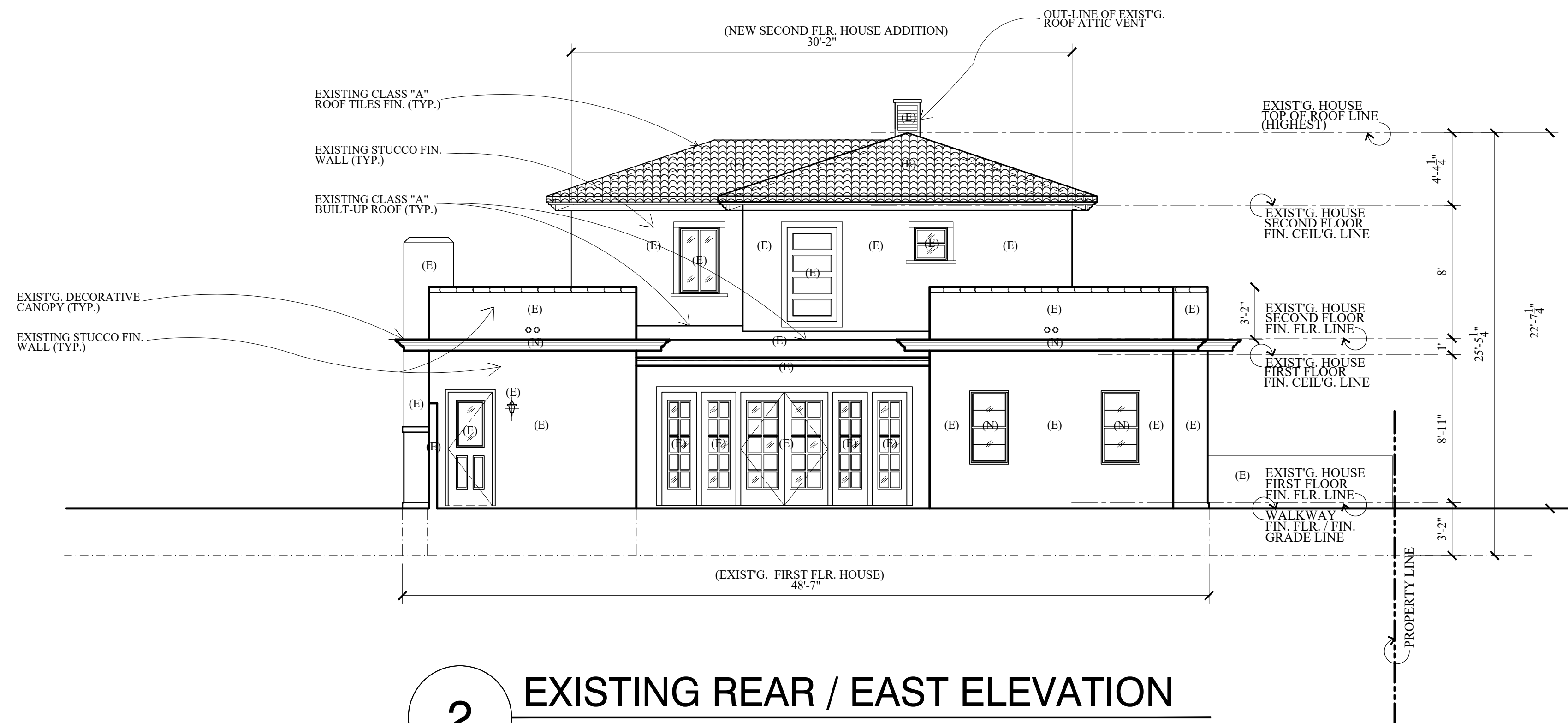
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1 EXISTING LEFT SIDE / NORTH ELEVATION
SCALE : 3/16" = 1'-0"

LEGENDS :

(E) EXISTING



2 EXISTING REAR / EAST ELEVATION
SCALE : 3/16" = 1'-0"

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OWNER : MARINA ISQUANT
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DRWG. TITLE : EXIST'G. HOUSE (EXIST'G. & BUILT) ELEVATIONS W/EXIST'G. GARAGE REAR ELEV.

Drawn by
NEIL A.
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Date
SEPT. 10, 2023
Scale
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Sheet No.
A-1.4
of
Sheets

SIZING WATER METER & SERVICE LINE :



Burbank Water and Power - Water Engineering
SIZING WATER METER AND SERVICE LINE
(Per California Plumbing Code, 2019 Edition, Title 24, Part 5)

Owner's Name: MARINA ISUNTS Date: 07/14/2023
 Project Address: 526 S. SUNSET CYN Agent: V. JANGOZIAN
 Zone: R-1 Agent Ph.#: (818) 207-1114
 Owner's Phone #: (818) 419-9914 (Home, Business, or Cell)

Description	Water Supply Fixture Units			SubTotal
	Fixture	Private Use	Public Use	
Bathub or Combination Bath/Shower (fill)	1	4	4	4
3/4" Bathub Fill Valve	1	10	10	10
Shower, per head	1	2	2	2
Clothes washer	1	4	4	4
Dishwasher, domestic	1	1.5	1.5	1.5
Hose Bibb	1	2.5	2.5	2.5
Hose Bibb, each additional *	5	1	1	5
Lawn Sprinkler each head *	30	1	1	30
Sinks				
Kitchen, domestic	2	1.5	1.5	3
Bar		1	2	
Bathroom (lavatory)	5	1	1	5
Laundry	1	1.5	1.5	1.5
Service or Mop Basin		1.5	3	
Wash-up, each set of faucets		-	2	
Clinic Faucet		-	3	
Clinic Flushometer Valve with or without faucet		-	8	
Water Closet, 1.6 GPF Gravity Tank	4	2.5	2.5	10
Water Closet, 1.6 GPF Flushometer Tank		2.5	2.5	
Water Closet, 1.6 GPF Flushometer Valve		See Note 5		
Water Closet, greater than 1.6 GPF Gravity Tank		3	5.5	
Water Closet, greater than 1.6 GPF Flushometer Valve		See Note 5		
Urinal, 1.0 GPF Flushometer Valve		See Note 5		
Urinal, greater than 1.0 GPF Flushometer Valve		See Note 5		
Urinal, flush tank		2	2	
Bidet		1	-	
Dental Unit, cuspidor		-	-	
Drinking Fountain or Watercooler		0.5	0.5	
Washfountain, circular spray		-	4	
Mobile Home, each (minimum)		6	-	80
Owner's/Agent's Initials: <u>V.J.</u>	Total Fixture Units			
	Distance from meter to most remote outlet			<u>120</u>

Notes:

- Appliances, Appurtenances or Fixtures not included in this Table may be sized by reference to fixtures having a similar flow rate and frequency of use.
- For fixtures or supply connections likely to impose continuous flow demands, determine the required flow in gallons per minute (GPM) and add it separately to the demand (in GPM) for the distribution system or portions thereof.
- Reducing fixture unit loading for additional hose bibbs is to be used only when sizing total building demand and for pipe sizing when more than one hose bibb is supplied by a segment of water distributing pipe. The fixture branch to each hose bibb shall be sized on the basis of 2.5 fixture units.
- Fixture quantities are total plumbing fixtures existing and new.
- When sizing flushometer systems, see 610.10.

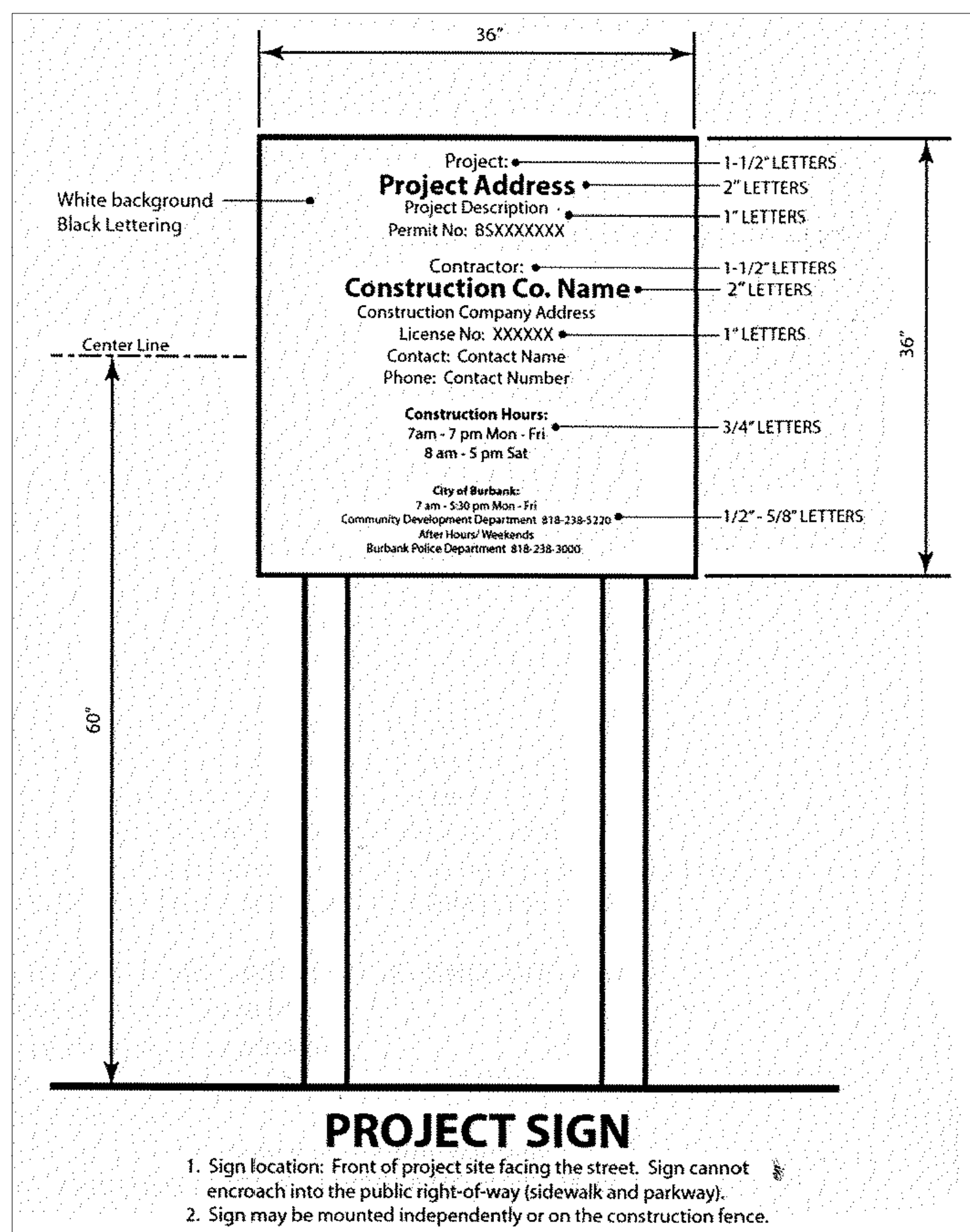
For Water Division Use Only

	Pressure at highest outlet
	City to Install Meter and Service Size
	Customer to Install Min. Building Supply Line Size (from meter to building)

VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) NOTES :

- ROOFING :**
SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING WHERE THE ROOF PROFILE ALLOWS A SPACE, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR PROVIDE ONE LAYER OF 72 POUNDS MINERAL SURFACED NON-PERFORATED CAP SHEET MEETING ASTM D5909 (705.; R337.5.2)
- ROOF GUTTERS :**
ROOF GUTTERS SHALL BE DESIGN TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. (705.4; R337.5.4)
- VENTS :**
VENT OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVES SOFFIT SPACES, ENCLOSED RAFTER SPACES AND UNDERFLOOR VENTS SHALL RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME, THROUGH THE VENT OPENINGS. VENT OPENINGS SHALL COMPLY WITH ONE OF THE FOLLOWING :
 a. LISTED VENT COMPLYING WITH ASTM E2886 OR
 b. PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN. 1/6" AND MAX 1/8" OPENINGS (706A.2; R337.6.2)
- EXTERIOR WALLS :**
EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL COMPLY BY MEETING ONE OF THE FOLLOWING :
 a. NONCOMBUSTIBLE CONSTRUCTION OR
 b. IGNITION RESISTANT MATERIAL OR
 c. HEAVY TIMBER CONSTRUCTION OR
 d. LOG WALL CONSTRUCTION OR
 e. COMPLIES WITH SFM 12-7A-1 (707A.3; R337.7.3)
- ENCLOSED ROOF EAVES & ROOF EAVES SOFFIT :**
EXPOSED UNDERSIDE SHALL BE PROTECTED BY ONE OF THE FOLLOWING :
 a. NONCOMBUSTIBLE CONSTRUCTION
 b. IGNITION RESISTANT MATERIAL
 c. ONE LAYER OF 5/8" TYPE "X" APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.
 d. EXTERIOR PORTION OF A 1-HR. FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY PER GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
 e. BOX-IN ROOF EAVES SOFFIT ASSEMBLIES COMPLYING WITH SFM 12-7 A-3 OR ASTM E2957. (707A.5; R337.7.5)
- EXTERIOR PORCH CEILINGS :**
EXPOSED UNDERSIDE SHALL BE PROTECTED BY ONE OF THE FOLLOWING :
 a. NONCOMBUSTIBLE CONSTRUCTION
 b. IGNITION RESISTANT MATERIAL
 c. ONE LAYER OF 5/8" TYPE "X" APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.
 d. EXTERIOR PORTION OF A 1-HR. FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY PER GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL.
 e. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE COMPLYING WITH SFM 12-7 A-3 OR ASTM E2957.
 7a. EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR MINIMUM 20-MIN. RATED, OR COMPLIES WITH SFM # 2-7A-2 (708A.2.1; R337.8.2.1)
- EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING :**
 a. NONCOMBUSTIBLE MATERIAL OR
 b. IGNITION RESISTANT MATERIAL OR
 c. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4 IN. THICK OR
 d. MINIMUM 20 - MINS. RATED OR
 e. COMPLIES WITH SFM 12-7A-1 (708A.3; R337.8.3)
- DECKING :**
WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS WHEN ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING :
 a. IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH SFM 12-7A-4 AND 12-7A-5
 b. EXTERIOR FIRE RETARDANT TREATED WOOD
 c. NONCOMBUSTIBLE MATERIAL
 d. COMPLIES WITH SFM 12-7A-4A WHEN ATTACHED EXTERIOR WALL COVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. (708A.3; R337.9.3)
- ACCESSORY STRUCTURES :**
WHEN ANY PORTION OF AN ATTACHED OR DETACHED ACCESSORY STRUCTURE (TRELLISES, ARBORS, PATIO COVERS, CARPORT, GAZEBOS AND SIMILAR STRUCTURES OF AN ACCESSORY OR MISCELLANEOUS CHARACTER) LIES WITHIN 50 FEET OF AN APPLICABLE BUILDING, IT SHALL BE CONSTRUCTED OF :
 a. NONCOMBUSTIBLE MATERIALS OR
 b. IGNITION-RESISTANT MATERIALS OR
 c. HEAVY TIMBER CONSTRUCTION (710A; R337.10)

PROJECT SIGN :



Revisions	By

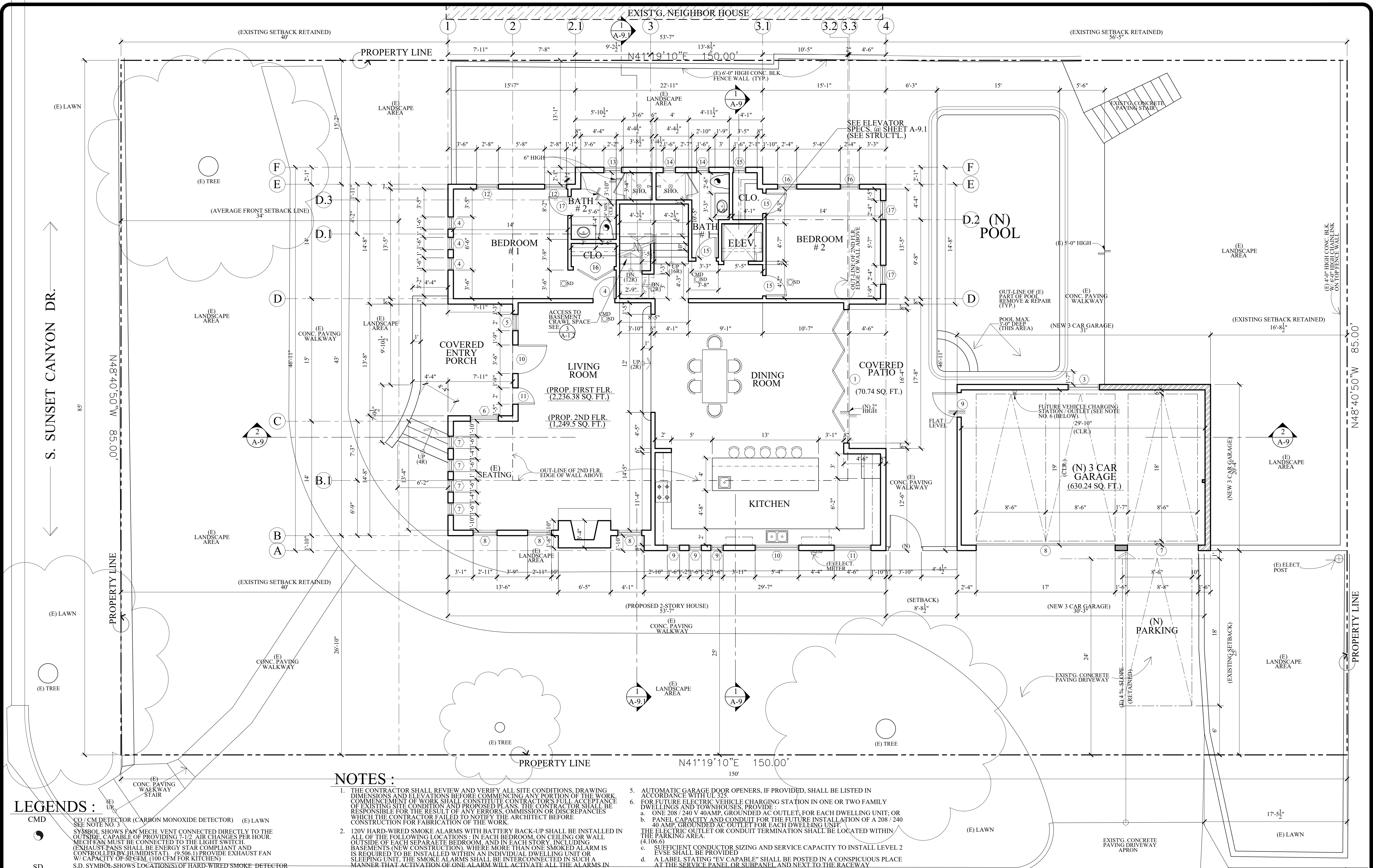
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V J & ASSOCIATES
 building design • planning • interior

1224 E. BROADWAY, SUITE 105,
 Glendale, CA 91205
 (818) 956-0570

PROJ. TITLE: FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE - FOR - LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY
 PROJ. ADDR: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501
 OWNER: MARINA ISUNTS, 526 S. SUNSET CYN. DR., BURBANK, CA. 91501
 DRWG. TITLE: AND SERVICE LINE

Drawn by NEIL A.
Checked by V. J.
Date SEPT. 10, 2023
Scale 1/8" = 1'-0"
Job No.
Sheet No. A-1.5
of Sheets



NOTES:

- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE THE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
- 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
- PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
- EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (CBC 1008.1.8)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- FOR FUTURE ELECTRIC VEHICLE CHARGING STATION IN ONE OR TWO FAMILY DWELLINGS AND TOWNHOUSES, PROVIDE:
 - ONE 208 / 240V 40AMP, GROUNDED AC OUTLET, FOR EACH DWELLING UNIT; OR
 - PANEL CAPACITY AND CONDUIT FOR THE FUTURE INSTALLATION OF A 208 / 240 40 AMP, GROUNDED AC OUTLET FOR EACH DWELLING UNIT.
 THE ELECTRIC OUTLET OR CONDUIT TERMINATION SHALL BE LOCATED WITHIN THE PARKING AREA.
- SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
- A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT.
- PROVIDE MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY INSTALLED TO ACCOMMODATE A DEDICATED 208-240VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
- ELECTRIC VEHICLE CHARGING FOR NEW CONSTRUCTION, ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

LEGENDS:

- CMD CO. / CM DETECTOR (CARBON MONOXIDE DETECTOR) (E) LAWN
- SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FANS MUST BE CONNECTED TO THE LIGHT SWITCH (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT). (9-206.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 30CFM, (100 CFM FOR KITCHEN).
- SD S.D. SYMBOL SHOWS LOCATIONS OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 2)
- WINDOW NO. REFERENCE
- DOOR NO. REFERENCE
- NEW WALL (STUD WALL)
- NEW CONC. BLK. WALL

1

PROVIDENCIA AVE.
 (PROPOSED 2-STORY HOUSE & GARAGE)
PROPOSED FIRST FLOOR PLAN / SITE PLAN
 SCALE : 3/16" = 1'-0"

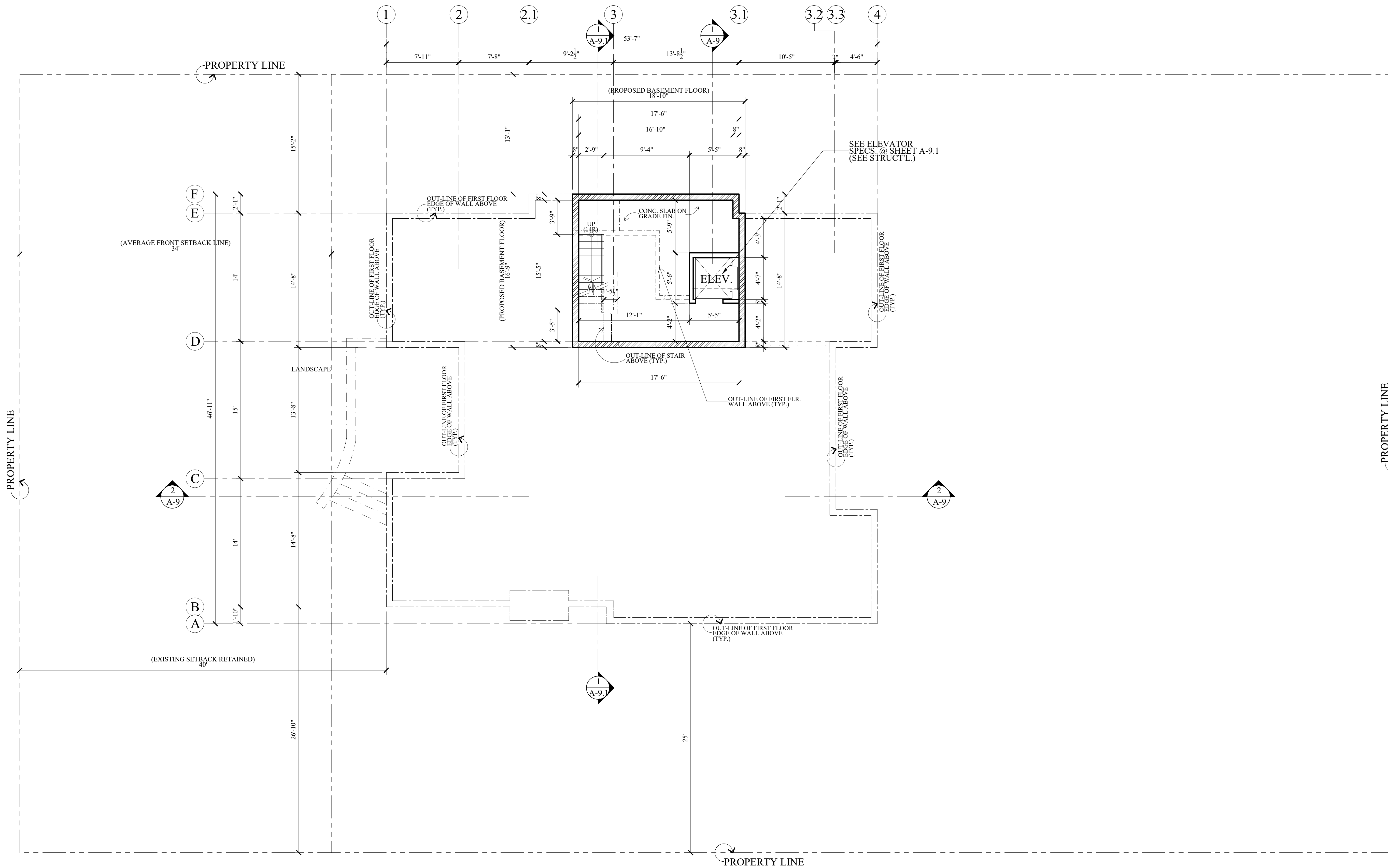
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V J & ASSOCIATES
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 Glendale, CA 91205
 (818) 956-0570

PROJ. TITLE : **FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY**
 PROJ. ADDR. : MARINA ISQUINT 526 S. SUNSET CYN. DR., BURBANK, CA. 91501
 OWNER : MARINA ISQUINT 526 S. SUNSET CYN. DR., BURBANK, CA. 91501
 DRWG. TITLE : (PROPOSED) FIRST FLOOR PLAN, SITE PLAN, LEGENDS & NOTES

Drawn by
NEIL A.
 Checked by
V. J.
 Date
SEPT. 10, 2023
 Scale
3/16" = 1'-0"
 Job No.
 Sheet No.
A-2
 of Sheets



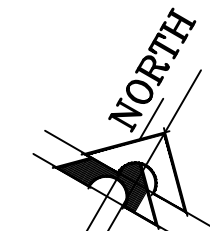
LEGENDS :

- NEW WALL (STUD WALL)
- NEW CONC. BLK. WALL

NOTES :

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(PROPOSED 2-STORY HOUSE)
1 PROPOSED BASEMENT FLOOR PLAN
 SCALE : 3/16" = 1'-0"



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 Glendale, CA 91205
 (818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY
 OWNER : MARINA ISQUINT
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501
 DRWG. TITLE : (PROPOSED) BASEMENT FLOOR PLAN, LEGENDS & NOTES

Drawn by NEIL A.
Checked by V. J.
Date SEPT. 13, 2023
Scale 3/16" = 1'-0"
Job No.
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of Sheets

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PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : EXISTING HOUSE PROPOSED SECOND FLOOR PLAN, LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

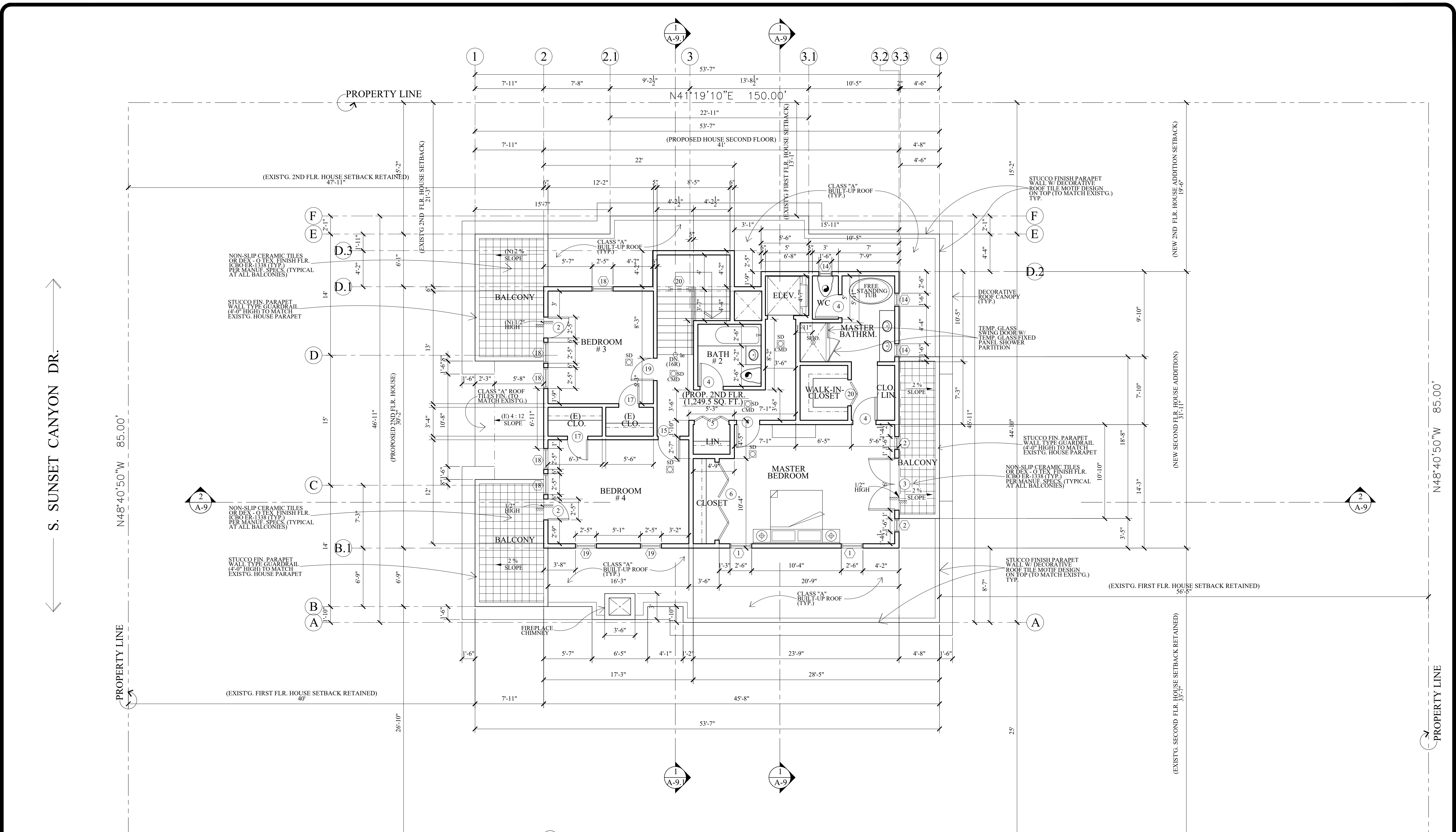
Date
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Scale
3/16" = 1'-0"

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Sheet No.
A-3

of Sheets



- LEGENDS :**
- CO. / CMD DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 3
 - SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE. CAPABLE OF PROVIDING 7-1/2' AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH. (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT. (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHEN)
 - S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 2)
 - WINDOW NO. REFERENCE
 - DOOR NO. REFERENCE
 - NEW WALL (STUD WALL)
 - NEW CONC. BLK. WALL

**(PROPOSED 2-STORY HOUSE)
 PROPOSED SECOND FLOOR PLAN**

SCALE : 3/16" = 1'-0"

- NOTES :**
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
 - 120V HARD-WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS NEW CONSTRUCTION). WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
 - PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)

- BALCONIES, DECKS, PORCHES & PATIOS : UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDING WITH HABITABLE SPACES SHALL BE A MINIMUM ONE-HOUR FIRE RESISTIVE CONSTRUCTION, HEAVY TIMBER CONSTRUCTION, APPROVED NON-COMBUSTIBLE MATERIALS, OR FIRE RETARDANT-TREATED WOOD. UNENCLOSED BALCONIES, DECKS, PORCHES MAYBE CONSTRUCTED OF :
 - COLUMNS : 6 X 6 INCHES MINIMUM
 - BEAMS AND GIRDERS : 6 X 6 INCHES MINIMUM.
 - JOISTS : 4 X 6 INCHES MINIMUM.
 - ROOF AND FLOOR DECKING : 2-INCH TONGUE AND GROOVE PLANKS OR 1-1/8-INCH TONGUE AND GROOVE PLYWOOD MINIMUM.

Revisions	By

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V J & ASSOCIATES
building design • interior

1224 E. BROADWAY, SUITE 202,
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 (818) 956-0570

PROJ. TITLE: **FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY**

PROJ. ADDR.: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER: MARINA ISQUANT
 5745 SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE: **PROPOSED HOUSE (PROPOSED) ROOF PLAN**
 LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

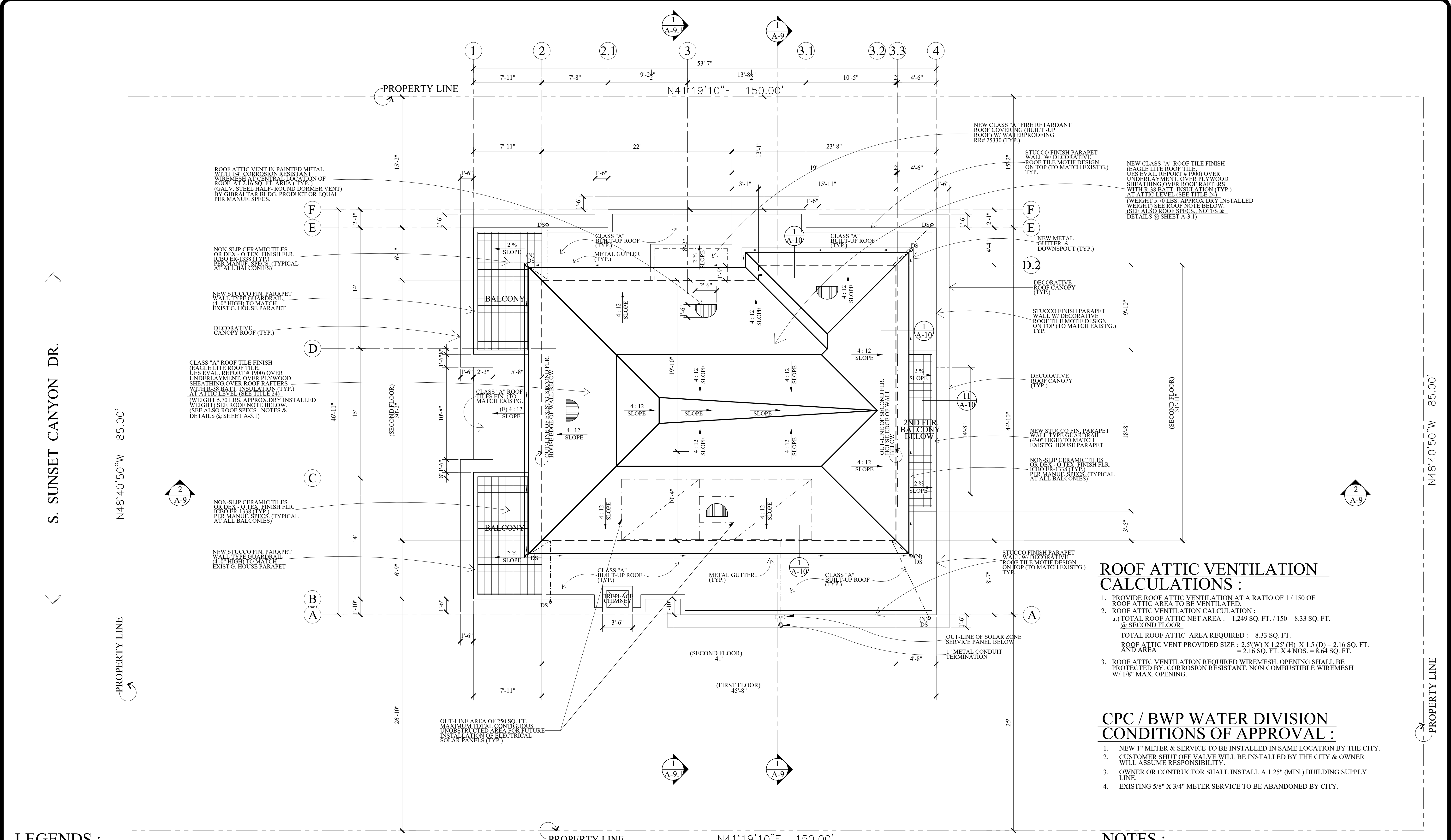
Date
SEPT. 10, 2023

Scale
3/16" = 1'-0"

Job No.

Sheet No.
A-4

of Sheets



ROOF ATTIC VENTILATION CALCULATIONS:

- PROVIDE ROOF ATTIC VENTILATION AT A RATIO OF 1 / 150 OF ROOF ATTIC AREA TO BE VENTILATED.
- ROOF ATTIC VENTILATION CALCULATION:
 - TOTAL ROOF ATTIC NET AREA = 1,249 SQ. FT. / 150 = 8.33 SQ. FT. @ SECOND FLOOR
 - TOTAL ROOF ATTIC AREA REQUIRED = 8.33 SQ. FT.
 - ROOF ATTIC VENT PROVIDED SIZE = 2.5(W) X 1.25(H) X 1.5(D) = 2.16 SQ. FT.
 - AND AREA = 2.16 SQ. FT. X 4 NOS. = 8.64 SQ. FT.
- ROOF ATTIC VENTILATION REQUIRED WIREMESH OPENING SHALL BE PROTECTED BY CORROSION RESISTANT, NON COMBUSTIBLE WIREMESH W/ 1/8" MAX. OPENING.

CPC / BWP WATER DIVISION CONDITIONS OF APPROVAL:

- NEW 1" METER & SERVICE TO BE INSTALLED IN SAME LOCATION BY THE CITY.
- CUSTOMER SHUT OFF VALVE WILL BE INSTALLED BY THE CITY & OWNER WILL ASSUME RESPONSIBILITY.
- OWNER OR CONTRACTOR SHALL INSTALL A 1.25" (MIN.) BUILDING SUPPLY LINE.
- EXISTING 5/8" X 3/4" METER SERVICE TO BE ABANDONED BY CITY.

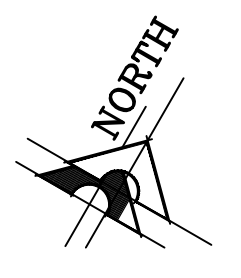
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- 120V HARD WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: IN EACH BEDROOM, ON CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND IN EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION). WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CBC 2512.1.2)
- PROVIDE AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOM(S) AND ONE IN EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNITS, THE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)

LEGENDS:

- CMD** CO. / CMD DETECTOR (CARBON MONOXIDE DETECTOR) SEE NOTE NO. 3
- SYMBOL SHOWS FAN MECH. VENT CONNECTED DIRECTLY TO THE OUTSIDE. CAPABLE OF PROVIDING 7-1/2 AIR CHANGES PER HOUR. MECH FAN MUST BE CONNECTED TO THE LIGHT SWITCH (EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY HUMIDISTAT. (9.506.1) PROVIDE EXHAUST FAN W/ CAPACITY OF 50 CFM. (100 CFM FOR KITCHEN)
- SD** S.D. SYMBOL SHOWS LOCATION(S) OF HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK-UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTORS PERMITTED IN EXISTING CONSTRUCTION. (SEE ALSO NOTE NO. 2)
- - -** PROPERTY LINE
- DS** DOWNSPOUT

**(PROPOSE 2-STORY HOUSE)
 PROPOSED SECOND FLOOR PLAN**
 SCALE : 3/16" = 1'-0"



NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS, AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
2. ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATIONS DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING & SAFETY DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.
3. ALL NEW WINDOWS & DOORS TO MATCH EXISTING. ALL WINDOWS & DOORS MUST BE OF THE SAME SPECIFICATION, SIZE, MATERIALS, ETC AS EXISTING.
4. ALL NEW EXTERIOR WALL MATERIAL IN STUCCO FINISH TO MATCH EXISTING (FOR HOUSE & GARAGE).
5. BUILDING ELEVATIONS APPEARANCE, DESIGN & MATERIALS SHALL BE THE SAME AS PER EXISTING HOUSE & GARAGE.

LEGENDS :

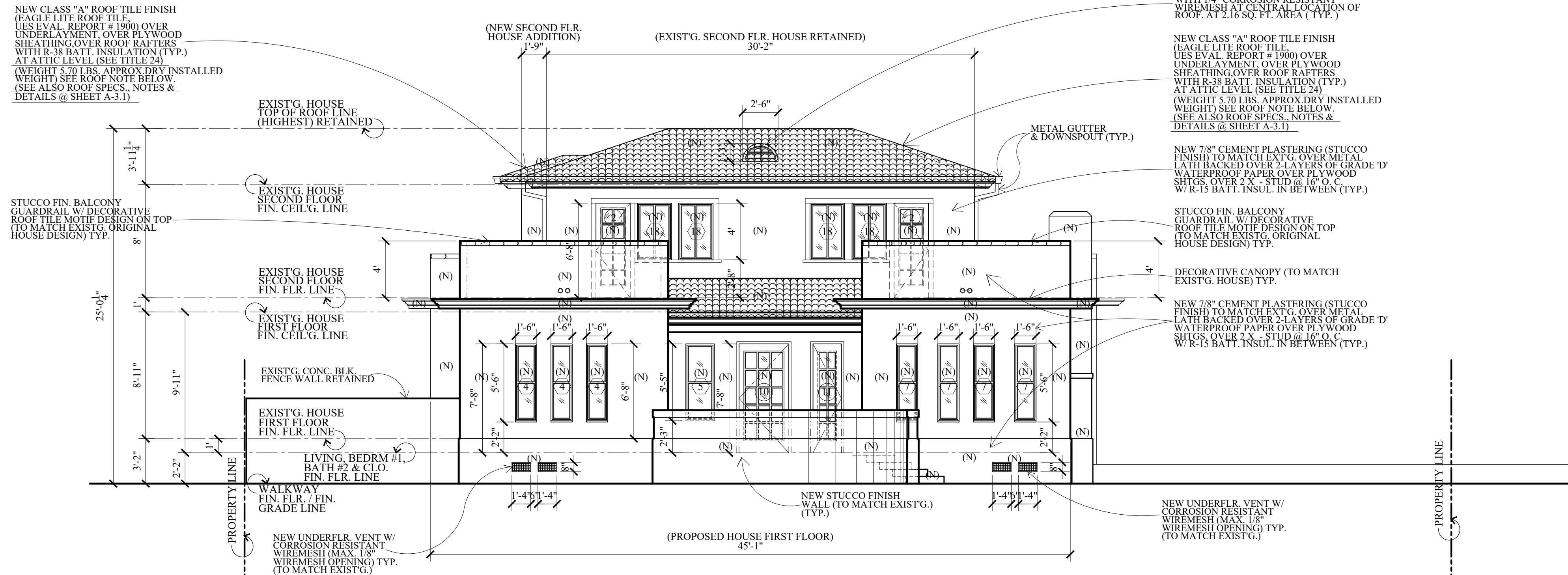
- (E) EXISTING
- (N) NEW

UNDERFLOOR VENTILATION CALCULATIONS :

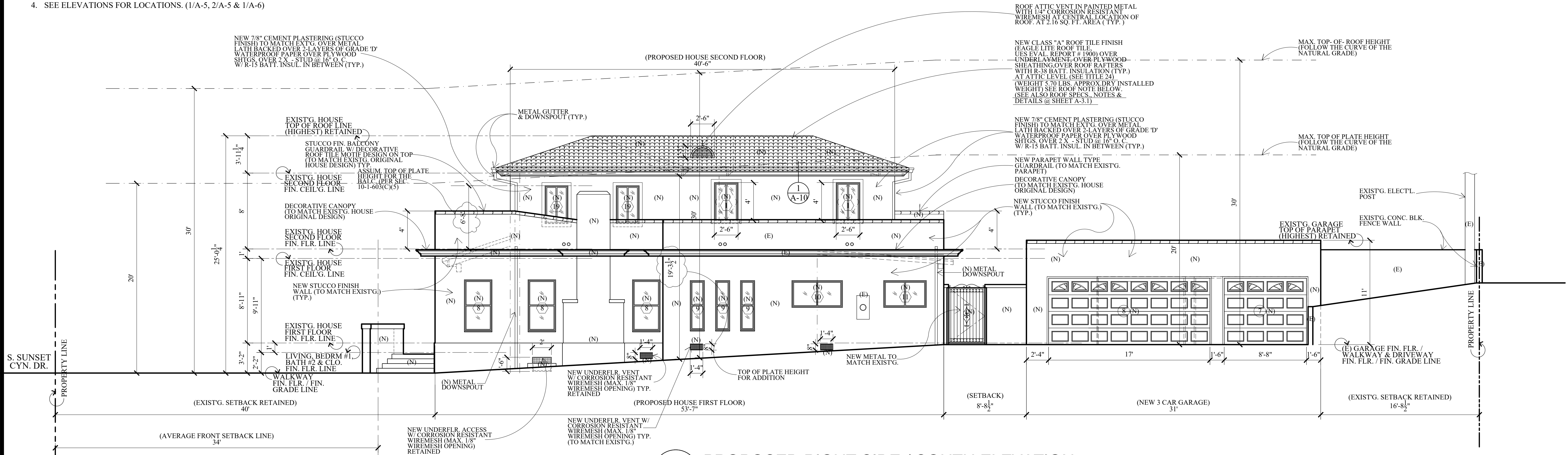
1. PROVIDE UNDERFLOOR VENTILATION AT A RATIO OF 1 / 150 OF ROOF ATTIC AREA TO BE VENTILATED.
2. UNDERFLOOR VENTILATION CALCULATION :
 a.) TOTAL ROOF ATTIC NET AREA : 2,236.38 SQ. FT. / 150 = 14.91 SQ. FT. @ FIRST FLOOR
 TOTAL ROOF ATTIC AREA REQUIRED : 14.91 SQ. FT.
 UNDERFLOOR VENT PROVIDED SIZE : 1.33' (W) X 0.67' (H) = 0.89 SQ. FT.
 12 NOS. X 0.89' (H) = 10.68 SQ. FT.
 UNDERFLOOR ACCESS W/ VENT : 2' (W) X 1.5' (H) = 3 SQ. FT.
 2 NOS. X 3 = 6 SQ. FT.

OVERALL TOTAL UNDERFLOOR VENT : 10.68 SQ. FT. + 6 SQ. FT. = 16.68 SQ. FT. PROVIDED

3. UNDERFLOOR VENTILATION REQUIRED WIREMESH OPENING SHALL BE PROTECTED BY CORROSION RESISTANT, NON COMBUSTIBLE WIREMESH W/ 1/8" MAX. OPENING.
4. SEE ELEVATIONS FOR LOCATIONS. (1/A-5, 2/A-5 & 1/A-6)



1 PROPOSED FRONT / WEST ELEVATION
SCALE : 3/16" = 1'-0"



2 PROPOSED RIGHT SIDE / SOUTH ELEVATION
SCALE : 3/16" = 1'-0"

Revisions	By

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1224 E. BROADWAY, SUITE 105,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE PROPOSED HOUSE (PROPOSED) ELEVATIONS W/ NEW 3 CAR GARAGE FRONT ELEVATION

Drawn by
NEIL A.

Checked by
V. J.

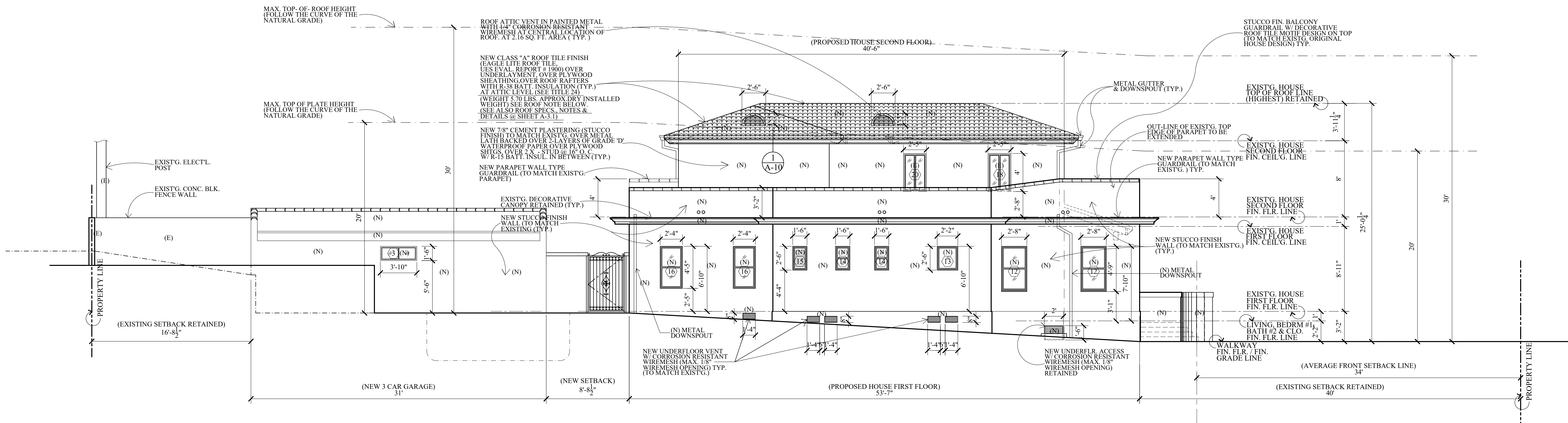
Date
SEPT. 10, 2023

Scale
3/16" = 1'-0"

Job No.

Sheet No.
A-5

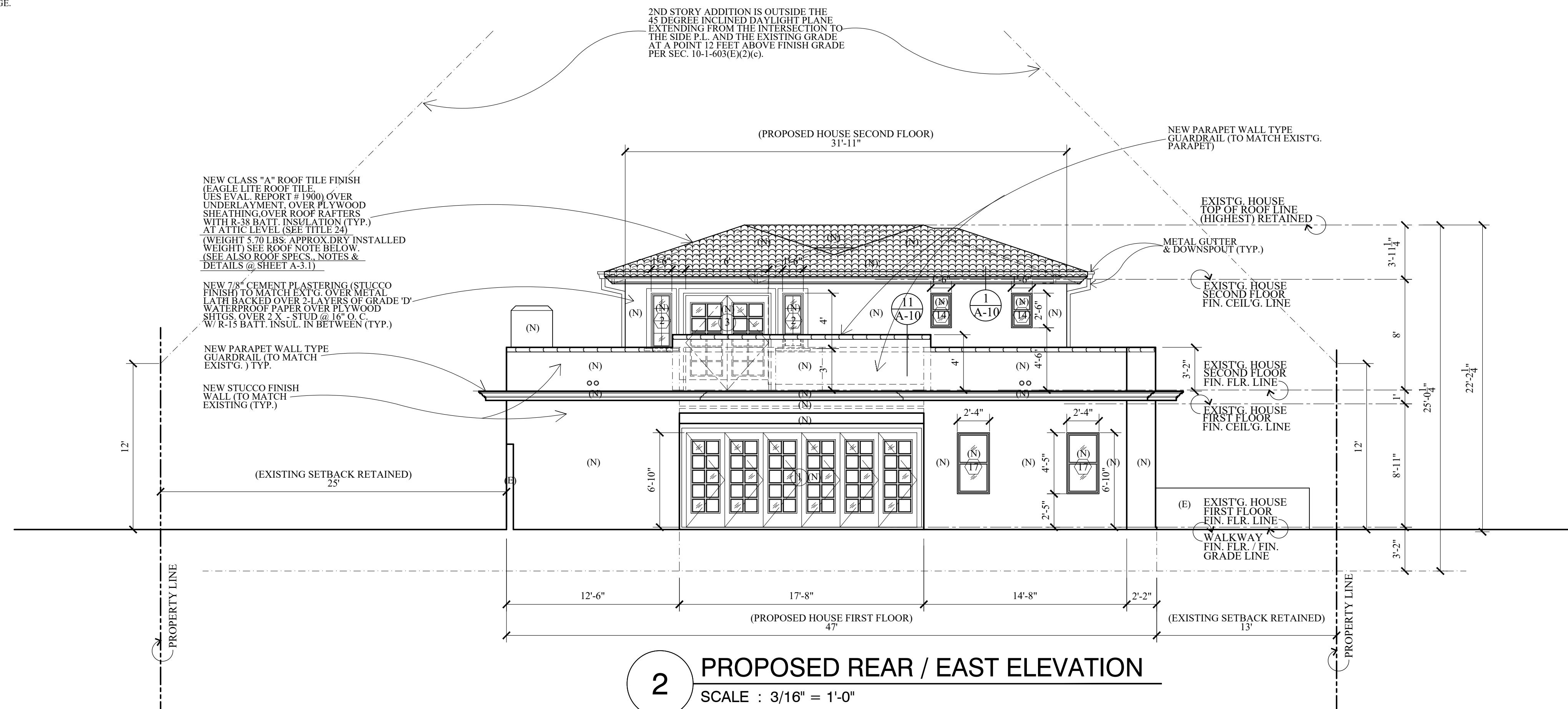
of Sheets



1 PROPOSED LEFT SIDE / NORTH ELEVATION
SCALE : 3/16" = 1'-0"

- NOTES :**
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITIONS AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.
 - ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATIONS DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING & SAFETY DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.
 - ALL NEW WINDOWS & DOORS TO MATCH EXISTING. ALL WINDOWS & DOORS MUST BE OF THE SAME SPECIFICATION, SIZE, MATERIALS, ETC AS EXISTING.
 - ALL NEW EXTERIOR WALL MATERIAL IN STUCCO FINISH TO MATCH EXISTING (FOR HOUSE & GARAGE).
 - BUILDING ELEVATIONS APPEARANCE, DESIGN & MATERIALS SHALL BE THE SAME AS PER EXISTING HOUSE & GARAGE.

- LEGENDS :**
- (E) EXISTING
 - (N) NEW



2 PROPOSED REAR / EAST ELEVATION
SCALE : 3/16" = 1'-0"

Revisions	By

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V J & ASSOCIATES
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1224 E. BROADWAY, SUITE 105,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADD: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : REAR SIDE / EAST ELEVATIONS
W/ NEW 3 CAR GARAGE REAR ELEV.

Drawn by
NEIL A.

Checked by
V. J.

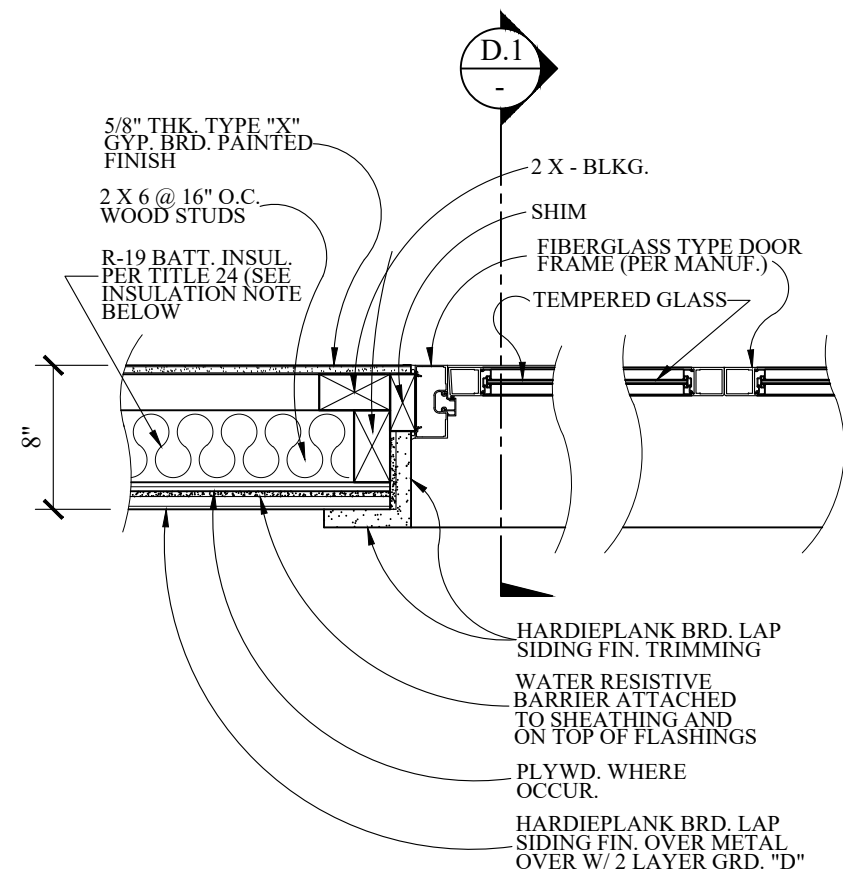
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SEPT. 10, 2023

Scale
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Job No.

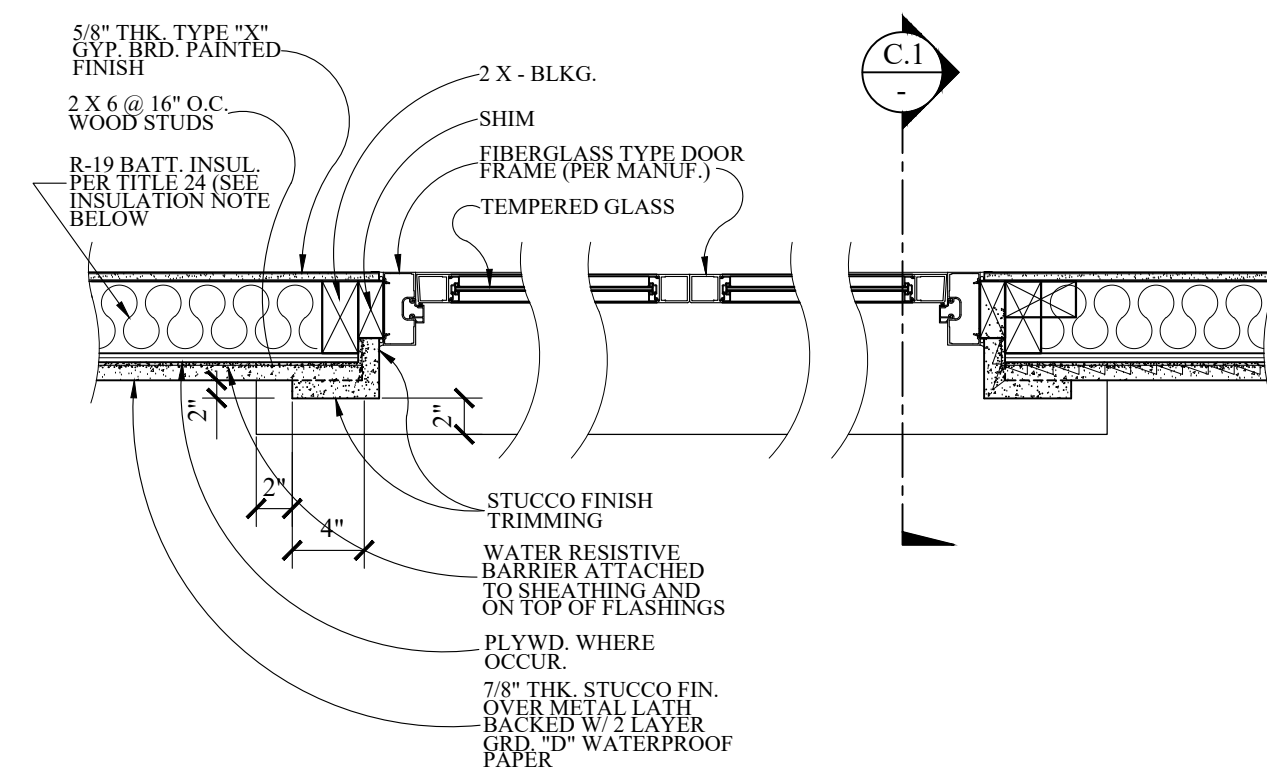
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of Sheets



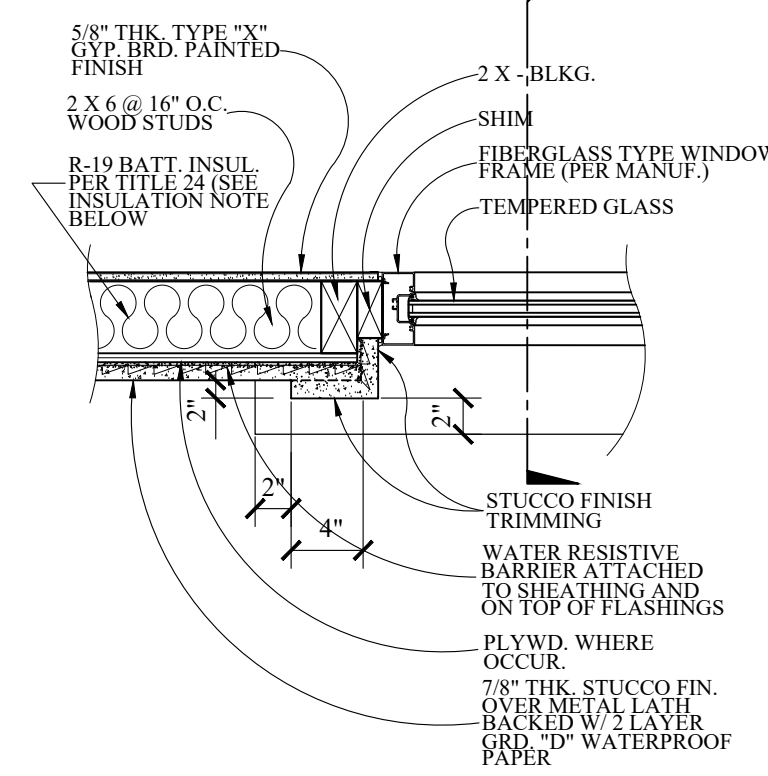
(SLIDING FOLDING)
TYP. HOR. DOOR
DETAIL PLAN

NOT TO SCALE
(FIRST FLR. LOCATION)



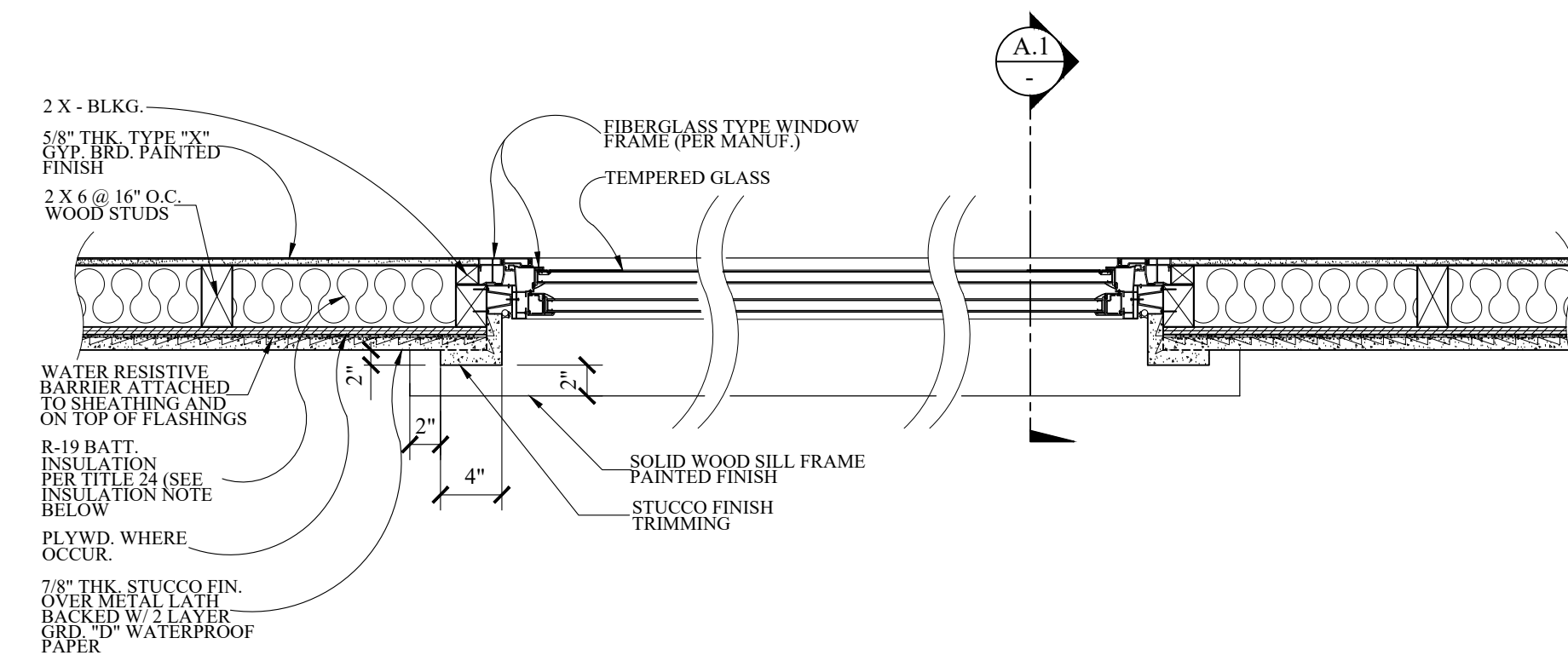
(DOUBLE LEAF SWING DOOR)
TYP. HOR. DOOR
DETAIL PLAN

NOT TO SCALE



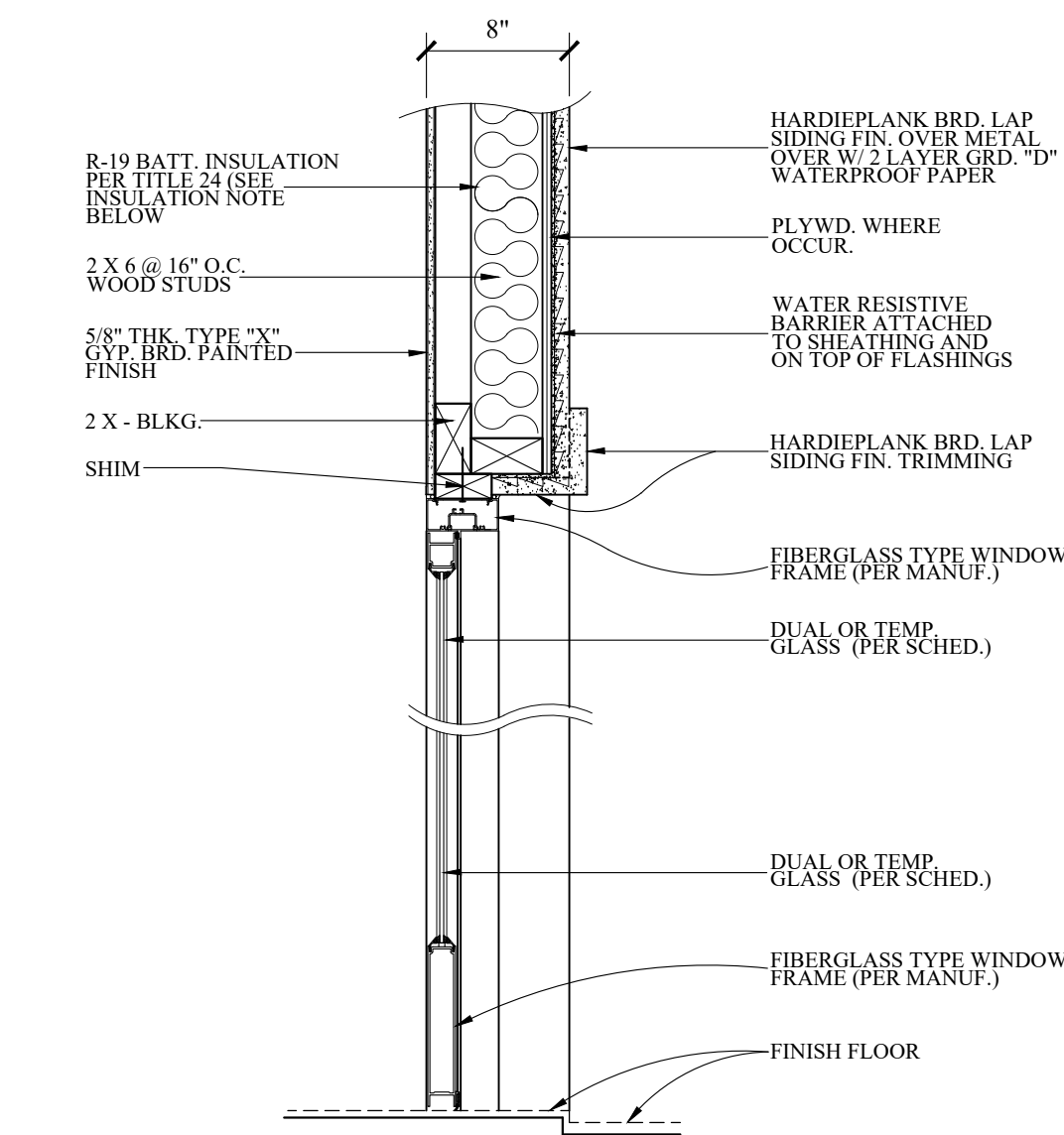
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TYP. HOR. WINDOW DET. PLAN
(EXISTING & NEW)

NOT TO SCALE
(2ND FLR. LOCATION)



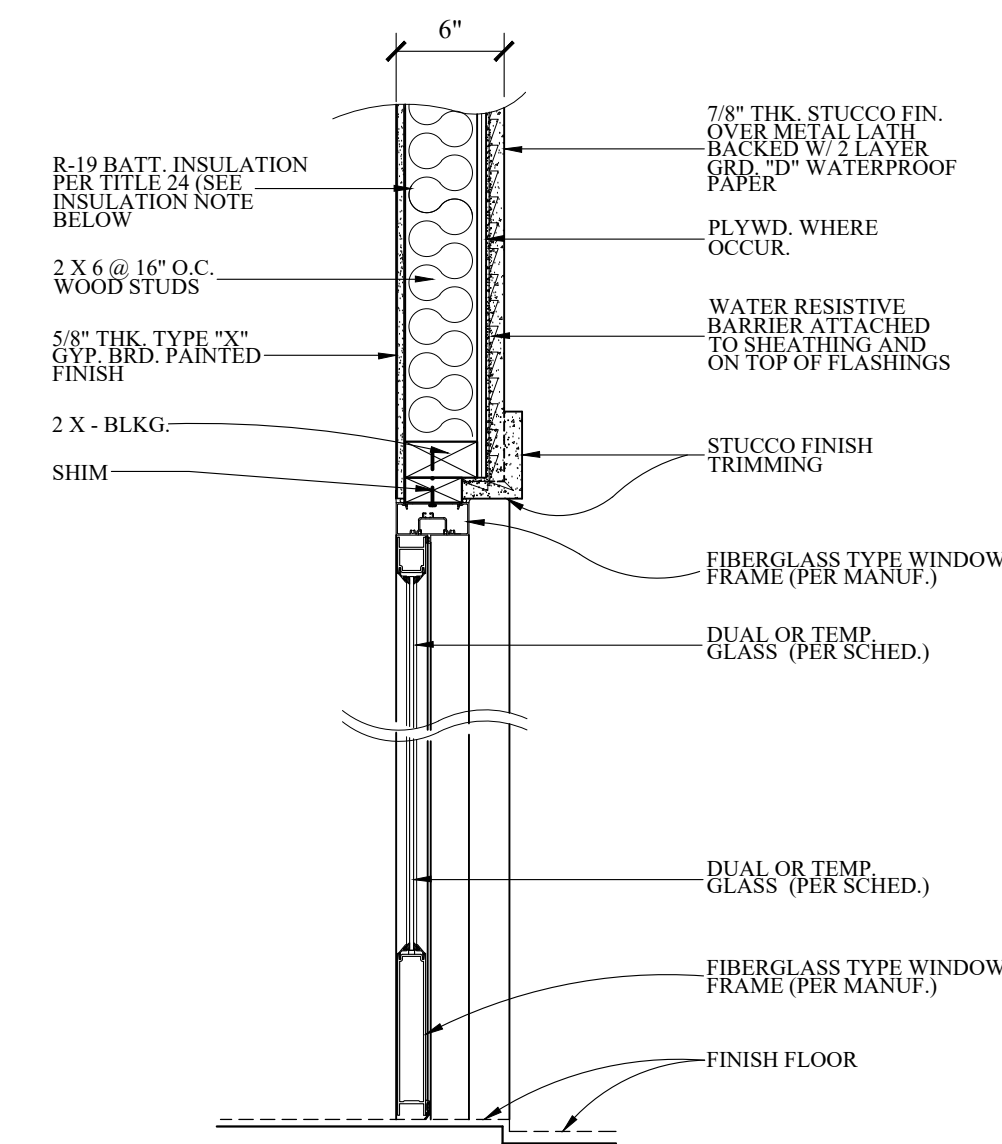
(SINGLE HUNG WINDOW)
TYP. HOR. WINDOW DET. PLAN
(EXISTING & NEW)

NOT TO SCALE
(2ND FLR. LOCATION)



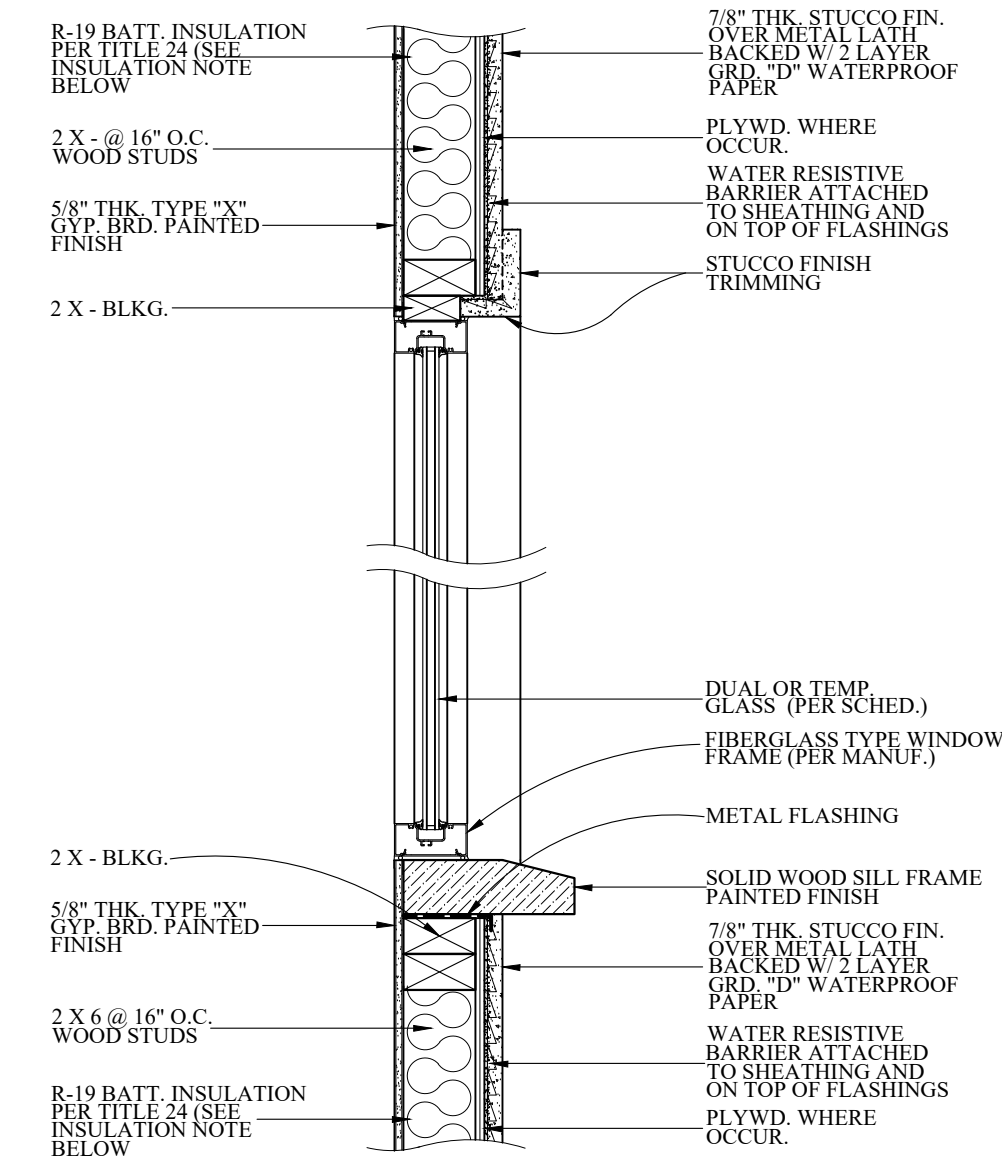
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TYP. VERT. DOOR
DETAIL PLAN

NOT TO SCALE



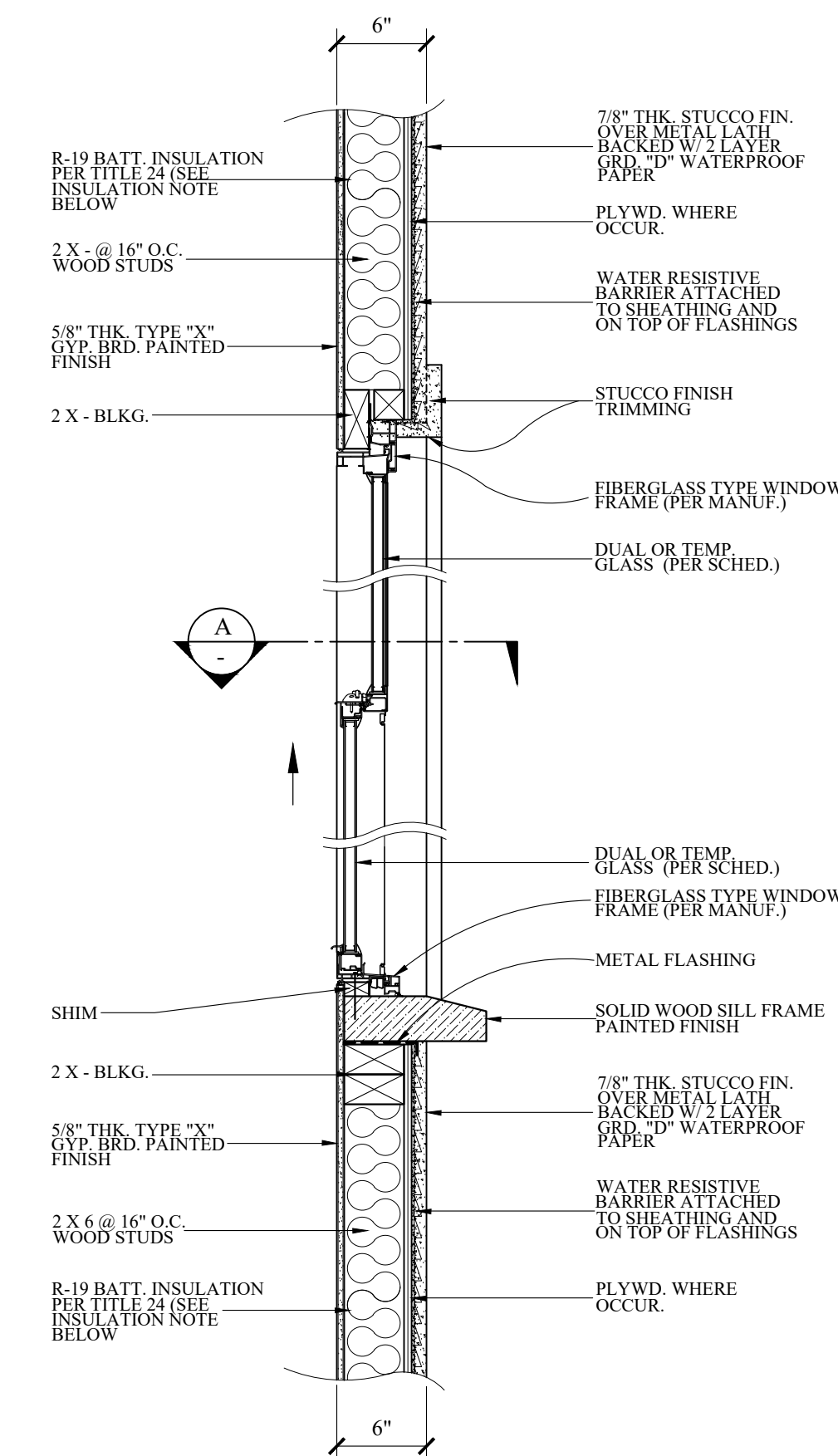
(DOUBLE LEAF SWING DOOR)
TYP. VERT. DOOR
DETAIL PLAN

NOT TO SCALE



(FIXED WINDOW)
TYP. VERT. WINDOW DET. PLAN
(EXISTING & NEW)

NOT TO SCALE
(2ND FLR. LOCATION)



(SINGLE HUNG WINDOW)
TYP. VERT. WINDOW DET. PLAN
(EXISTING & NEW)

NOT TO SCALE
(2ND FLR. LOCATION)

Revisions	By

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1224 E. BROADWAY, SUITE 105,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY
OWNER : MARINA ISQUANT
526 S. SUNSET CYN., DR., BURBANK, CA. 91501
PROJ. ADD. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501
DRWG. TITLE : WINDOW DETAIL SECTIONS

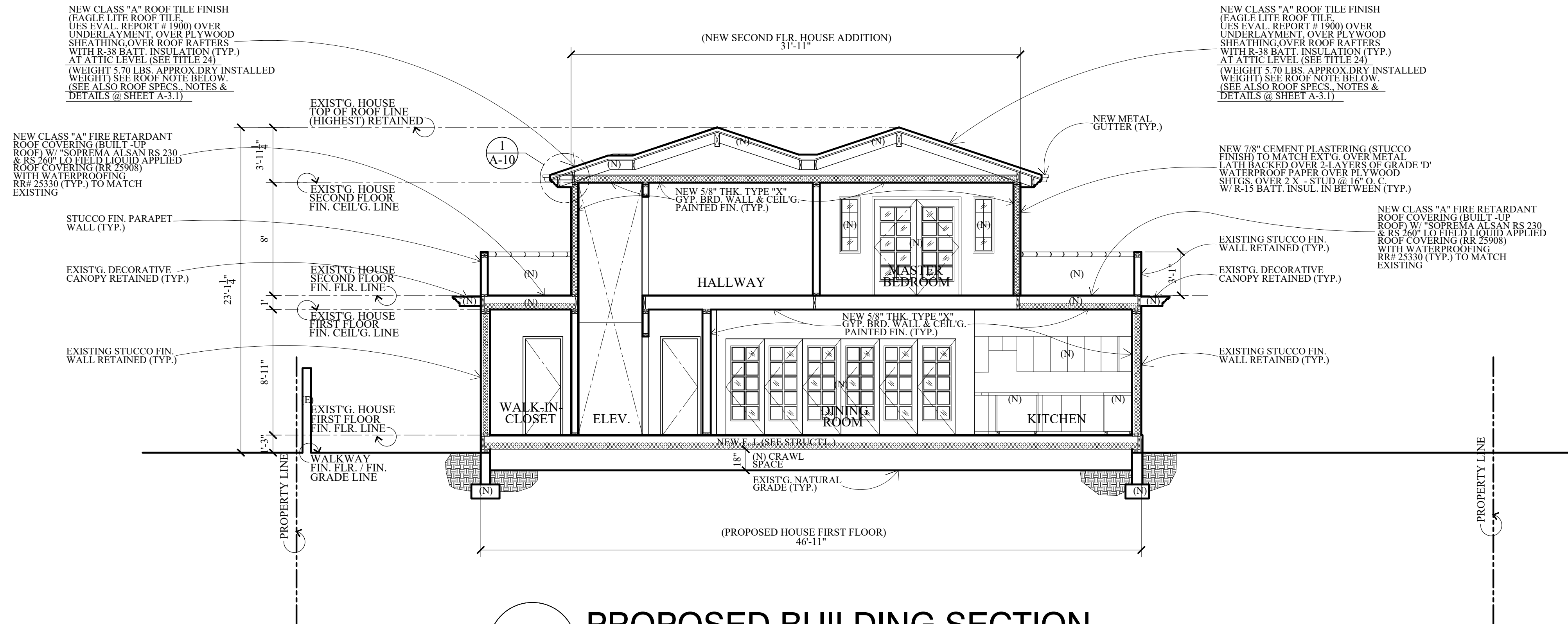
Drawn by
NEIL A.
Checked by
V. J.
Date
SEPT. 13, 2023
Scale
N. T. S.
Job No.
Sheet No.
A-8
of Sheets

NOTES :

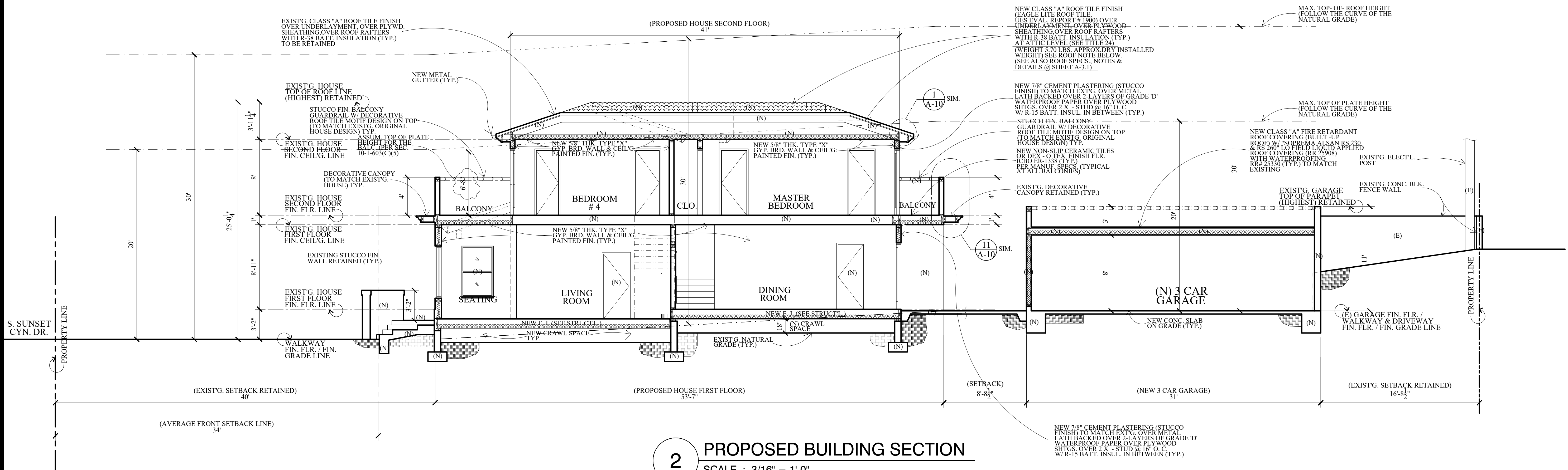
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LEGENDS :

- (E) EXISTING
- (N) NEW



1 PROPOSED BUILDING SECTION
SCALE : 3/16" = 1'-0"



2 PROPOSED BUILDING SECTION
SCALE : 3/16" = 1'-0"

Revisions	By

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PROJ. ADDR. : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUIT
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : EXIST'G. HOUSE (PROPOSED) BLDG. SECTIONS W/ EXIST'G. GARAGE SECTION

Drawn by
NEIL A.

Checked by
V. J.

Date
SEPT. 10, 2023

Scale
3/16" = 1'-0"

Job No.

Sheet No.
A-9

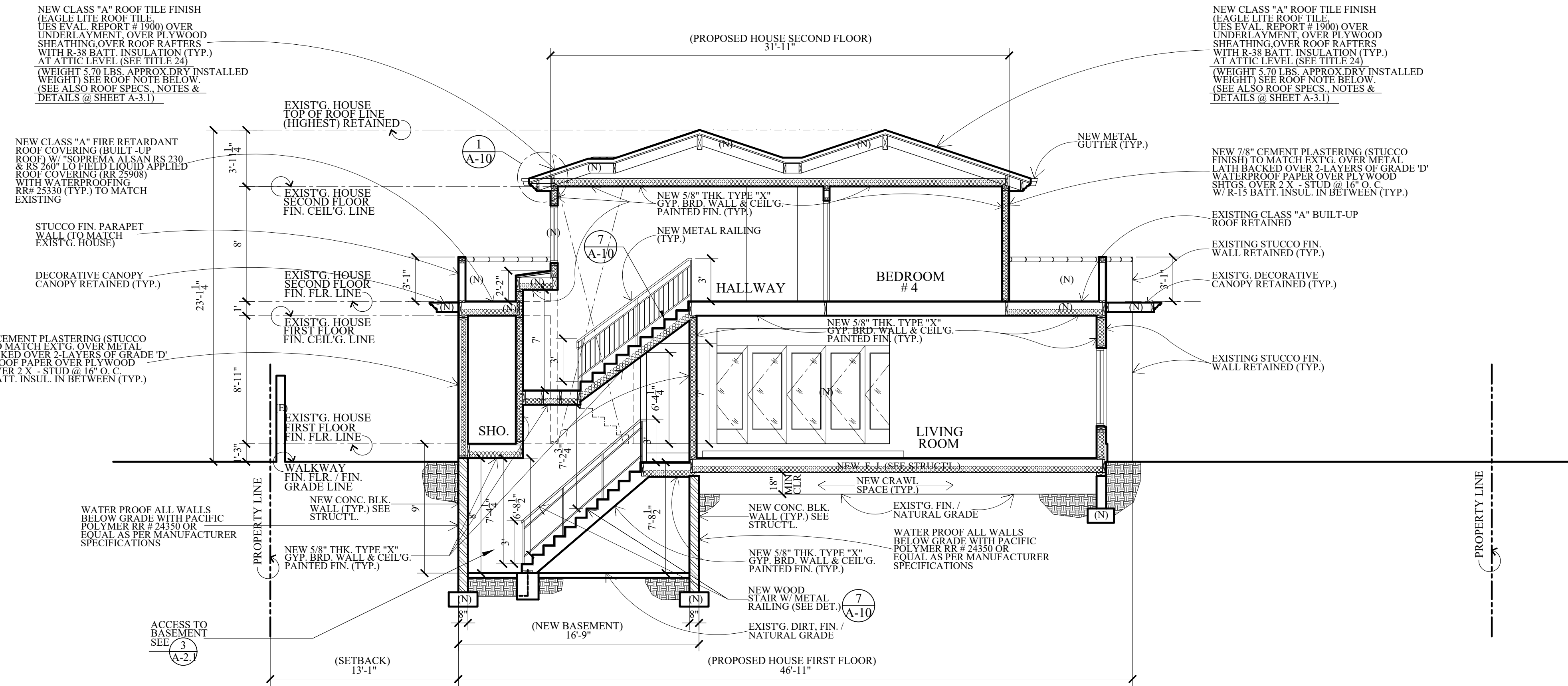
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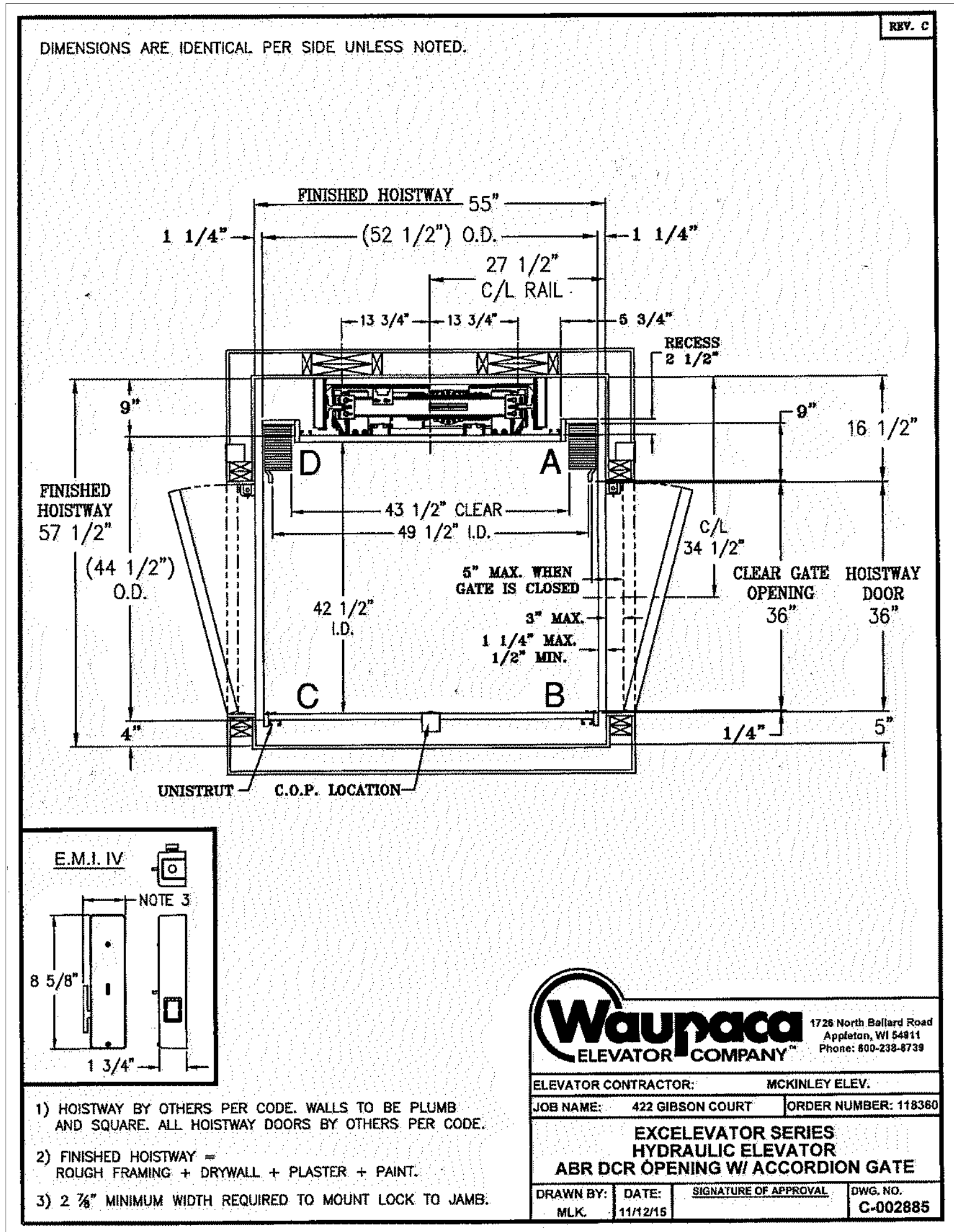
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LEGENDS :

- (E) EXISTING
- (N) NEW



1 PROPOSED BUILDING SECTION
SCALE : 3/16" = 1'-0"



ELEVATOR SPECIFICATIONS :

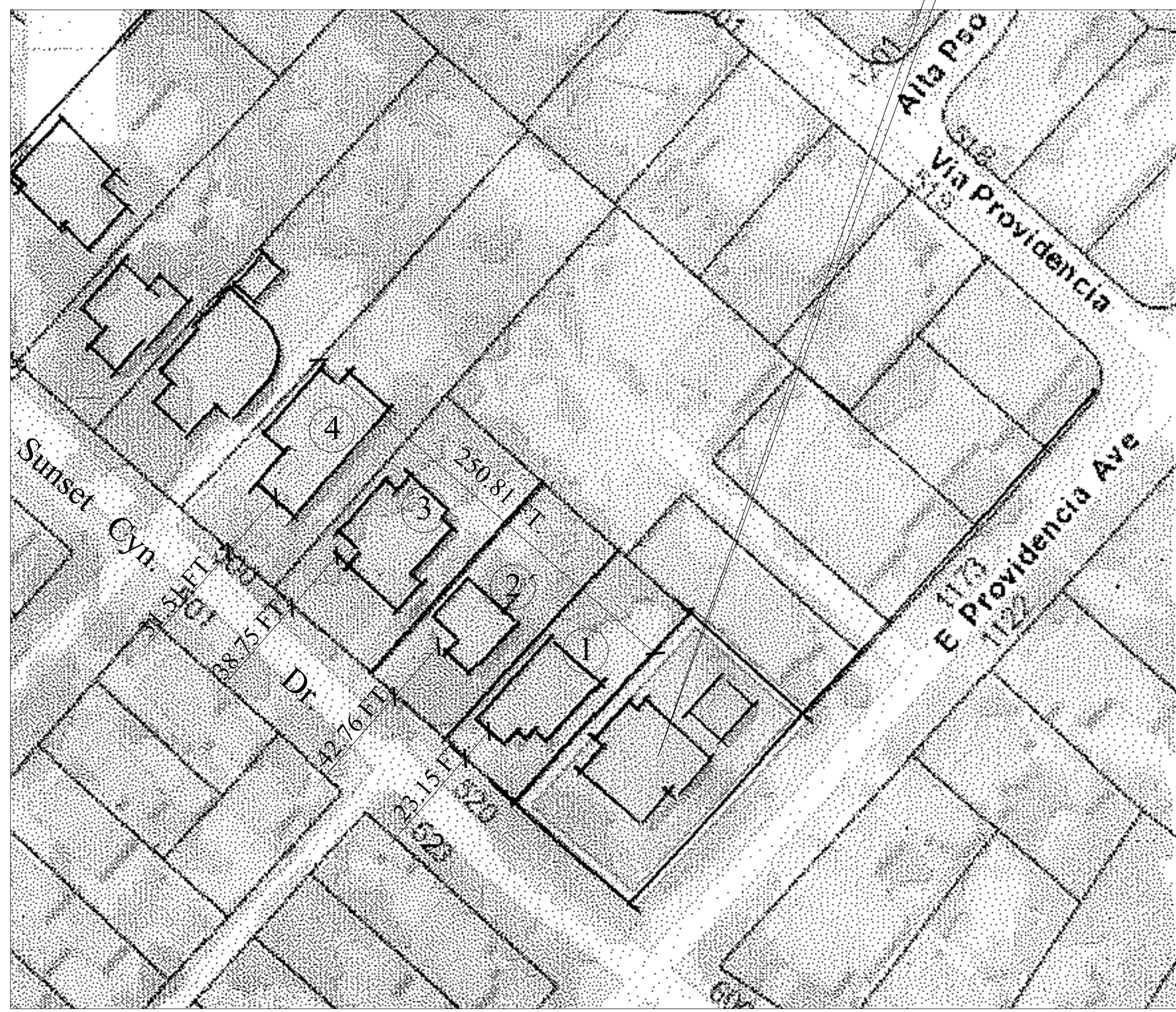
Waupaca
ELEVATOR COMPANY
1726 North Ballard Road
Appleton, WI 54911
Phone: 800-233-8739

ELEVATOR CONTRACTOR: MCKINLEY ELEV.
JOB NAME: 422 GIBSON COURT ORDER NUMBER: 118360

EXCELEVATOR SERIES
HYDRAULIC ELEVATOR
ABR DCR OPENING W/ ACCORDION GATE

DRAWN BY: MLK DATE: 11/12/15 SIGNATURE OF APPROVAL: DWG. NO. C-002885

- 1) HOISTWAY BY OTHERS PER CODE. WALLS TO BE PLUMB AND SQUARE. ALL HOISTWAY DOORS BY OTHERS PER CODE.
- 2) FINISHED HOISTWAY = ROUGH FRAMING + DRYWALL + PLASTER + PAINT.
- 3) 2 3/4" MINIMUM WIDTH REQUIRED TO MOUNT LOCK TO JAMS.



2 AVERAGE SETBACK CALCULATION
SCALE : 3/16" = 1'-0"

AVERAGE SETBACK CALCULATIONS WITHIN 250' ON THE BLOCK FACE :

①	520 S. SUNSET CYN. DR.	23'-2"
②	512 S. SUNSET CYN. DR.	42'-9"
③	506 S. SUNSET CYN. DR.	38'-9"
④	500 S. SUNSET CYN. DR.	31'-6"
AVERAGE =		34'-0"

Revisions	By

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(818) 956-0570

PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT
526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DWG. TITLE : PROPOSED HOUSE (PROPOSED) BLDG. SECTIONS, AVERAGE SETBACK CALC. & ELEVATOR SPECS.

Drawn by
NEIL A.

Checked by
V. J.

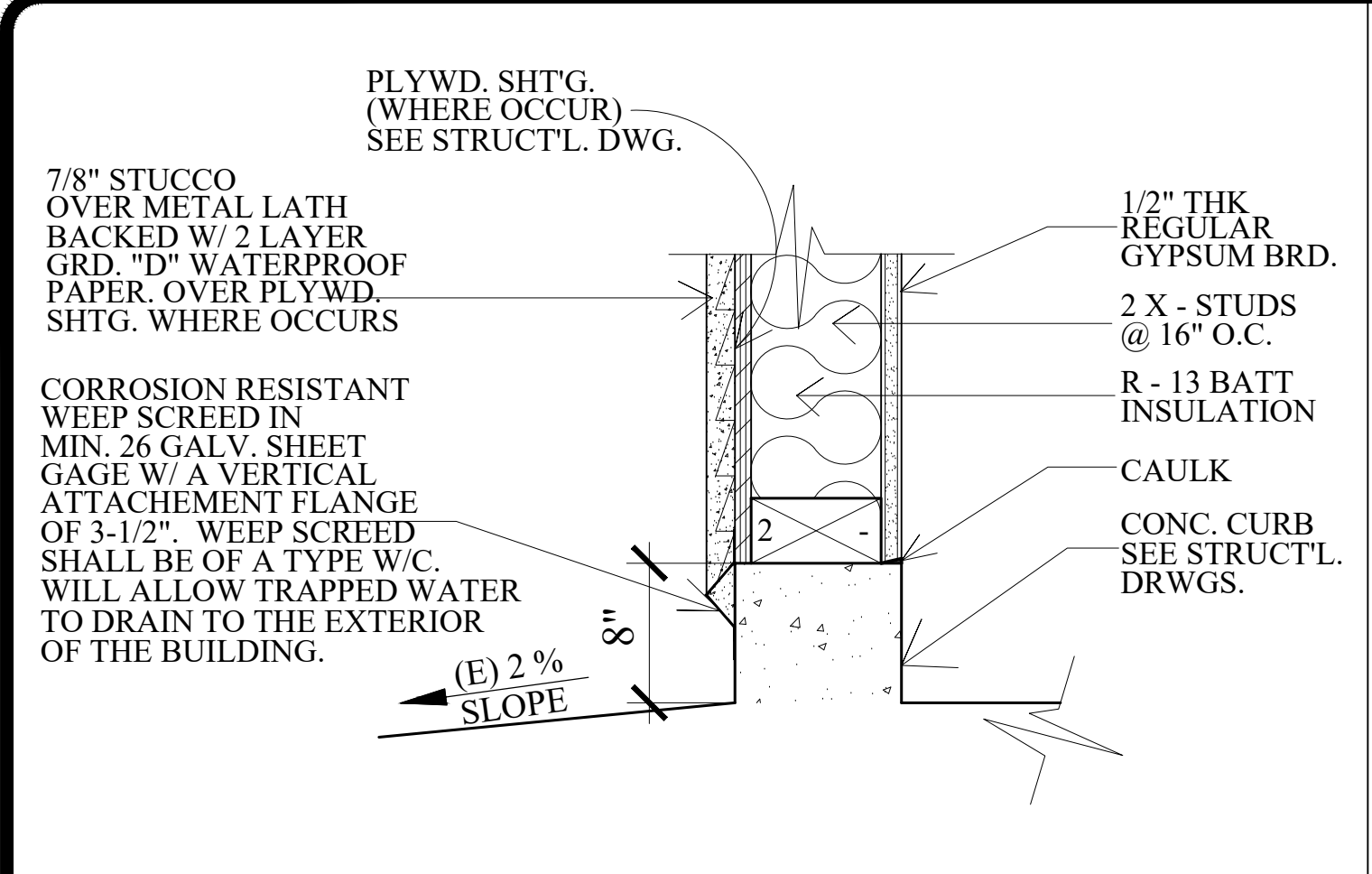
Date
SEPT. 10, 2023

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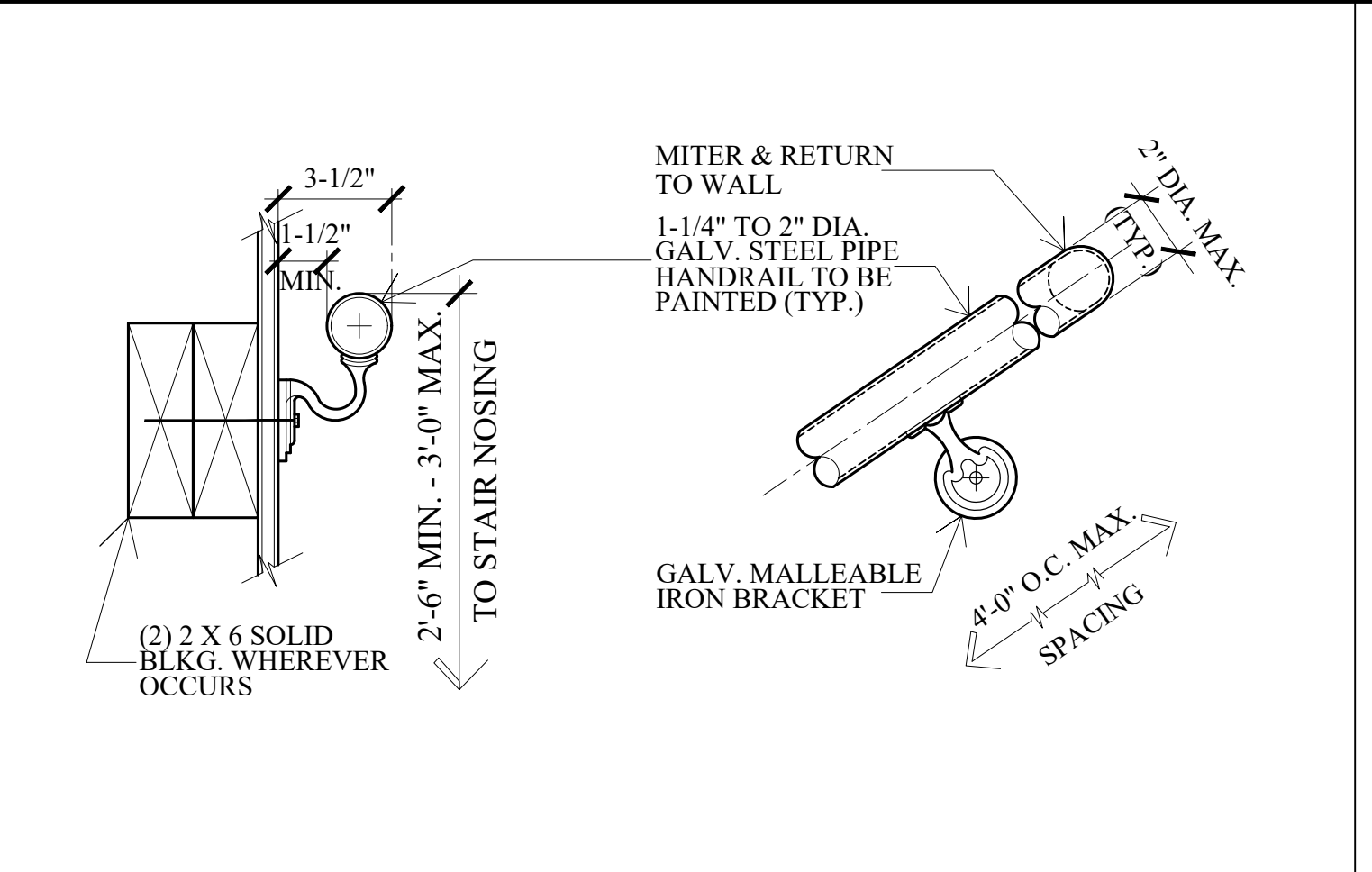
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Sheet No.
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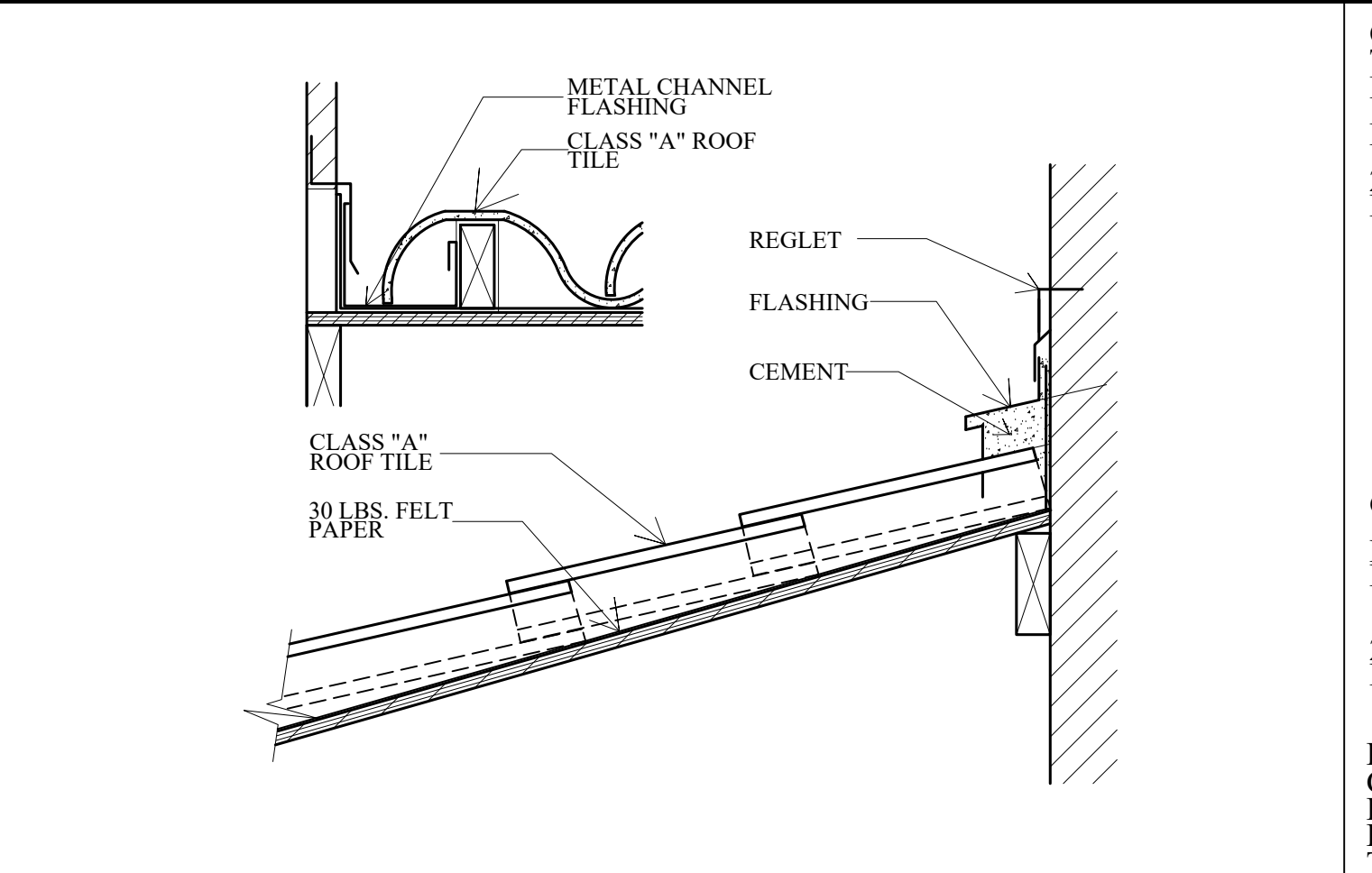
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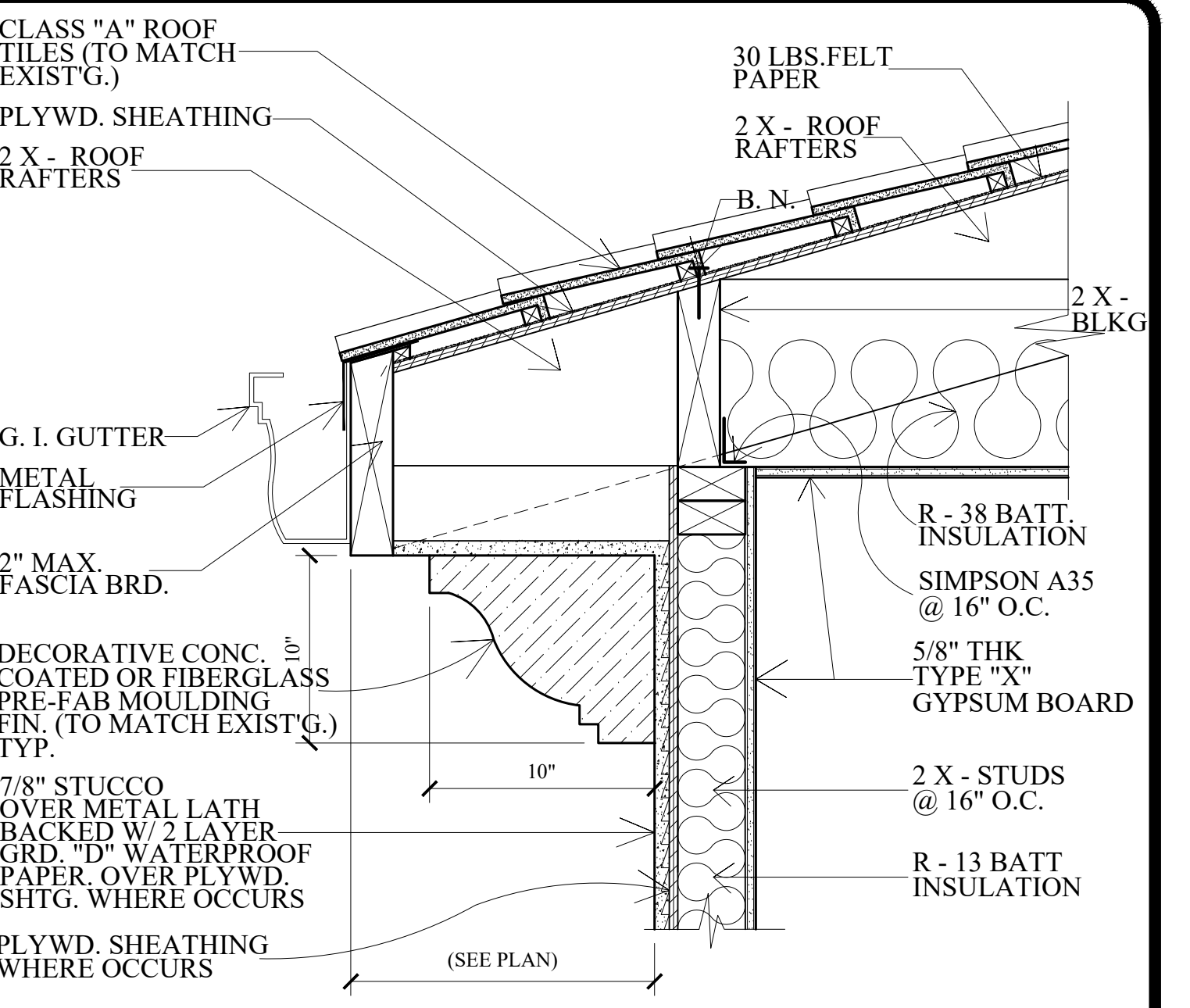
WALL DETAIL N.T.S. 12



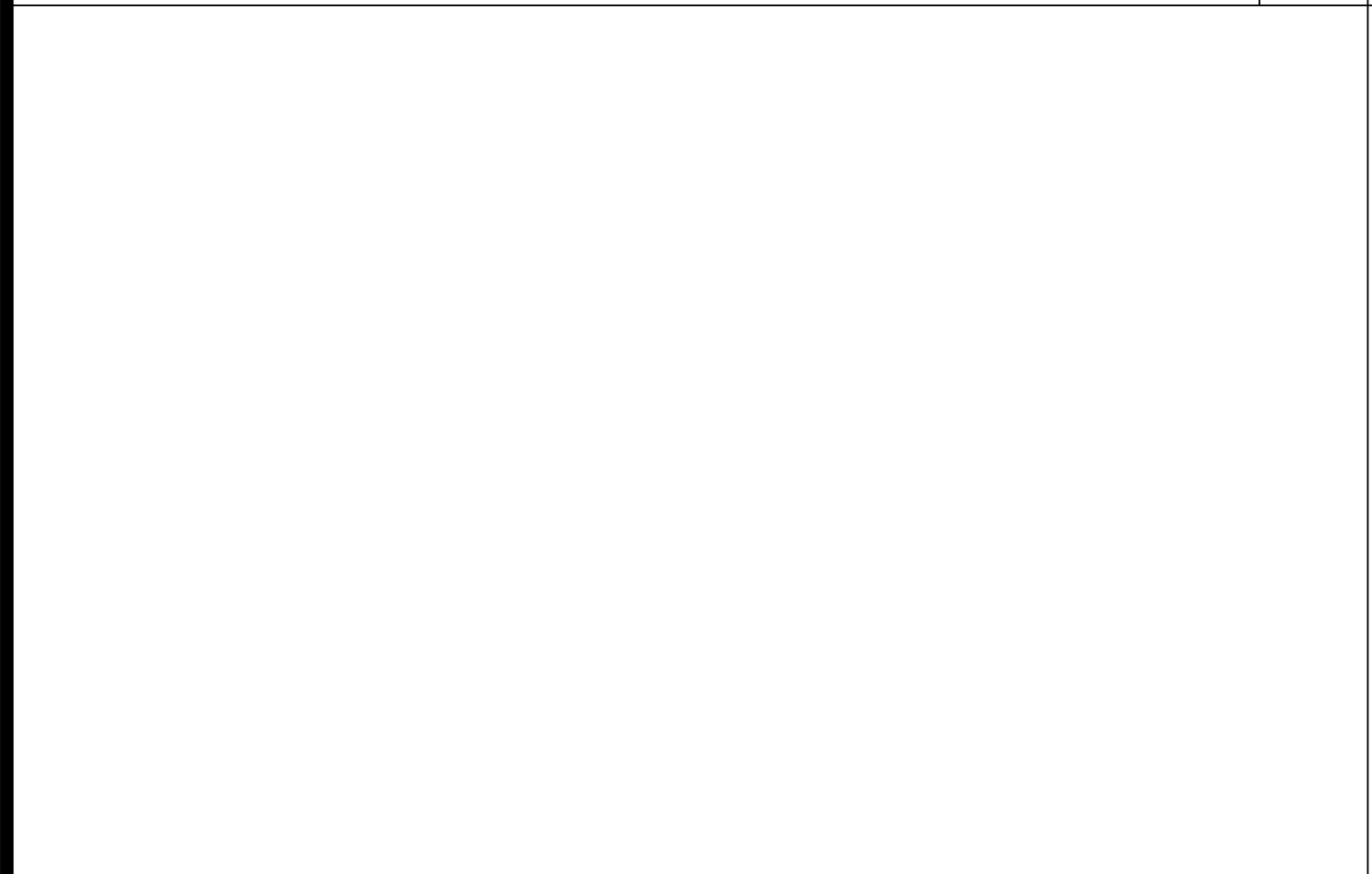
STAIR HANDRAIL DETAIL (ATTACHED TO WALL) N.T.S. 9



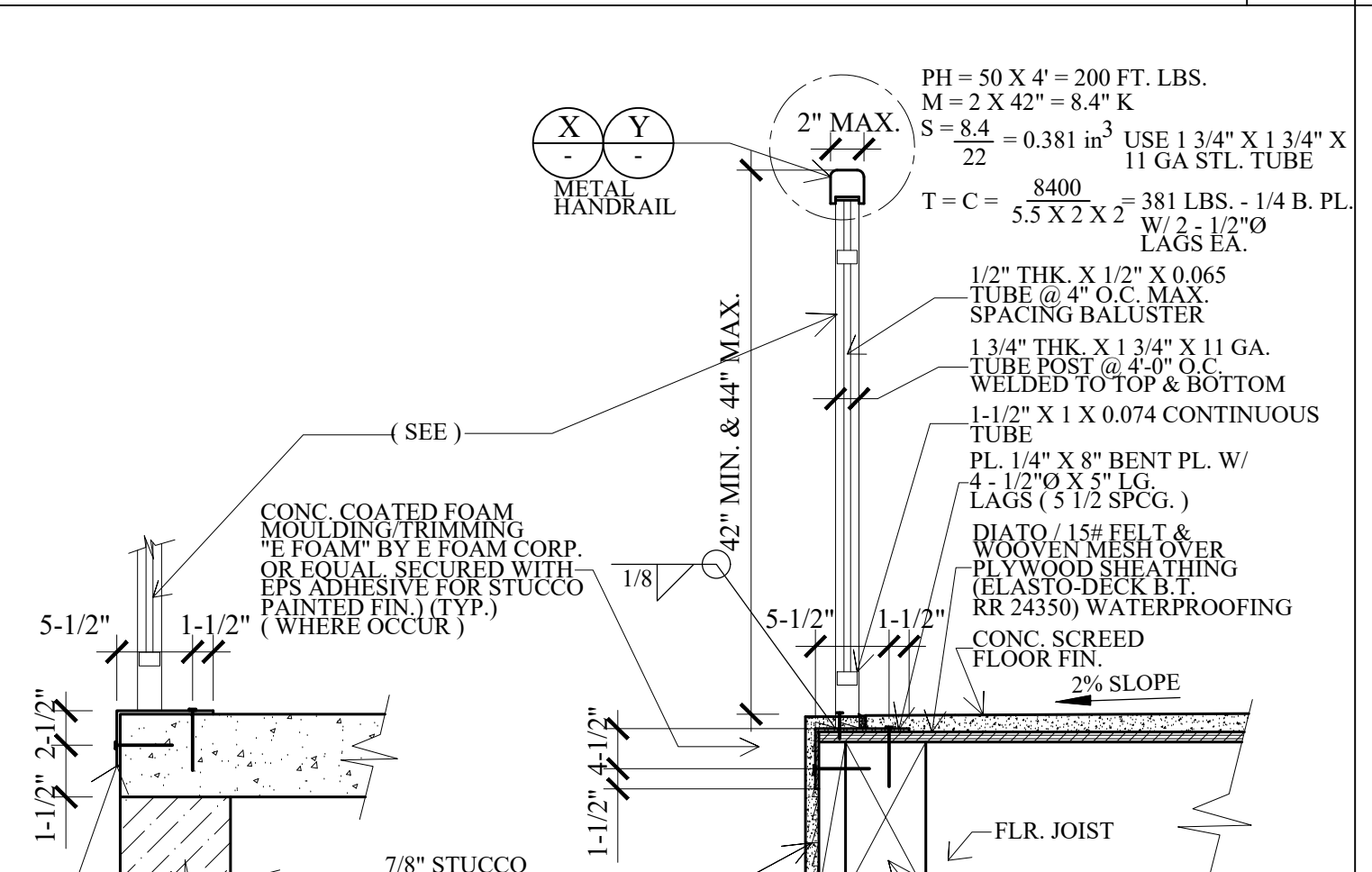
ROOF TILE DETAIL N.T.S. 5



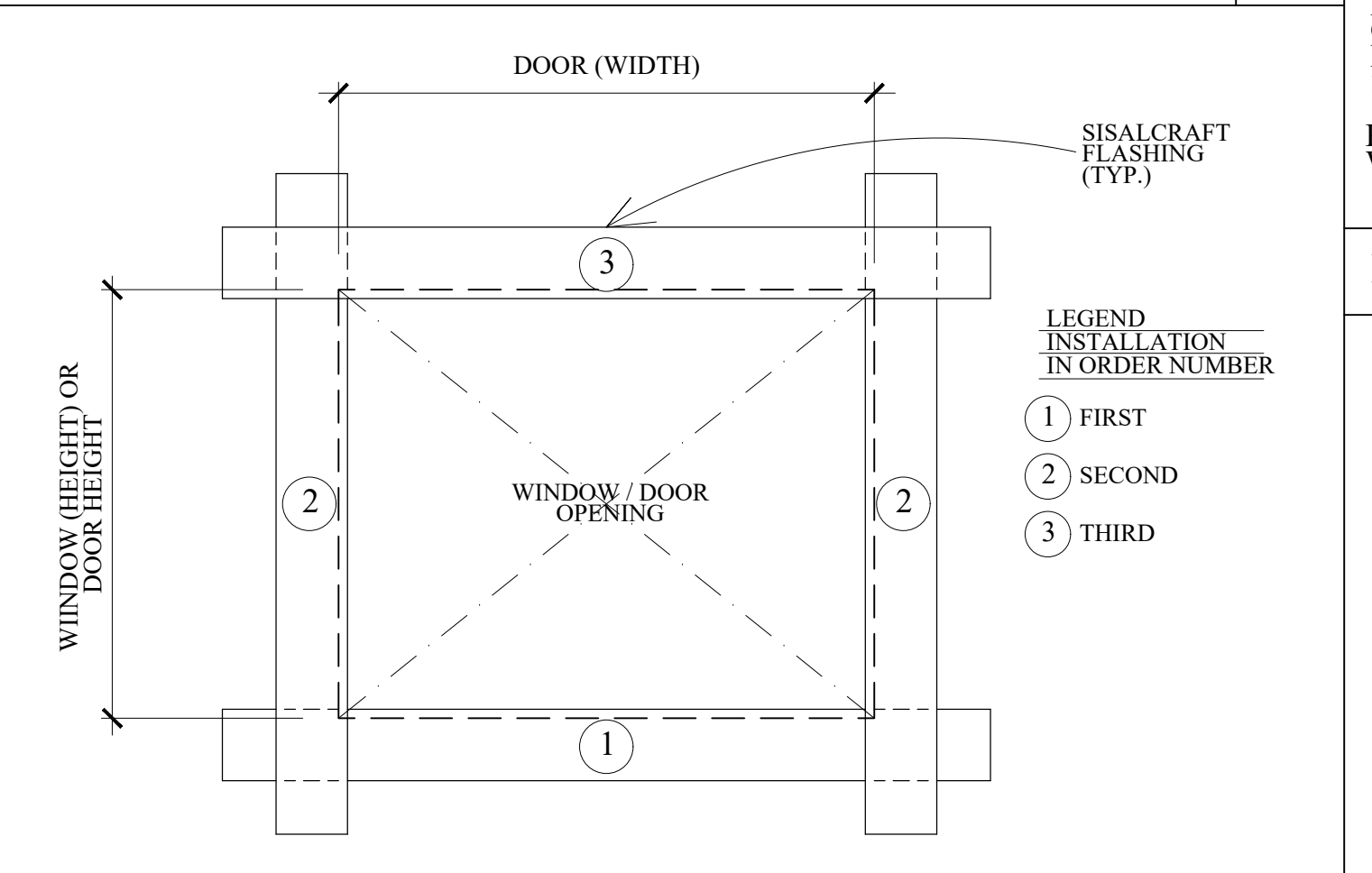
ROOF EAVES DETAIL N.T.S. 1



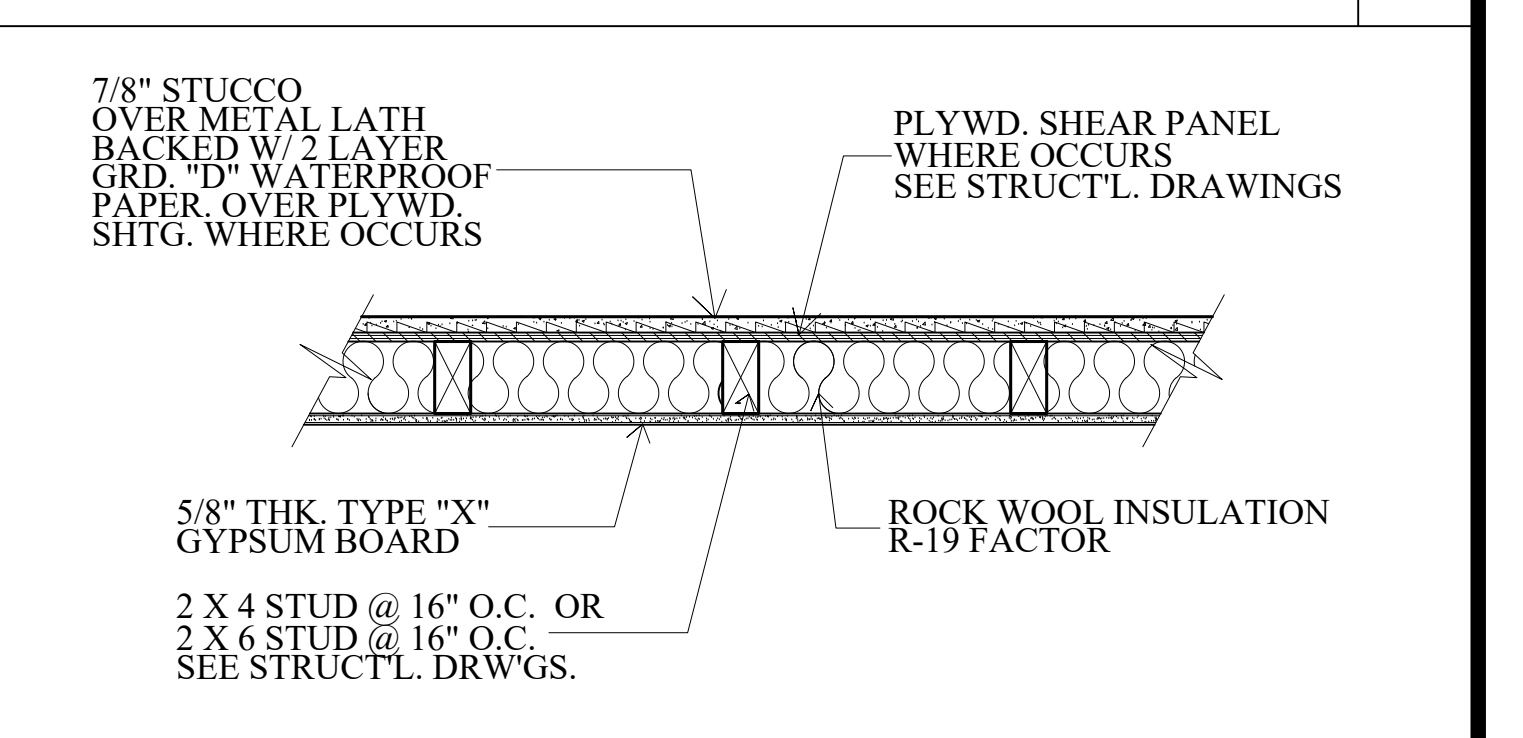
DETAIL N.T.S. 13



TYP. WINDOWS & DOORS FLASHING DET. ELEVATION N.T.S. 6



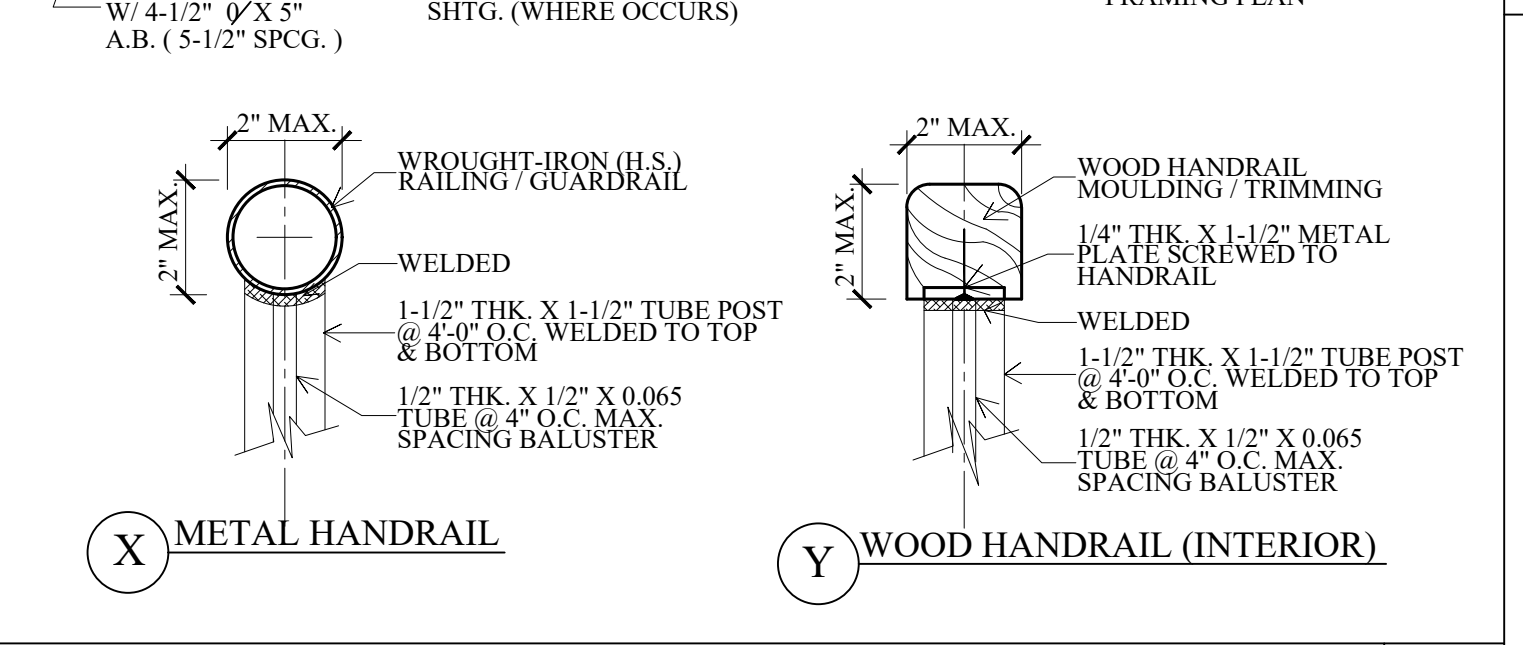
WALL DETAIL N.T.S. 2



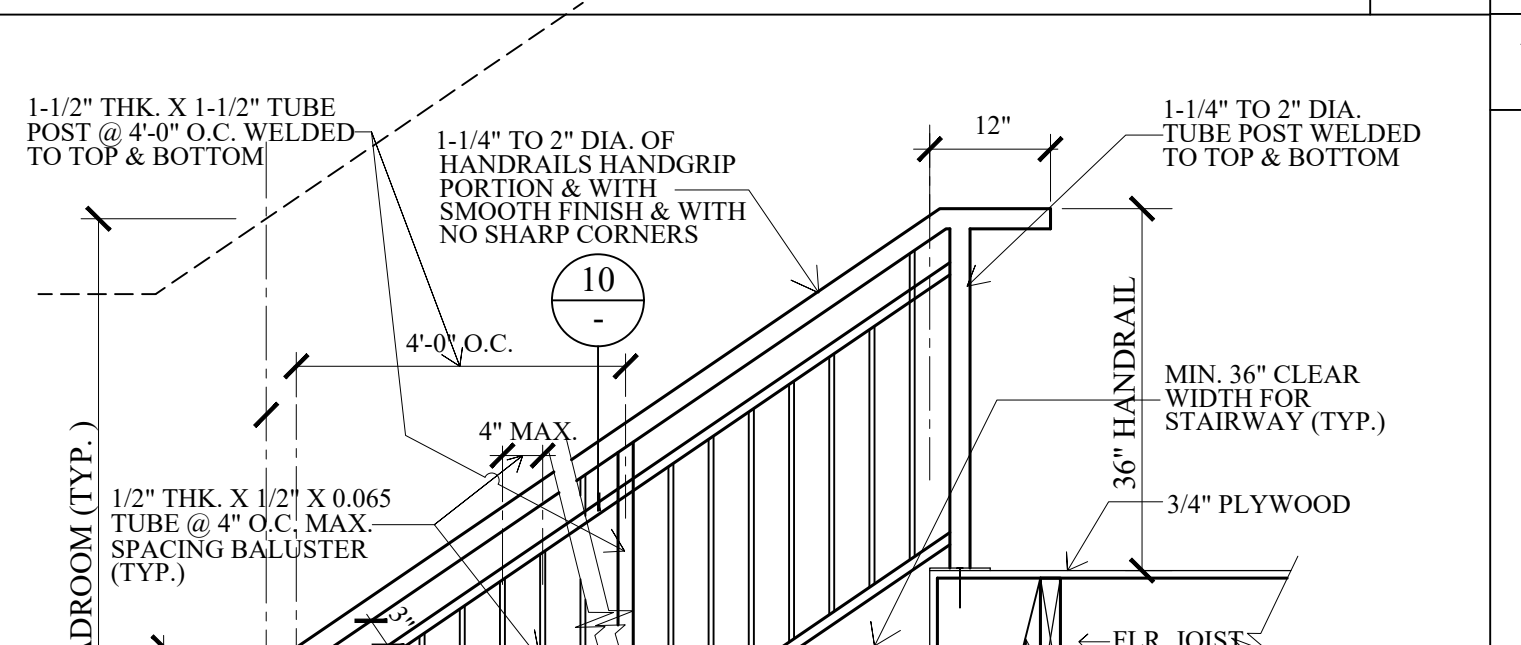
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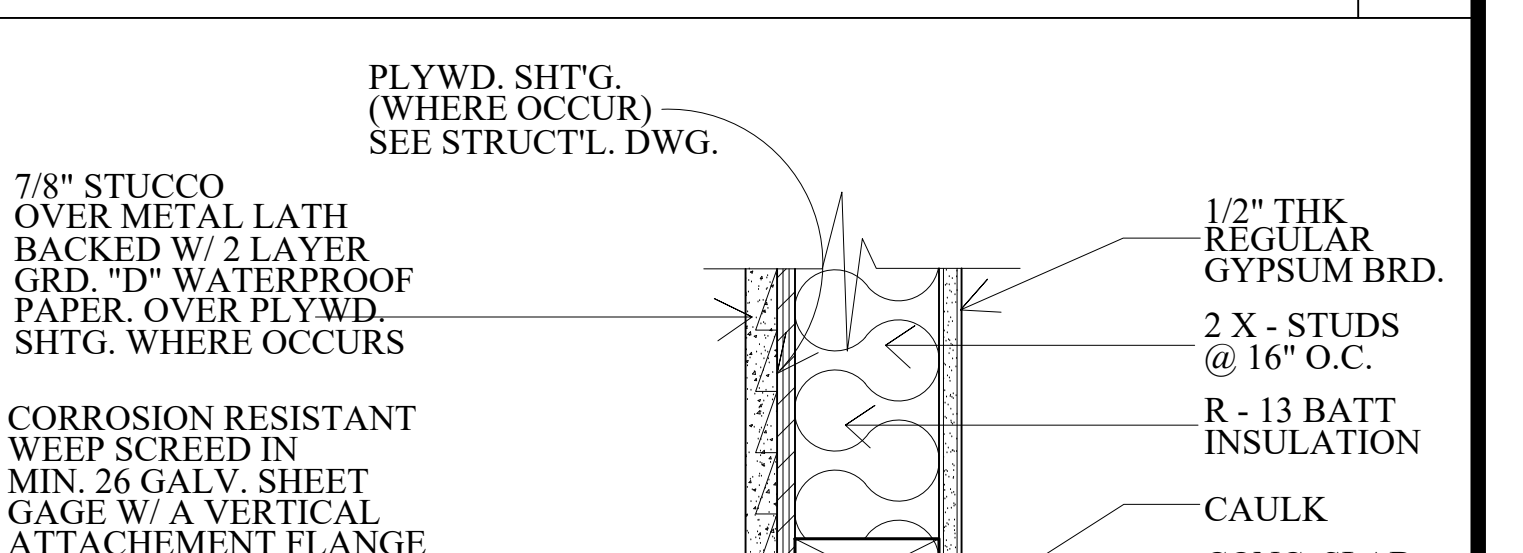
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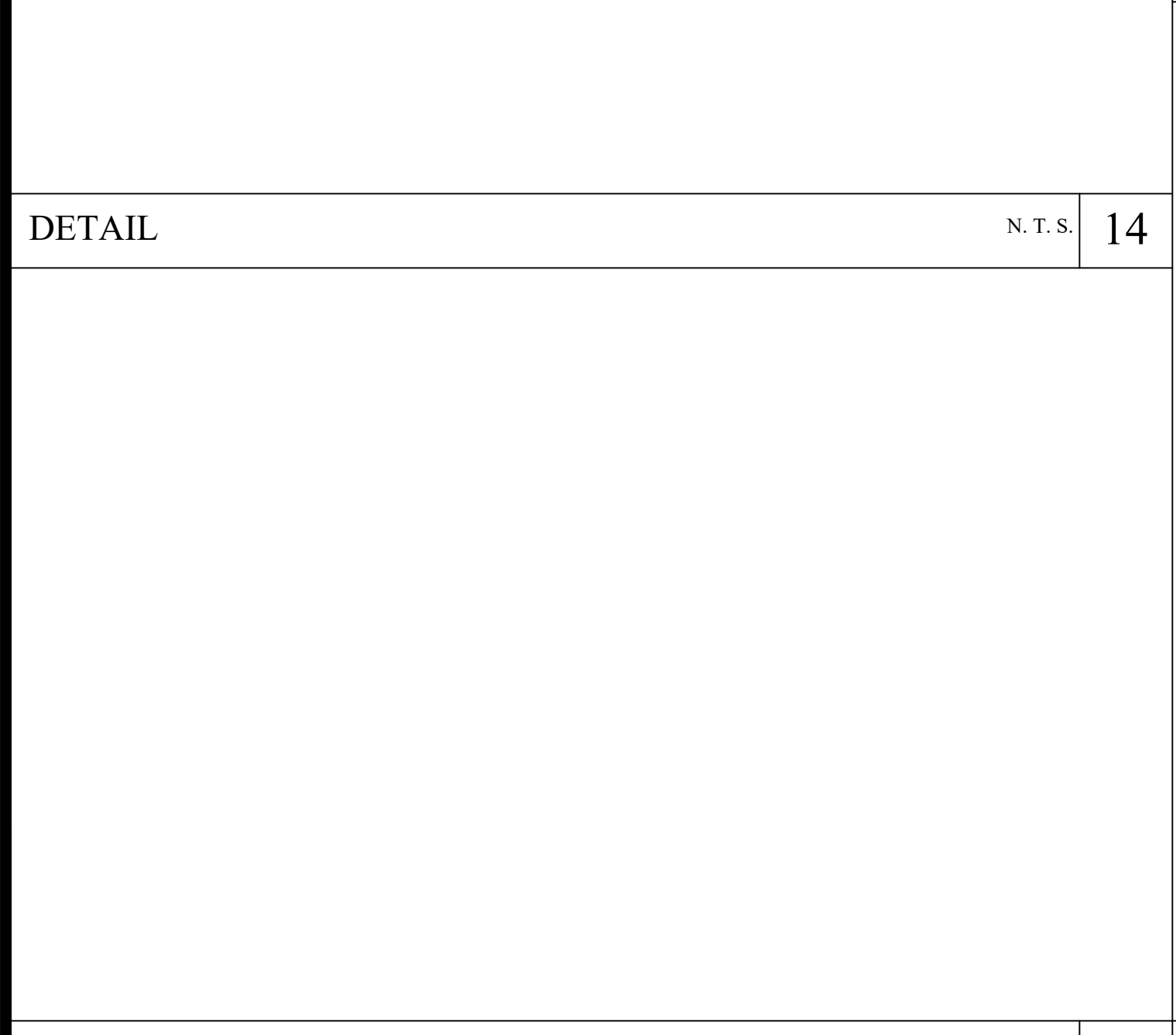
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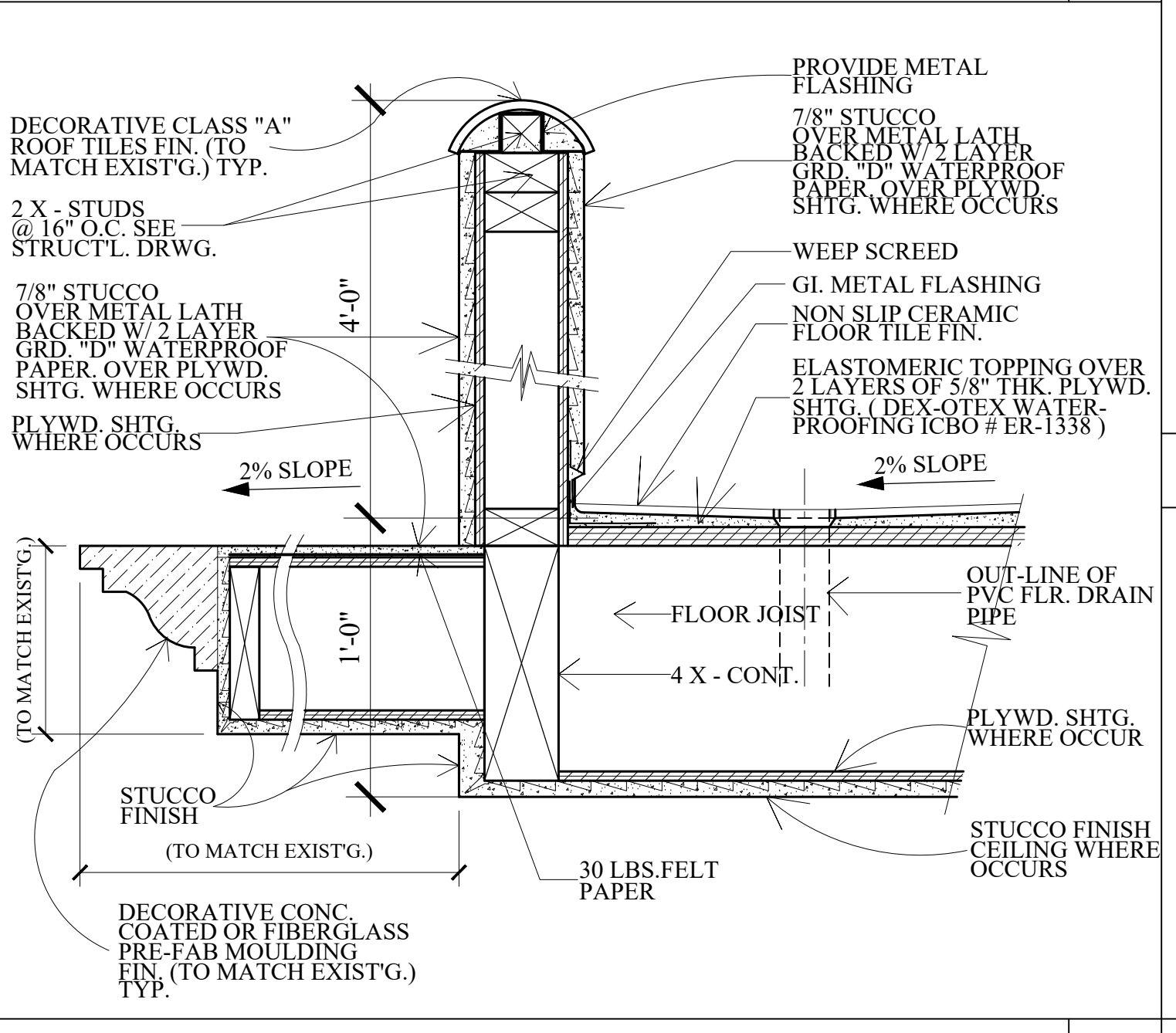
STAIR DETAIL N.T.S. 7



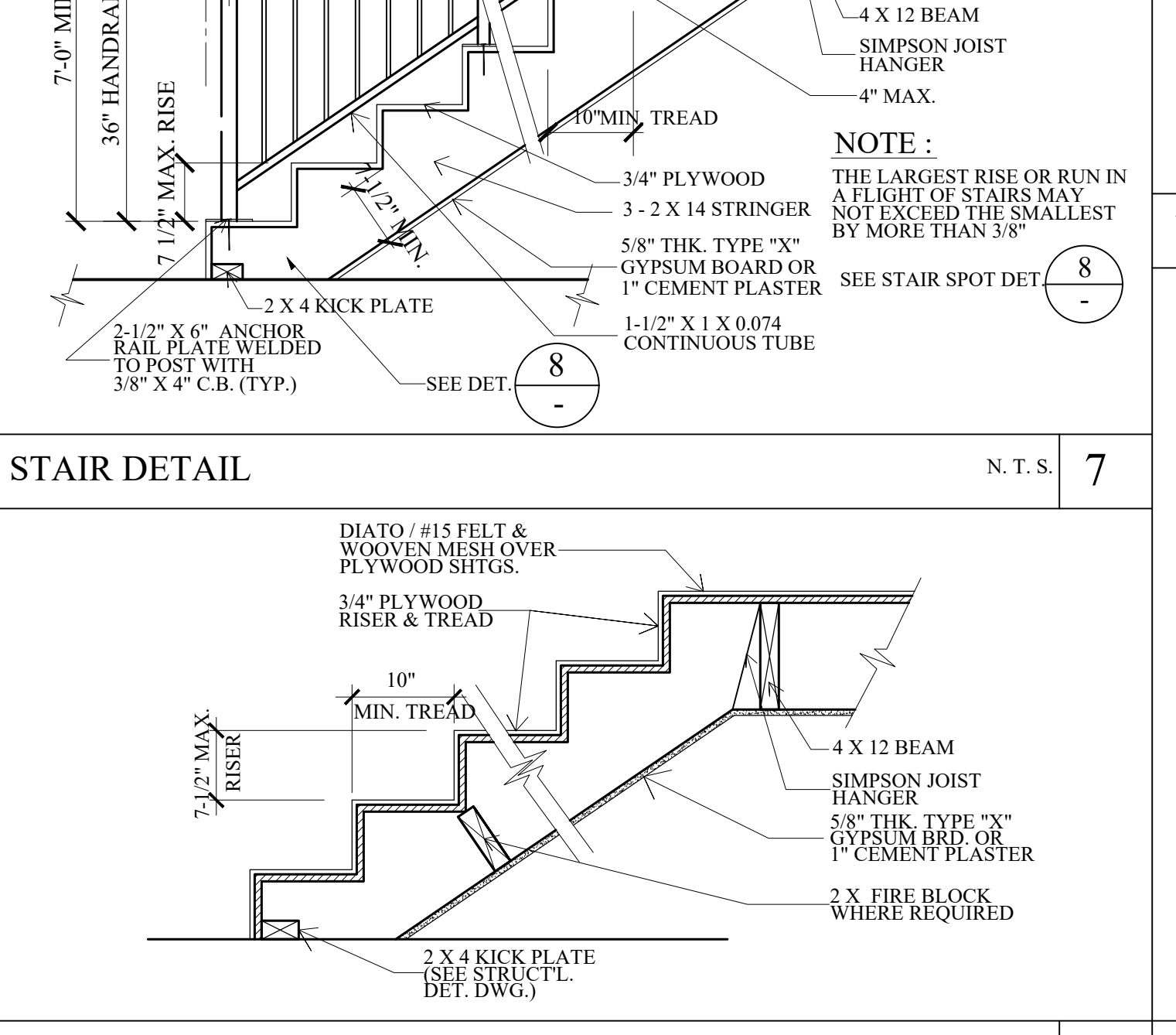
WEEP SCREED ON WALL DETAIL N.T.S. 3



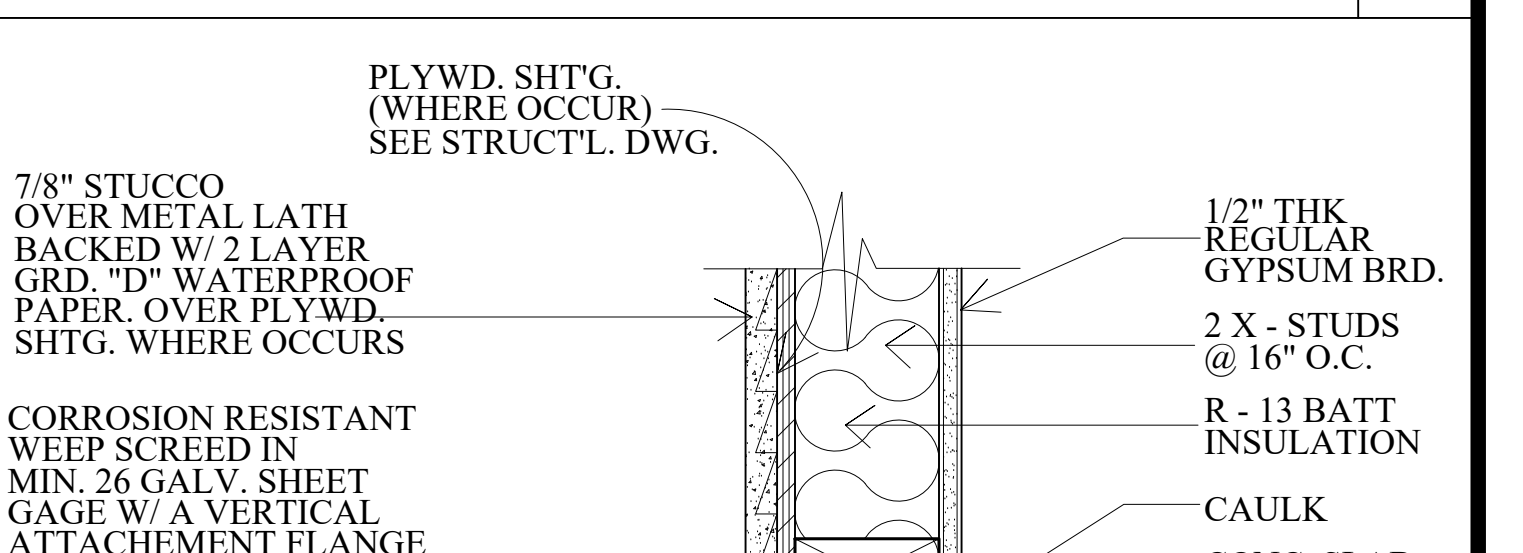
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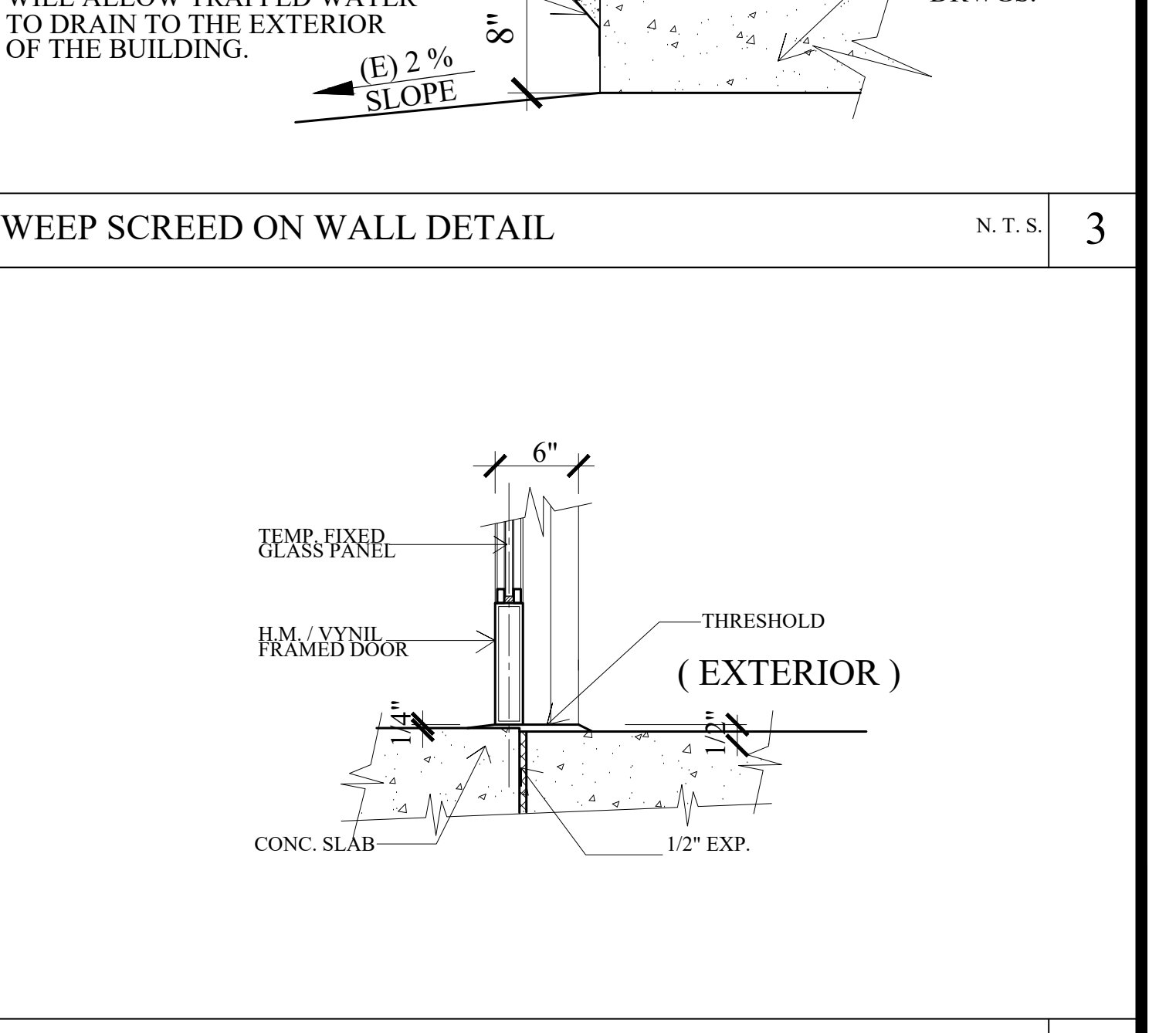
STAIR DETAIL N.T.S. 7



STAIR DETAIL N.T.S. 7



WEEP SCREED ON WALL DETAIL N.T.S. 3



DOOR THRESHOLD DETAIL N.T.S. 4

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PROJECT TITLE: FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR.: 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER: MARINA ISQUANT
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE: ARCHITECTURAL DETAILS

Drawn by
 NEIL A.

Checked by
 V.J.

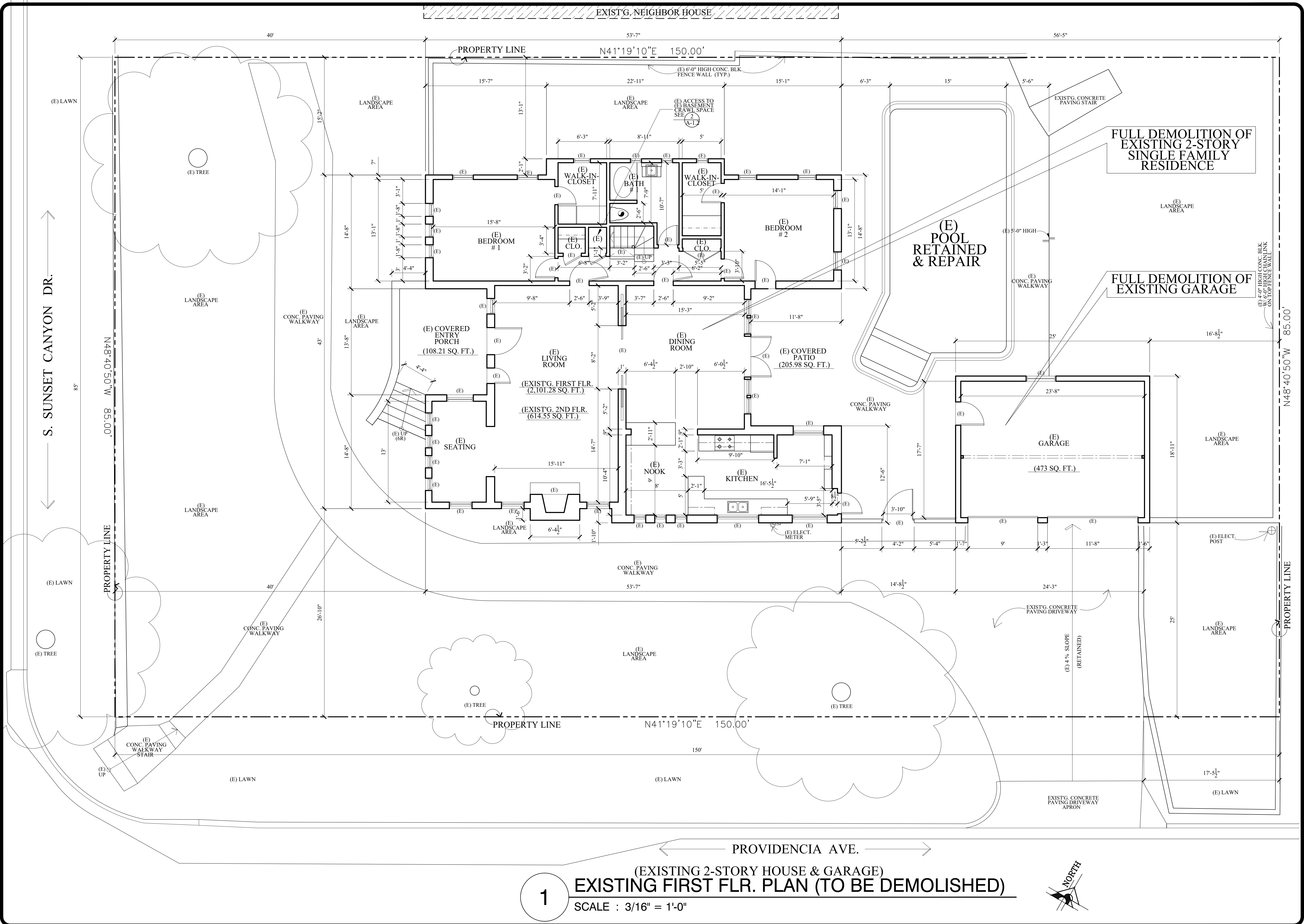
Date
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Scale
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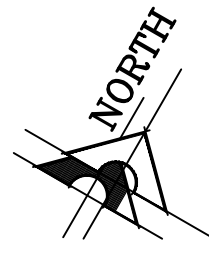
Job No.

Sheet No.
A-10

of
 Sheets



1 (EXISTING 2-STORY HOUSE & GARAGE)
EXISTING FIRST FLR. PLAN (TO BE DEMOLISHED)
 SCALE : 3/16" = 1'-0"



Revisions	By

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PROJ. TITLE : **FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY**

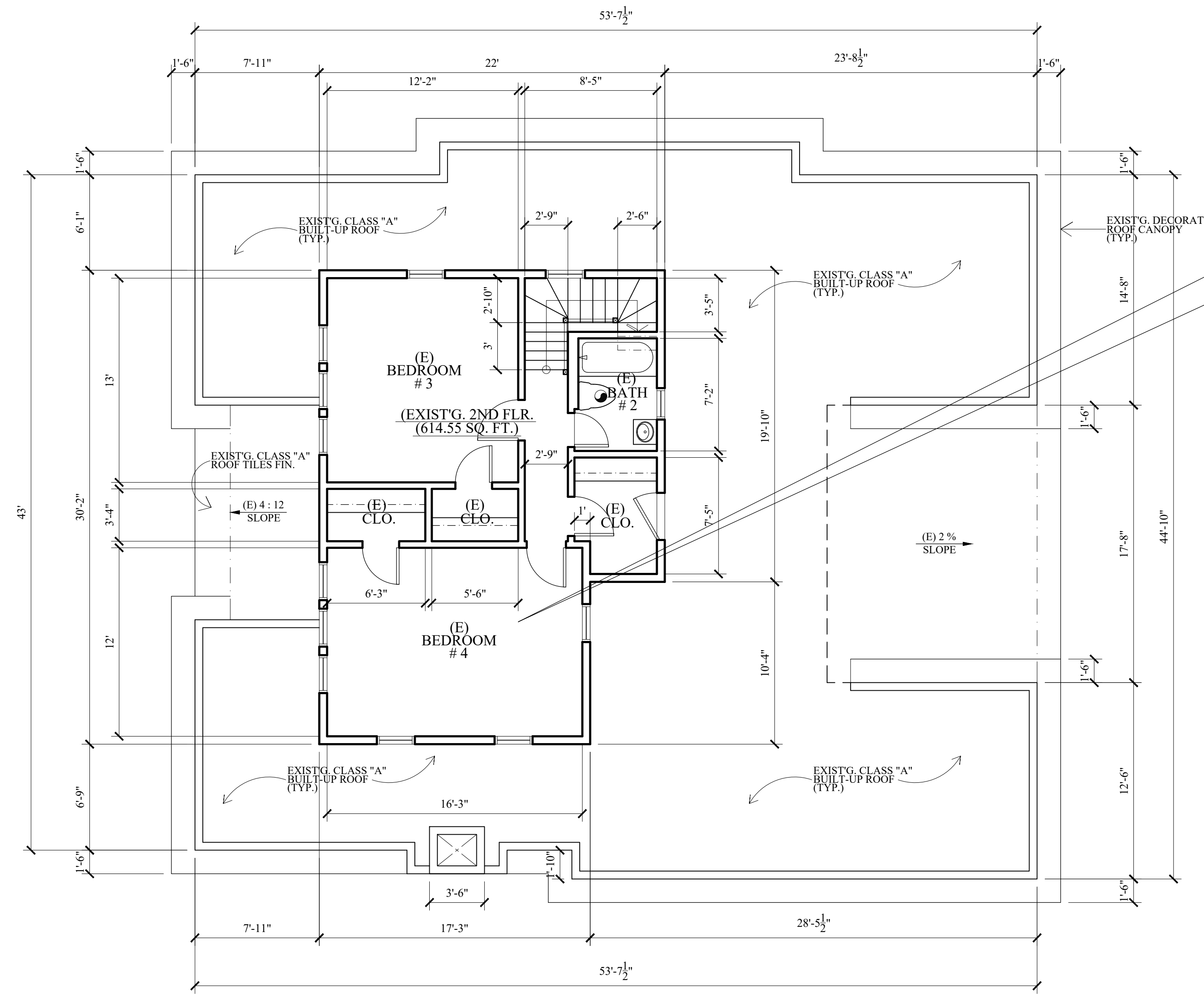
PROJ. ADDR. : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : (EXISTING HOUSE & GARAGE) EXISTG. / AS BUILT FIRST FLR. PLAN (TO BE DEMOLISHED), LEGENDS & NOTES

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NEIL A.
 Checked by
V. J.
 Date
SEPT. 13, 2023
 Scale
3/16" = 1'-0"
 Job No.

Sheet No.
D-1
 of Sheets



1
 (EXISTING 2-STORY HOUSE)
**EXIST'G. SECOND FLOOR
 PLAN TO BE DEMOLISHED**
 SCALE : 3/16" = 1'-0"

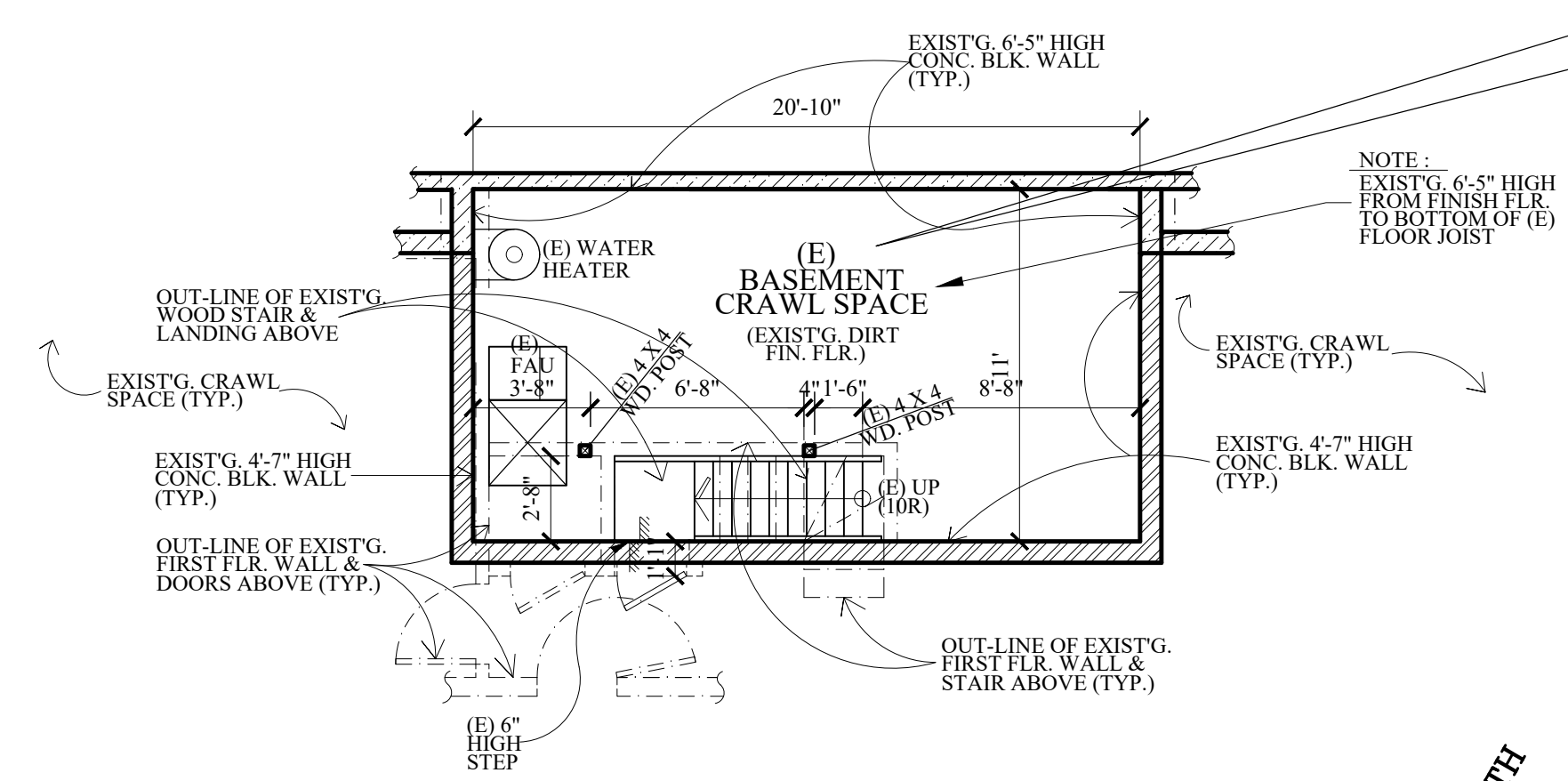
FULL DEMOLITION OF
 EXISTING 2-STORY
 SINGLE FAMILY
 RESIDENCE

NOTES :

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSION OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

LEGENDS :

(E) EXISTING



2
 (EXISTING 2-STORY HOUSE)
**EXIST'G. BASEMENT
 TO BE DEMOLISHED**
 SCALE : 3/16" = 1'-0"

FULL DEMOLITION OF
 EXISTING 2-STORY
 SINGLE FAMILY
 RESIDENCE INCLUDING
 EXIST'G. BASEMENT

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PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY

PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUINT
 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

DRWG. TITLE : EXIST'G. SECOND FLOOR PLAN, EXIST'G. BASEMENT PLAN, EXIST'G. LEGENDS & NOTES

Drawn by
NEIL A.

Checked by
V. J.

Date
 SEPT. 13, 2023

Scale
 3/16" = 1'-0"

Job No.

Sheet No.
D-2

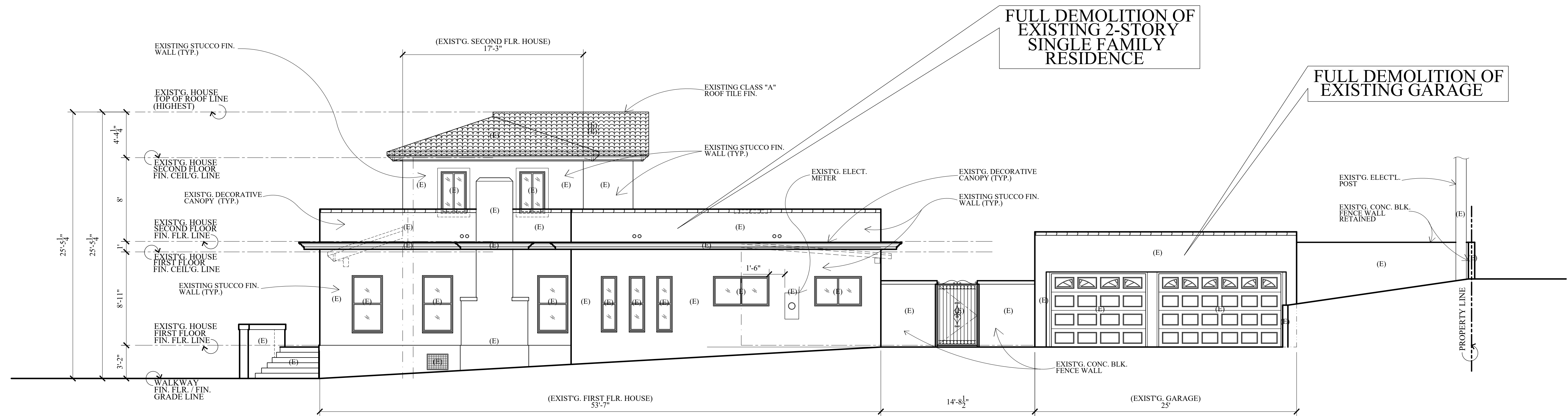
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NOTES :
 1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL SITE CONDITIONS, DRAWING DIMENSIONS AND ELEVATIONS BEFORE COMMENCING ANY PORTION OF THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE THE CONTRACTOR'S FULL ACCEPTANCE OF EXISTING SITE CONDITION AND PROPOSED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION FOR FABRICATION OF THE WORK.

LEGENDS :
 (E) EXISTING



1
 (EXISTING 2-STORY HOUSE)
EXISTING FRONT / WEST ELEVATION TO BE DEMOLISHED
 SCALE : 3/16" = 1'-0"



2
 (EXISTING 2-STORY HOUSE & GARAGE)
EXISTING RIGHT SIDE / SOUTH ELEVATION TO BE DEMOLISHED
 SCALE : 3/16" = 1'-0"

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PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501

OWNER : MARINA ISQUANT
 526 S. SUNSET CYN. DR. BURBANK, CA. 91501

DRWG. TITLE : **EXIST'G. HOUSE (EXIST'G. AS BUILT) ELEVATIONS W/EXIST'G. GARAGE FRONT ELEV. (TO BE DEMOLISHED)**

Drawn by
NEIL A.

Checked by
V. J.

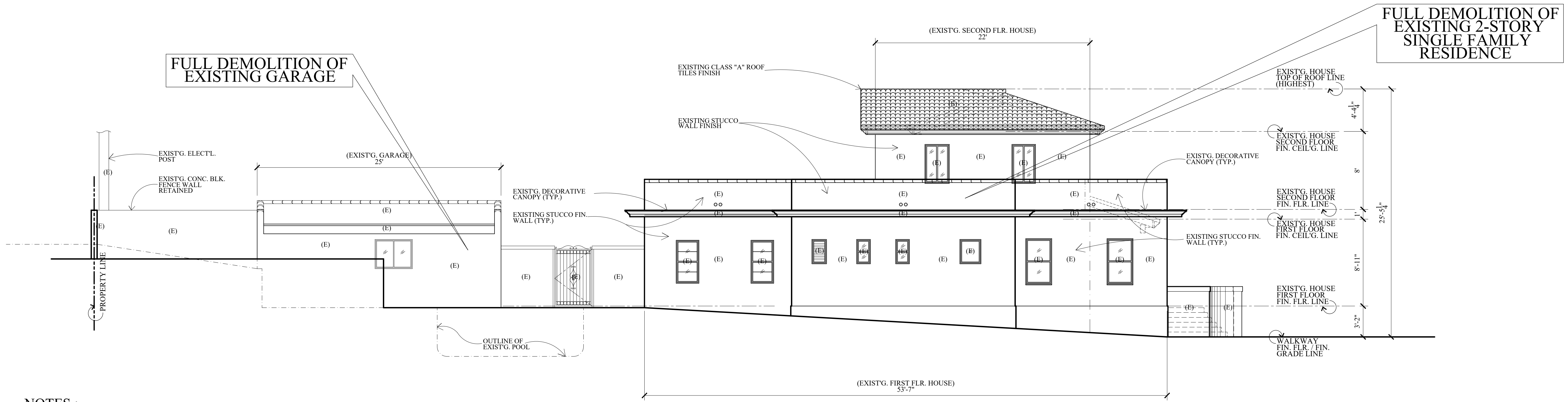
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SEPT. 13, 2023

Scale
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Job No.

Sheet No.
D-3

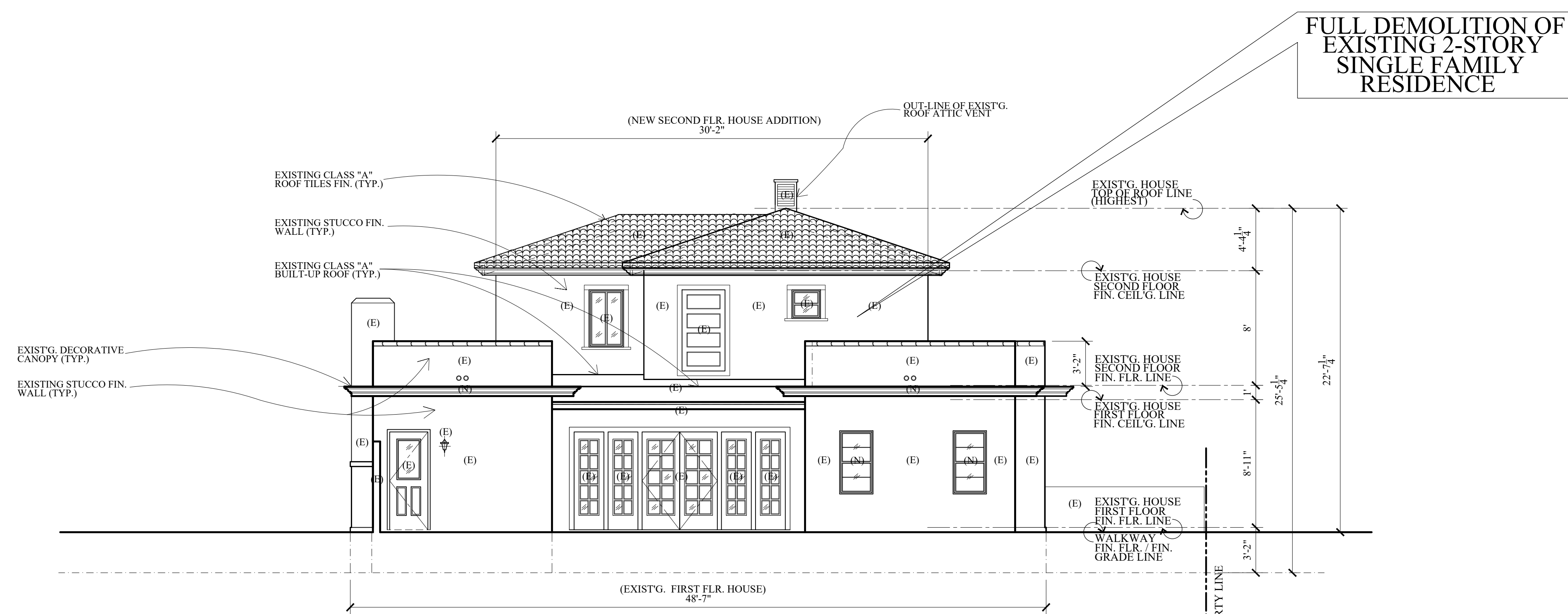
of Sheets



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LEGENDS :
 (E) EXISTING

(EXISTING 2-STORY HOUSE & GARAGE)
EXISTING LEFT SIDE / NORTH ELEVATION TO BE DEMOLISHED
 1 SCALE : 3/16" = 1'-0"



(EXISTING 2-STORY HOUSE)
EXISTING REAR / EAST ELEVATION TO BE DEMOLISHED
 2 SCALE : 3/16" = 1'-0"

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PROJ. TITLE : FULL DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND GARAGE AND LIKE-FOR-LIKE REPLACEMENT DUE TO STRUCTURAL DEFICIENCY
 PROJ. ADDR : 526 S. SUNSET CYN., DR., BURBANK, CA. 91501
 OWNER : MARINA ISQUINT
 526 S. SUNSET CYN. DR., BURBANK, CA. 91501
 DRWG. TITLE : EXIST'G. HOUSE (EXIST'G. AS-BUILT) ELEVATIONS W/EXIST'G. GARAGE REAR ELEV. (TO BE DEMOLISHED).

Drawn by
 NEIL A.
 Checked by
 V. J.
 Date
 SEPT. 13, 2023
 Scale
 3/16" = 1'-0"
 Job No.

Sheet No.
D-4
 of Sheets

BASIS OF BEARINGS:

THE BEARING OF N41°19'10"E, SHOWN FOR THE CENTERLINE OF PROVIDENCIA AVENUE ON TRACT NO. 22255, MAP BOOK 598, PAGE 44, WAS USED AS THE BASIS OF BEARINGS HEREON.

CITY BENCHMARK:

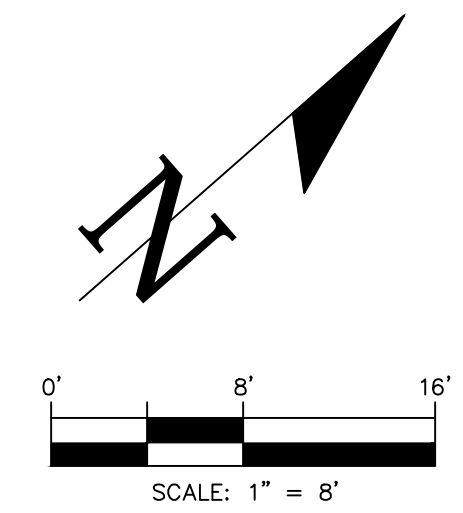
BENCH MARK: BM 1809-1
DATUM: NAVD 1988
ELEVATION: 807.165 FEET
DESCRIPTION: 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 1809-1 AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SUNSET CANYON DRIVE AND PROVIDENCIA AVENUE

LEGAL DESCRIPTION:

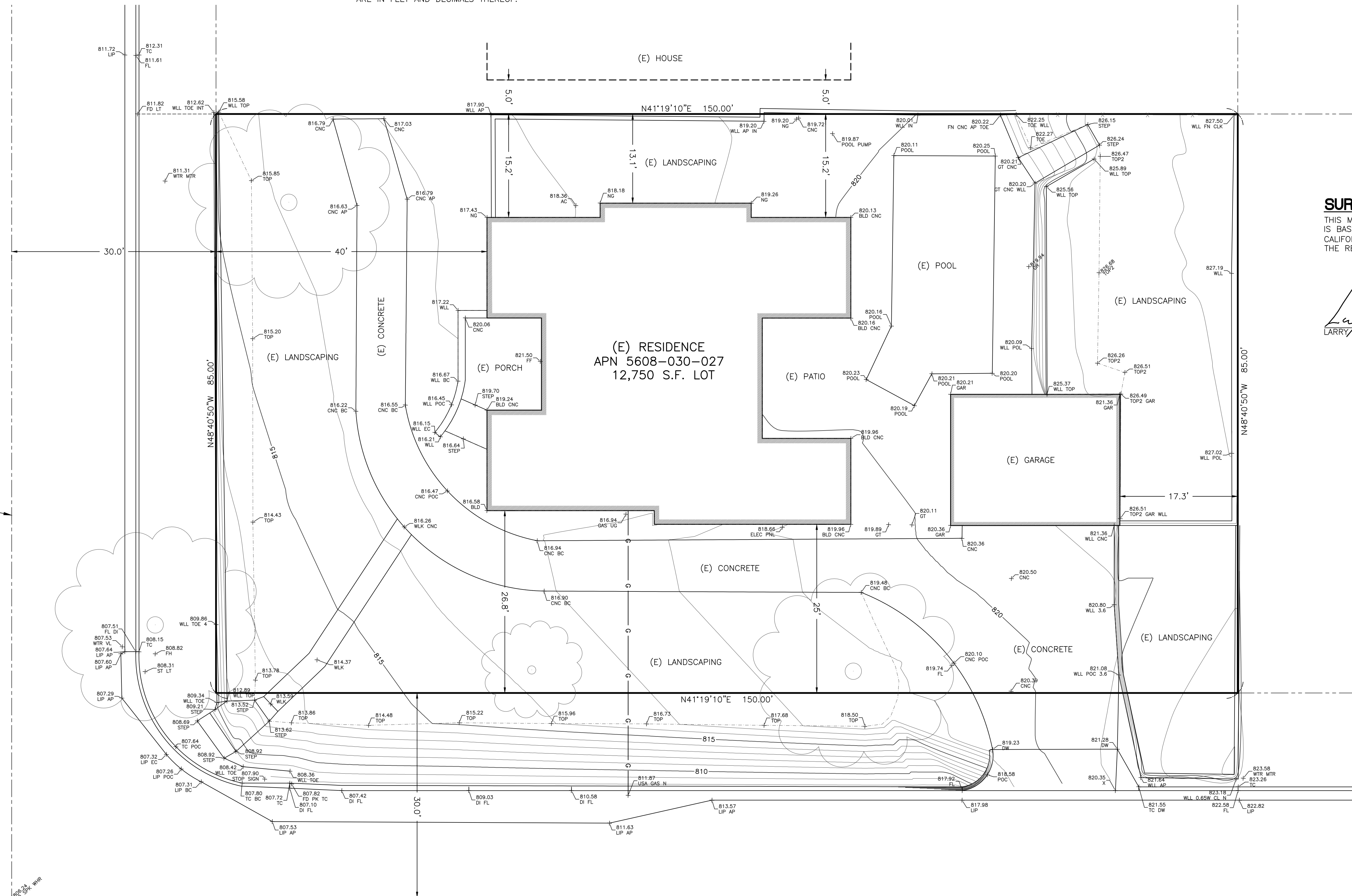
THE SOUTHEASTERLY 85 FEET OF THE SOUTHWESTERLY 150 FEET OF LOT 14 OF VILLA LOTS AS PER MAP RECORDED IN BOOK 31, PAGE 25 OF MISCELLANEOUS RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN 5608-030-027

NOTES:

ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.



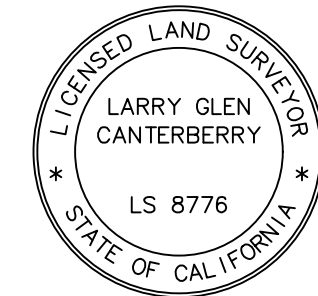
☐ S. SUNSET CANYON DRIVE



SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF MARINA ISOUNTS IN FEBRUARY OF 2019.

Larry G. Canterbury 2/11/19
LARRY G. CANTERBERRY, LS 8776 DATE



LEGEND:

- ⊙ (E) POWER POLE
- x — (E) FENCE
- OHE — (E) OVERHEAD POWER
- G — (E) GAS

ABBREVIATIONS:

- AC = ASPHALT CONCRETE
- AP = ANGLE POINT
- CNC = CONCRETE
- CLK = CHAIN-LINK
- COR = CORNER
- DI = DROP INLET
- DW = DRIVEWAY
- (E) = EXISTING
- EP = EDGE OF PAVEMENT
- FD = FOUND
- FC = FACE OF
- FF = FINISH FLOOR
- FL = FLOWLINE
- FN = FENCE
- GR = GRASS
- INV = INVERT
- IP = IRON PIPE
- LP = LOW POINT
- NG = NATURAL GROUND
- MH = MANHOLE
- MON = MONUMENT
- OHE = OVERHEAD ELECTRIC LINE
- PP = POWERPOLE
- RET = RETENTION WALL
- RW = RIGHT-OF-WAY
- SD = STORM DRAIN
- SGN = SIGN
- SPG = WATER SPIGOT
- SMH = SEWER MANHOLE
- STP = STEP
- TC = TOP OF CURB
- TOE = TOE OF SLOPE
- TOP = TOP OF SLOPE
- WD = WOOD
- WI = WROUGHT IRON
- WLL = WALL

PREPARED BY:
CALIFORNIA ENGINEERING & SURVEYING INC
5210 MOLISE COURT, BAKERSFIELD, CA 93308
(661) 809-7372 glen@cclengr.com

DRAWN: GC
CHECKED: GC
DATE: 2/10/19
JOB NO.: 19-1202
DWG. NAME: TOPO

526 S. SUNSET CANYON DRIVE
TOPOGRAPHIC SURVEY
BURBANK, CA 91501 APN 5608-030-027

REVISIONS

SHEET NO. 1 OF 1 SHEETS

CALGREEN REQUIREMENTS / NOTES :

TABLE 4.504.1
ADHESIVE VOC LIMITS ^{1,2}
Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

- If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
- For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1158.

TABLE 4.504.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3}
Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY	
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solid coatings ¹	120
Magnesium cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Rust preventative coatings	250
Shellac	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone Consolidation	450
Swimming pool coatings	340

TABLE 4.302.2
FIXTURE FLOW RATES

FIXTURE TYPE	BASELINE FLOW RATE	MAXIMUM FLOW RATE AT ≥ 20 percent REDUCTION
Showerheads	2.5 gpm @ 80 psi	2 gpm @ 80 psi
Lavatory faucets, residential	2.2 gpm @ 60 psi	1.5 gpm @ 60 psi ¹
Lavatory faucets, nonresidential	0.5 gpm @ 60 psi	0.4 gpm @ 60 psi ²
Kitchen faucets	2.2 gpm @ 60 psi	1.8 gpm @ 60 psi ³
Gravily tank-type water closets	1.6 gallons/flush	1.28 gallons/flush ⁴
Flushometer tank water closets	1.6 gallons/flush	1.28 gallons/flush ⁴
Flushometer valve water closets	1.6 gallons/flush	1.28 gallons/flush ⁴
Electromechanical hydraulic water closets	1.6 gallons/flush	1.28 gallons/flush ⁴
Urinals	1.0 gallon/flush	5 gallon/flush

- Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.
- Where complying faucets are unavailable, aerators rated at .35 gpm or other means may be used to achieve reduction.
- Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2 gpm @ 60 psi and must default to a maximum flow rate of 1.8 gpm @ 0 psi.
- Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.

Single flush toilets—The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.2/33.2.

Dual flush toilets—The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

TABLE 4.303.3
STANDARDS FOR PLUMBING FIXTURES AND FIXTURE FITTINGS

REQUIRED STANDARDS	
Water closets (toilets)—flushometer valve-type single flush, maximum flush volume	ASME A 112.19.2/CSA B45.1 – 1.28 gal (4.8 L)
Water closets (toilets)—flushometer valve-type dual flush, maximum flush volume	ASME A 112.19.14 and U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification – 1.28 gal (4.8 L)
Water closets (toilets)—tank type	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Urinals, maximum flush volume	ASME A 112.19.2/CSA B45.1 – 0.5 gal (1.9 L)
Urinals, nonwater urinals	ASME A 112.19.19 (vitreous china) ANSI Z124.9-2004 or IAPMO Z124.9 (plastic)
Public lavatory faucets: Maximum flow rate – 0.5 gpm (1.9 L/min)	ASME A 112.18.1/CSA B125.1
Public metering self-closing faucets: Maximum water use – 0.25 gal (1.0 L) per metering cycle	ASME A 112.18.1/CSA B125.1
Residential bathroom lavatory sink faucets: Maximum flow rate – 1.5 gpm (5.7 L/min)	ASME A 112.18.1/CSA B125.1
Showerheads: maximum flow rate – 2.5 gal (9.5 L)	ASME A 112.18.1/CSA B125.1

TABLE 4.504.2
SEALANT VOC LIMITS
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

TABLE 4.504.3 (CONT'D)
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2,3}
Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

Traffic marking coatings	100
Tub and Tile refinish coating	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

- Grams of VOC per liter of coating, including water and including exempt compounds.
- The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
- Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

TABLE 4.504.5
FORMALDEHYDE LIMITS ¹
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

- Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333-96(2002). For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
- Thin medium density fiberboard has a maximum thickness of 8 millimeters.

Revisions	By

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V J & ASSOCIATES
building design • planning • interior

1224 E. BROADWAY, SUITE 105,
Glendale, CA 91205
(818) 956-0570

PROJ. TITLE : **PROPOSED NEW ADDITION TO EXISTING 2-STORY SINGLE FAMILY HOUSE**

PROJ. ADDR : **MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501**

OWNER : **MARINA ISQUANT 526 S. SUNSET CYN., DR., BURBANK, CA. 91501**

DRWG. TITLE : **CALGREEN NOTES, REQUIREMENTS**

Drawn by
NEIL A.

Checked by
V. J.

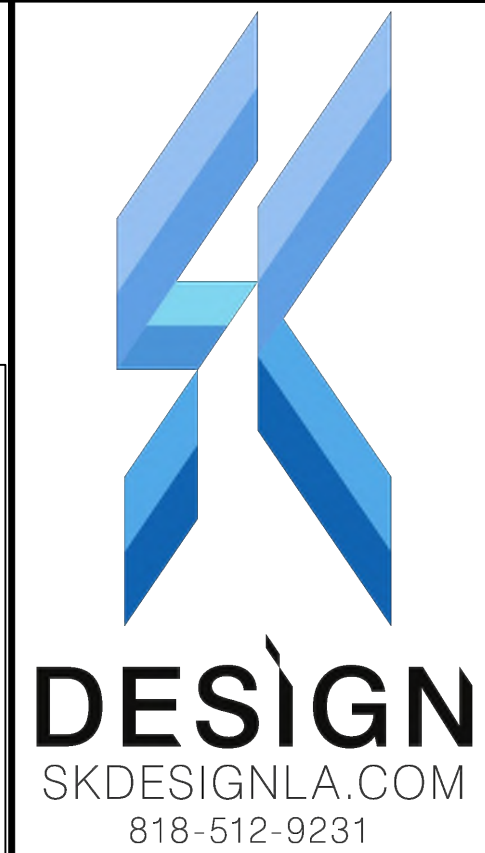
Date
SEPT. 10, 2023

Scale
NOT TO SCALE

Job No.

Sheet No.
CG-3

of Sheets



SHEET TITLE: ENERGY COMPLIANCE FORMS PROJECT ADDRESS: 526 S SUNSET CANYON DRIVE BURBANK, CA 91501

CERTIFICATE OF COMPLIANCE Project Name: Residential Building Calculation Date/Time: 2022-12-21T21:57:26-08:00 Input File Name: 2362-526 S SUNSET CANYON DRIVE.rbd19x

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REVISIONS:

DATE: 04/07/2022

PREPARED BY: SK

JOB NUMBER: 2362

SHEET NUMBER

T24-A

