



City of Burbank

150 N. Third St, Burbank, CA 91502

Community Development Department

Building and Safety Division

Tel. 818.238.5220

Email: softstory@burbankca.gov

SCREENING FORM

For existing wood-frame multi-family buildings with soft, weak, or open front walls

The Screening Form is a requirement of Burbank Municipal Code 9-1-16-400 for the retrofit of existing wood-frame multi-family buildings with soft, weak, or open front walls.

The Screening Form is intended to provide additional information to confirm that a building is in the scope of the ordinance and a retrofit is required or if the building is exempt from further evaluation.

The building information provided in the screening form will be reviewed by the City of Burbank to determine whether the seismic retrofit is required, in accordance with the Mandatory Soft-Story Seismic Retrofit Ordinance and Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code.

Instructions

- ✓ The Screening Form must be completed and submitted to the City for review and approval within 12 months of the date of the Notice to Comply. After review of the submitted Screening Form and supporting documentation, if it is determined that the building is already in compliance with the mandatory requirements of the Mandatory Soft-Story Seismic Retrofit Ordinance; the building will be deemed in compliance and removed from the active list and no further retrofit will be required.
- ✓ Please note that each building on a parcel requires an individual Screening Form to be submitted to the City within the Compliance timeframe set on the Notice to Comply.

Additional information about the Seismic Retrofit Program can be found at:

<https://www.burbankca.gov/web/community-development/soft-story>



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Section 1: Building & Owner Information

Building Information:

Building Address:			
Parcel Number:		Year Built:	
Living Units:		No. of Stories above Grade:	
Basement:	Full <input type="checkbox"/> Partial <input type="checkbox"/> None <input type="checkbox"/>		

Owner Information:

Name:			
Mailing Address:			
City, State:		Zip Code:	
Phone:		Email:	

Condominium owners:

Please submit one screening form and one set of contact information for each building. Please list all lot numbers comprising the building here:



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Section 2: Scope of Determination & Building Type

	<u>Yes</u>	<u>No</u>	<u>Unknown</u>
1. Was the building's original permit for construction applied for under Building code standards enacted prior to January 1, 1978?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Is the building multi-story of wood-frame construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Does the building have an open wall line(s) or open ground floor parking on the first floor similar to the configuration(s) exhibited on Page 9? See Section 3.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Has the building been previously retrofitted? If yes, complete section 4.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If any of the questions 1 through 3 above are marked No: The building may be exempt from compliance with Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code.

If question 4 is marked Yes: The building may be exempt from compliance with Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code.

If ALL three of the questions 1 through 3 are marked Yes/Unknown and question 4 is marked No/Unknown: The building is subject to compliance with Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code. Complete Section 3 and 5.



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Must be completed by a Professional Civil or Structural Engineer or Architect licensed by the State of California.

Section 3: Plan/Elevations Sketches & Photographs

In order to determine the status of the building and its compliance with Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code, the following documents shall be submitted as attachments and reviewed by the Building and Safety Division.

- 1) Provide a dimensional and scaled floor plan¹ of the ground floor.
The plan shall include the following:
 - a. A dotted outline of the floor above the ground floor
 - i. include the locations and dimensions of balconies, cantilevers, and setbacks
 - b. Provide labels identifying areas of different use or occupancy
 - c. Indicate north with an arrow and show street names lining the property
- 2) Provide elevations¹ of the perimeter walls indicating size of openings and total length of wall (openings shall include windows, doors, etc.)
 - a. Indicate wall material (e.g. wood frame, steel frame, concrete, block or brick)
- 3) Provide photos² of all perimeter walls
 - a. Label each elevation depicted in the photo (e.g. north, south, east, west)
 - b. Please provide a date the photo was taken

Upon review of the documents listed above, the Building and Safety Division may require additional information.

Note: ¹Documents to be in 8 ½ x11 or 11x17 format only.

²For elevations visible from the street using Google Street View, snapshots will be accepted as long as the entire wall face is visible and not blocked by any obstructions.



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Section 4: Previous Retrofit

Has a previous seismic retrofit been completed? Yes No

Does the previous completed seismic retrofit meet or exceed the requirements of Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code? Yes No

If yes, please provide the permit number: _____ Date of Retrofit: _____

Please attach supporting documentation to include drawings and supporting calculations for review by the Community Building and Safety Division.

List Attachments Below:



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Section 5: Building Determination, Design Professional Statement, Owner Acknowledgment

Building Status of Compliance with Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code

(Please check 1 box only):

Non- Exempt – In Section 2, questions 1 through 3 are marked Yes/Unknown and question 4 is marked No/Unknown. Building is to be retrofitted in accordance with Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code.

Exempt – In Section 2, any of questions 1 through 3 are marked No or question 4 is marked Yes. Building is not subject to compliance with the ordinance due to the information provided in Sections 2 or all soft, weak, open wall lines have been previous retrofitted in compliance with Title 9, Chapter 1, Article 16, Division 4 of the Burbank Municipal Code as indicated in Section 4.

Under penalty of Perjury, I certify that the information provided in this screening form is based on my personal review of the building and its records, and is correct to the best of my knowledge.

Date Signed

Engineer, Architect, or Building Owner Name

Telephone

Email

5.2 Owner Acknowledgment

I have reviewed this form and understand the conclusions of this screening form.

Signature

Date

August 28, 2024,



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FOR BUILDING AND SAFETY DIVISION & DEVELOPMENT DIVISION USE ONLY

The Screening Form appears to be complete and is acceptable to the City of Burbank as presented.

The following sections of the Form are incomplete (see below):

- Section 1: Building & Owner Information
- Section 2: Scope of Determination & Building Type
- Section 3: Plan / Elevation Sketches & Photographs
- Section 4: Previous Retrofit
- Section 5: Statement and Owner Acknowledgment

List additional information that is needed:

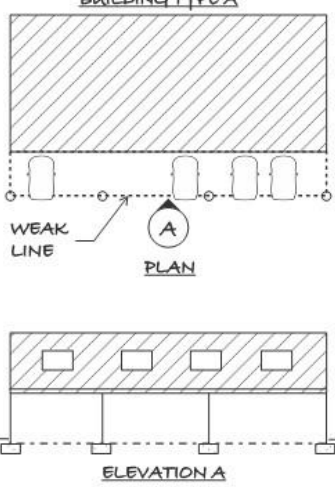
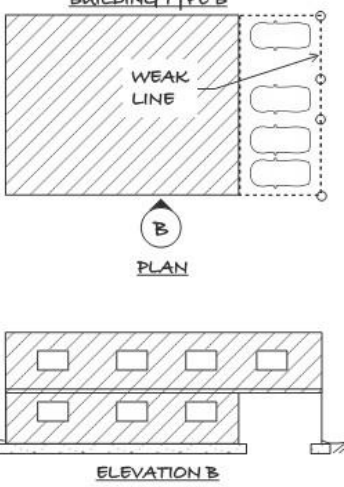
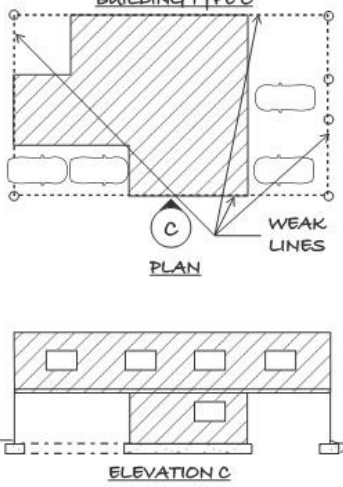
Building and Safety Division Reviewer: _____

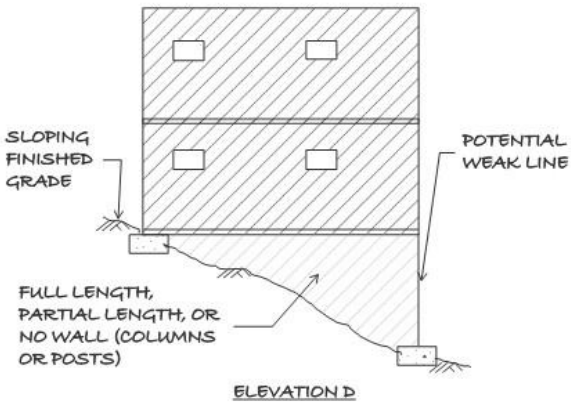
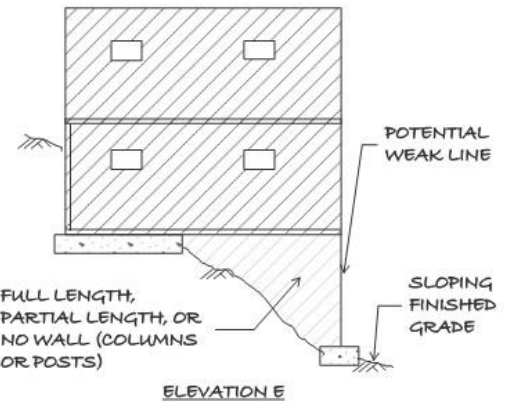
_____ Date



SCREENING FORM

Soft, Weak, or Open-Front Building Configurations:

<p>BUILDING TYPE A</p>  <p>WEAK LINE</p> <p>PLAN</p> <p>ELEVATION A</p> <p>BUILDING TYPE A HAS AN OPEN WALL ON THE LONG DIRECTION OF THE BUILDING THAT CREATES A WEAK LINE AT THE LOWER LEVEL.</p>	<p>BUILDING TYPE B</p>  <p>WEAK LINE</p> <p>PLAN</p> <p>ELEVATION B</p> <p>BUILDING TYPE B HAS AN OPEN WALL ON THE SHORT DIRECTION OF THE BUILDING THAT CREATES A WEAK LINE AT THE LOWER LEVEL.</p>	<p>BUILDING TYPE C</p>  <p>WEAK LINES</p> <p>PLAN</p> <p>ELEVATION C</p> <p>BUILDING TYPE C HAS OPEN WALLS AND/OR REDUCED WALL LENGTHS RELATIVE TO THE STORY ABOVE ON MORE THAN ONE SIDE OF THE BUILDING THAT CREATE MULTIPLE WEAK LINES AT THE LOWER LEVEL. NOTE THAT THIS PLAN IS NOT REPRESENTATIVE OF ALL POSSIBLE CONFIGURATIONS.</p>
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<p>BUILDING TYPE D</p>  <p>SLOPING FINISHED GRADE</p> <p>POTENTIAL WEAK LINE</p> <p>FULL LENGTH, PARTIAL LENGTH, OR NO WALL (COLUMNS OR POSTS)</p> <p>ELEVATION D</p> <p>BUILDING TYPE D IS A HILLSIDE STRUCTURE WHERE THE FINISHED GRADE SLOPES MORE THAN 1 VERTICAL UNIT IN THREE HORIZONTAL UNITS (33% GRADE). THE BUILDING IS ORIENTED SUCH THAT THE BASE STORY IS DIFFERENT ON OPPOSITE ENDS OF THE STRUCTURE.</p>	<p>BUILDING TYPE E</p>  <p>POTENTIAL WEAK LINE</p> <p>SLOPING FINISHED GRADE</p> <p>FULL LENGTH, PARTIAL LENGTH, OR NO WALL (COLUMNS OR POSTS)</p> <p>ELEVATION E</p> <p>BUILDING TYPE E IS A HILLSIDE STRUCTURE WHERE THE FINISHED GRADE SLOPES MORE THAN 1 VERTICAL UNIT IN THREE HORIZONTAL UNITS (33% GRADE). THE BUILDING IS ORIENTED SUCH THAT THE BASE STORY IS DIFFERENT ON OPPOSITE ENDS OF THE STRUCTURE. IN THIS CASE, ONE OR MORE STORIES IS PARTIALLY UNDERGROUND, RETAINING SOIL ON ONE OR MORE SIDES OF THE STRUCTURE.</p>
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