



SIXTH STREET HOMES

NEW 39-UNIT CONDOMINIUM COMPLEX

SUBMITTAL FOR SB35 FULL APPLICATION
11-04-2024

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PROJECT DATA

PROJECT ADDRESS:
801,807,817 S. SIXTH ST., BURBANK, CA 91506

APN: 5621-026-008, 5621-026-009, 5621-026-024
ZONING: R-4
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL

GROSS LOT AREA BEFORE DEDICATION: ± 25,401.63 SQ.FT.
GROSS LOT AREA AFTER DEDICATION: ± 24,878.7 SQ.FT

ALLOWABLE LOT COVERAGE: 60 % MAX. => ±15,240 SQ.FT.
PROPOSED LOT COVERAGE: 66.3% => ± 16,521.15 SQ.FT.

PROPOSED STORIES: 4 STORIES (INCLUDING ONE ABOVE-GRADE PARKING)
PROPOSED BUILDING HEIGHT: 36'-11" FROM AVERAGE GRADE TO TOP OF PLATE
48'-5" FROM AVERAGE GRADE TO TOP OF ARCHITECTURAL FEATURE

REIDENTIAL DENSITY MAX. => 1 UNIT PER 1,000 SQ.FT. OF LOT
ALLOWABLE NUMBER OF UNITS: 26 UNITS
PROPOSED NUMBER OF UNITS: 39 UNITS (26 UNITS + 50% ADDITIONAL DENSITY PER STATE DENSITY BONUS LAW, INCLUDING 4 VERY-LOW INCOME AFFORDABLE UNITS)

CONSTRUCTION TYPE:
PARKING GARAGE: I-A; RESIDENTIAL: III-A

OCCUPANCY TYPE:
PARKING GARAGE: S-2; RESIDENTIAL: R-2

SPRINKLERS: YES (NFPA 13)

PARKING ANALYSIS

TOTAL PARKING REQUIRED PER BMC => 2 CAR PER 2-3 BED UNIT => 30 X 1.5 => 60
1.75 CAR PER 1 BED UNIT => 1.75 X 9 = 16
TOTAL => 76 STALLS

TOTAL PARKING REQUIRED PER SB35 => **1 PER UNIT => 39 X 1 => 39 STALLS**
(CALIFORNIA GOVERNMENT CODE 65913.4)

TOTAL PARKING PROVIDED => **57 STALLS**
ACCESSIBLE PARKING REQUIRED PER CBC 1109A.3: 2% OF UNITS => 1 STALL
ACCESSIBLE PARKING PROVIDED => 2 STALLS

BICYCLE PARKING SPACE REQUIRED PER BMC => 5% OF REQ. PARKING SPACES: 76 X 5%
=> 4 SPACES

REQUIRED LONG-TERM SPACES => 75% => 3 SPACES
REQUIRED SHORT-TERM SPACES => 25% => 1 SPACES
BICYCLE SPACES PROVIDED: 5 SPACES (INCLUDING 3 LONG-TERM AND 2 SHORT-TERM)

RESIDENTIAL UNIT CONFIGURATION

1 BEDROOMS => 9 UNITS
2 BEDROOMS => 30 UNITS
TOTAL UNITS => 39 UNITS

UNIT NUMBER	BEDROOM	BATHROOM	AREA(SF)	PATIO(SF)	BALCONY	COMMON AREA(SF)
101	1	1	748	73.88		INCLUDING HALLWAYS, STAIRWAYS, ELEVATOR SHAFT
102	2	2	1,010	73.88		
103	2	2	1,132	74.63		
104	2	2	1,132	74.63		
105	2	2	983	63.13		
106	2	2	983	63.13		
107	2	2	983	63.13		
108	2	2	983	63.09		
109	2	2	1,082	65.26		
110	2	2	1,082	63.12		
111	1	1	699	65.26		
112	2	2	984	63.12		
113	1	1	699	67.35		
TOTAL 1ST FLOOR			12,500	873.61		2,019.3
201	1	1	743.58		73.88	
202	2	2	1,010		73.88	
203	2	2	1,132		74.63	
204	2	2	1,132		74.63	
205	2	2	983		63.13	
206	2	2	983		63.13	
207	2	2	983		63.13	
208	2	2	983		63.09	
209	2	2	1,082		65.26	
210	2	2	1,082		63.12	
211	1	1	699		65.26	
212	2	2	984		63.12	
213	1	1	699		81.63	
TOTAL 2ND FLOOR			12,495.6	873.61		2,111.6
301	1	1	738.16		73.88	
302	2	2	1,010		73.88	
303	2	2	1,132		74.63	
304	2	2	1,132		74.63	
305	2	2	983		63.13	
306	2	2	983		63.13	
307	2	2	983		63.13	
308	2	2	983		63.09	
309	2	2	1,082		65.26	
310	2	2	1,082		63.12	
311	1	1	699		65.26	
312	2	2	984		63.12	
313	1	1	699		81.63	
TOTAL 3RD FLOOR			12,490.2	873.61		2,115.7
39 UNITS	69	69	37,485.8	873.61	1,747.22	6,246.6 SF
ROOF DECK						6,283 SF
ABOVE-GRADE PARKING						20,960.0 SF

TOTAL PARKING AREA => ± 20,960 SQ.FT.
TOTAL BUILDING AREA MINUS PARKING => ± 46,353.15 SQ.FT.
TOTAL BUILDING AREA PLUS PARKING & ROOF DECK => ± 73,596.15 SQ.FT.

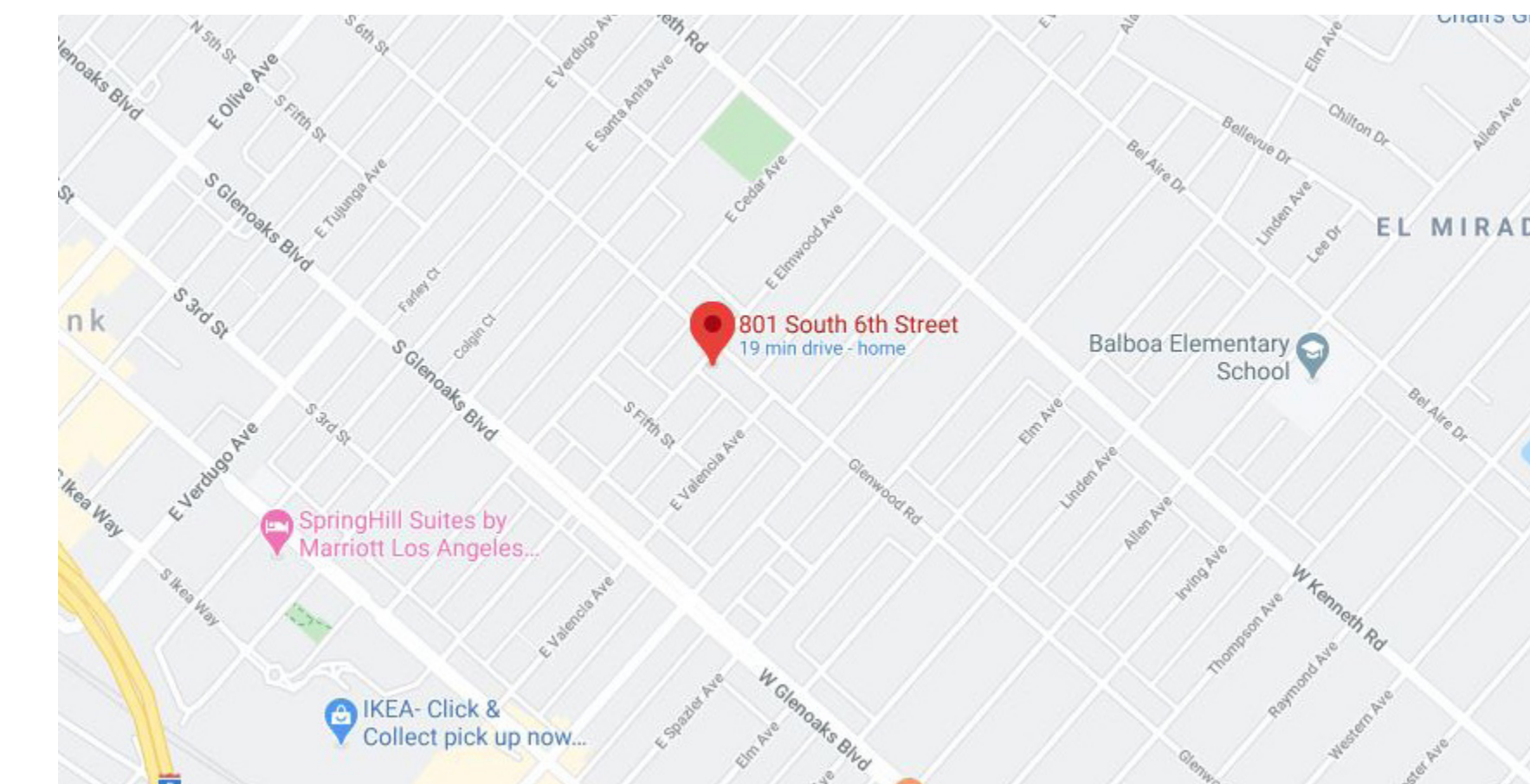
PROJECT DESCRIPTION:

- DEMOLITION OF ALL EXISTING STRUCTURES UNDER A SEPARATE PERMIT;
- CONSTRUCTION OF A NEW 4-STORY, 39-UNITS MULTI-FAMILY DWELLING (INCLUDING 4 VERY-LOW INCOME AFFORDABLE UNITS) INCLUDING ONE LEVEL OF ABOVE-GRADE PARKING AND ROOF TOP COMMON AREA.

APPLICABLE CODES:

- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA ELECTRICAL CODE (ERC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA ENERGY CODE (CENC)
- TITLE 9, CHAPTER 1, OF THE BURBANK MUNICIPAL CODE
- ALL INTERVENING CODE CYCLES.

VICINITY MAP:



LANDSCAPE ANALYSIS

REQUIRED PRIVATE OUTDOOR SPACE: 50 SQ.FT PER UNIT = 39 X 50 = 1,950 SQ.FT. MIN.
PROVIDED PRIVATE OUTDOOR SPACE: ± 2,605 SQ.FT.
(PRIVATE OPEN SPACE WITH MIN 5' DIMENSION)

REQUIRED COMMON OPEN SPACE: 150 SQ.FT PER UNIT = 39 X 150 = 5,850 SQ.FT. MIN.
PROVIDED COMMON OPEN SPACE: ± 2,901 SQ.FT (ON FIRST FLOOR)
PROVIDED ADDITIONAL OPEN SPACE: ± 6,040 SQ.FT (ON ROOF TOP)

LOT AREA AFTER DEDICATION: 24,878.7 SQ. FT.
REQUIRED LANDSCAPING ON LOT: 15% OF LOR AREA = 3,731.8 SQ. FT.
PROVIDED LANDSCAPING ON LOT: ± 6,062.7 SQ.FT (ON FIRST FLOOR- INCLUDING LANDSCAPED AREA WITHIN THE REQUIRED SETBACK)
± 1,055.5 SQ.FT (ON ROOF TOP)

PROJECT INFORMATION

PUBLIC WORKS NOTES		BURBANK FIRE DEPARTMENT NOTES	
<p>ENGINEERING DIVISION GENERAL REQUIREMENTS</p> <p>1. APPLICANT SHALL PROTECT IN PLACE ALL SURVEY MONUMENTS (CITY, COUNTY, STATE, FEDERAL, AND PRIVATE). PURSUANT TO CALIFORNIA BUSINESS AND PROFESSIONS CODE SECTION 8771, WHEN MONUMENTS EXIST THAT MAY BE AFFECTED BY THE WORK, THE MONUMENTS SHALL BE LOCATED AND REFERENCED BY OR UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR OR LICENSED CIVIL ENGINEER LEGALLY AUTHORIZED TO PRACTICE LAND SURVEYING, PRIOR TO CONSTRUCTION, AND A CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES SHALL BE FILED WITH THE COUNTY SURVEYOR. A PERMANENT MONUMENT SHALL BE RESET, OR A WITNESS MONUMENT OR MONUMENTS SET TO PERPETUATE THE LOCATION IF ANY MONUMENT THAT COULD BE AFFECTED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY SURVEYOR PRIOR TO THE RECORDING OF A CERTIFICATE OF COMPLETION FOR THE PROJECT.</p> <p>2. NO BUILDING APPURTENANCES FOR UTILITY OR FIRE SERVICE CONNECTIONS SHALL ENCRoACH OR PROJECT INTO PUBLIC RIGHT-OF-WAY (I.E. STREETS AND ALLEYS). LOCATIONS OF THESE APPURTENANCES SHALL BE SHOWN ON THE BUILDING SITE PLAN AND THE OFF-SITE IMPROVEMENT PLANS [BMC 7-3-701.1].</p> <p>3. NO STRUCTURE IS PERMITTED IN ANY PUBLIC RIGHT-OF-WAY OR ANY PUBLIC UTILITY EASEMENTS/POLE LINE EASEMENTS [BMC 7-3-701.1, BMC 9-1-1-3203].</p> <p>4. ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE PERMITTED AND APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE CONSTRUCTION CAN COMMENCE. ALL CONSTRUCTION WORK IN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH BURBANK STANDARD PLANS AND MUST BE CONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER. A PUBLIC WORKS EXCAVATION PERMIT IS REQUIRED. THE EXCAVATION PERMIT REQUIRES A DEPOSIT ACCEPTABLE TO THE PUBLIC WORKS DIRECTOR TO GUARANTEE TIMELY CONSTRUCTION OF ALL OFF-SITE IMPROVEMENTS. BURBANK STANDARD PLANS CAN BE ACCESSED AT: HTTP://FILE.BURBANKCA.GOV/PUBLICWORKS/ONLINECOUNTER/MAIN/INDEX.HTM</p> <p>THE FOLLOWING MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT:</p> <p>5. DEDICATE* TO THE CITY FOR STREET RIGHT-OF-WAY: A PORTION OF THE PROPERTY TO ACHIEVE A 15-FOOT CORNER RADIUS AT THE PROPERTY CORNERS OF ELMWOOD AVENUE AND SIXTH STREET [BMC 7-3-106]. *CONTACT REAL ESTATE DIVISION OF THE COMMUNITY DEVELOPMENT DEPARTMENT AT (818) 238-5180 FOR INFORMATION TO ACCOMPLISH THIS DEDICATION.</p> <p>6. DEDICATE* TO THE CITY FOR STREET RIGHT-OF-WAY: A PORTION OF THE ALLEY FRONTAGE LYING WITHIN 10 FEET OF ALLEY CENTERLINE [BMC 7-3-106]. *CONTACT REAL ESTATE DIVISION OF THE COMMUNITY DEVELOPMENT DEPARTMENT AT (818) 238-5180 FOR INFORMATION TO ACCOMPLISH THIS DEDICATION.</p> <p>7. OFF-SITE IMPROVEMENT PLANS (IN THE PUBLIC RIGHT-OF-WAY) MUST BE APPROVED BY THE PUBLIC WORKS DIRECTOR. PLANS MUST BE SUBMITTED IN CITY OF BURBANK STANDARD FORMAT AND AS-BUILT PLANS MUST BE SUBMITTED ON MYLAR PAPER.</p> <p>8. SUBMIT HYDROLOGY/ HYDRAULIC CALCULATIONS AND SITE DRAINAGE PLAN. ON-SITE DRAINAGE SHALL NOT FLOW ACROSS THE PUBLIC PARKWAY (SIDEWALK) OR ONTO ADJACENT PRIVATE PROPERTY. IT SHOULD BE CONVEYED BY UNDERWALK DRAINS TO THE GUTTER THROUGH THE CURB FACE OR CONNECTED TO A STORM DRAIN FACILITY [BMC 7-1-117, BMC 7-3-102.] THE PROPOSED DEVELOPMENT WILL NEED TO SUBMIT A HYDROLOGY/ HYDRAULIC CALCULATION, WHICH DEPICT BOTH THE EXISTING AND PROPOSED DRAINAGE CONDITIONS. ANY DRAINAGE STUDIES AND/ OR IMPROVEMENTS ON PRIVATE PROPERTY ARE TO BE REVIEWED AND APPROVED BY THE CITY'S BUILDING DEPARTMENT. ANY DRAINAGE STUDIES AND/ OR IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE REVIEWED AND APPROVED BY THE CITY'S PUBLIC WORKS DEPARTMENT.</p> <p>9. SUBMIT SITE DRAINAGE PLANS TO PUBLIC WORKS DEPARTMENT FOR REVIEW. ON-SITE DRAINAGE SHALL NOT FLOW ACROSS THE PUBLIC PARKWAY (SIDEWALK) OR ONTO ADJACENT PRIVATE PROPERTY. IT SHOULD BE CONVEYED BY UNDERWALK DRAINS TO THE GUTTER THROUGH THE CURB FACE [BMC 7-1-117, BMC 7-3-102]</p> <p>10. APPLICANT MUST CONTACT THE CITY OF BURBANK, PARK AND RECREATION DEPARTMENT FOR THE REMOVAL OF ANY PARKWAY TREES [BMC 7-4-417 B].</p> <p>11. ALL SOLDIER PILES/BEAMS THAT ARE REQUIRED FOR THE SUBTERRANEAN PARKING GARAGE SHORING, MUST BE PLACED ON PRIVATE PROPERTY AND ARE NOT TO ENCRoACH INTO THE PUBLIC RIGHT-OF-WAY.</p> <p>12. NO CONSTRUCTION MATERIAL SHALL BE PLACED WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT A "STREET USE" PERMIT ISSUED BY THE PUBLIC WORKS DEPARTMENT.</p> <p>13. AN ADDRESS FORM MUST BE PROCESSED [BMC 7-3-907].</p> <p>14. PLANS SHOULD INCLUDE EASEMENTS, ELEVATIONS, RIGHT-OF-WAY/PROPERTY LINES, DEDICATION, LOCATION OF EXISTING/PROPOSED UTILITIES AND ANY ENCROACHMENTS.</p> <p>THE FOLLOWING MUST BE COMPLETED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:</p> <p>15. RECONSTRUCT DEDICATED PORTION OF ALLEY WITH ASPHALTIC CONCRETE PAVEMENT PER CITY OF BURBANK STANDARD PLANS BA-200 [BMC 7-3-105, BMC 7-3-106].</p> <p>16. RESURFACE (GRIND AND OVERLAY MINIMUM 2") TO THE CENTERLINE OF ALLEY (EDGE OF GUTTER) FRONTING THE PROPERTY PER CITY OF BURBANK STANDARDS [BMC 7-3-105, BMC 7-3-106]. PLANS MUST BE SUBMITTED IN CITY OF BURBANK STANDARD FORMAT.</p> <p>17. ALLEY APPROACH ALONG ELMWOOD AVENUE MUST BE RECONSTRUCTED WITH PORTLAND CEMENT CONCRETE TO ALIGN WITH PROPOSED ALLEY DEDICATION AND MUST MEET ADA REQUIREMENTS PER CITY OF BURBANK STANDARDS.</p> <p>18. REMOVE AND RECONSTRUCT PEDESTRIAN RAMP AT THE CORNER OF SIXTH STREET AND ELMWOOD AVENUE FRONTING THE PROPERTY TO MEET ADA REQUIREMENTS. PEDESTRIAN RAMPS ARE TO BE CONSTRUCTED PER CALTRANS STANDARDS AB8A [BMC 11-1-1513, BMC 11-1-1518].</p> <p>19. ALL UNUSED DRIVEWAYS SHALL BE REMOVED AND RECONSTRUCTED WITH CURB, GUTTER AND SIDEWALK [BMC 7-3-504].</p> <p>20. PROTECT IN PLACE OR RE-ESTABLISH CENTERLINE TIES AT THE INTERSECTION OF SIXTH STREET AND ELMWOOD AVENUE PER CITY OF BURBANK STANDARDS [CALIFORNIA BUSINESS AND PROFESSIONS CODE SECTION 8771].</p> <p>21. APPLICANT MUST RE-STRIPE THE RESURFACE AREA AND RE-ESTABLISH ALL TRAFFIC LOOPS.</p> <p>22. ANY PORTION OF PUBLIC CURB OR GUTTER THAT IS BROKEN, UNEVEN OR UPLIFTED AT THE END OF THE PROJECT MUST BE RECONSTRUCTED TO THE SATISFACTION OF THE CITY ENGINEER. THAT RECONSTRUCTION WILL BE REQUIRED WHETHER THE DAMAGE IS PRE-EXISTING OR IS A RESULT OF THE PROJECT. CONTACT THE PUBLIC WORKS INSPECTION OFFICE AT (818) 238-3955 TO HAVE THESE AREAS INSPECTED AND IDENTIFIED AFTER OBTAINING A PUBLIC WORKS EXCAVATION PERMIT [BMC 7-3-501].</p> <p>ADDITIONAL COMMENTS</p> <p>23. BUILDING ACCESS DOORS, LOADING DOCKS DOORS, AND ACCESS GATES MAY NOT SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY [BMC 7-3-701.1].</p> <p>24. IF ANY UTILITY CUTS OR CONSTRUCTION RELATED IMPACTS ARE MADE ON ELMWOOD AVENUE, APPLICANT WILL HAVE TO RESURFACE WITH RUBBER ASPHALT (ARHM) PER MORATORIUM REQUIREMENTS FRONTING THE PROPERTY. ELMWOOD AVENUE WAS RESURFACED WITH ARHM AND FALLS UNDER MORATORIUM REQUIREMENTS [85-110-3].</p> <p>25. ADDITIONAL UTILITY CUTS OR CONSTRUCTION RELATED IMPACTS TO THE STREET, WHICH IS TRIGGERED BY THIS PROJECT COULD EXTEND THE PAVING RESTORATION LIMITS [85-110-3].</p>		<p>TRAFFIC ENGINEERING CONDITIONS</p> <p>40. PARKING SPACES MUST BE CONSTRUCTED PER BMC 10-1-1401, 10-1-1403, 10-1-1417, 10-1-1606.</p> <p>45.NO VISUAL OBSTRUCTION SHALL BE ERRECTED OR MAINTAINED ABOVE 3' HIGH OR BELOW 10' HIGH IN A 10' BY 10' VISIBILITY CUT-OFF AT INTERSECTION OF STREET AND DRIVEWAY [BMC 10-1-1303(A)].</p> <p>45.NO VISUAL OBSTRUCTION SHALL BE ERRECTED OR MAINTAINED ABOVE 3' HIGH OR BELOW 10' HIGH IN A 10' BY 10' VISIBILITY CUT-OFF AT INTERSECTION OF STREET AND ALLEY [BMC 10-1-1303(B)].</p> <p>45.NO VISUAL OBSTRUCTION SHALL BE ERRECTED OR MAINTAINED ABOVE 3' HIGH OR BELOW 10' HIGH IN A 5' BY 5' VISIBILITY CUT-OFF AT INTERSECTION OF STREET AND DRIVEWAY [BMC 10-1-1303(C)].</p> <p>46.TURN AREAS AND PARKING SPACES ADJACENT TO OBSTRUCTIONS MUST BE CONSTRUCTED PER BURBANK STANDARD PLAN BT-400.</p> <p>47.EVERY RESIDENTIAL PARKING SPACE SHALL MAINTAIN A VERTICAL HEIGHT CLEARANCE OF 7' PER BURBANK STANDARD PLAN BT-402. PARKING STALLS #43-44 DO NOT MEET THIS REQUIREMENT.</p> <p>48.END STALLS SHALL BE A MINIMUM OF 11' WIDE OR THE ACCESS AISLE MUST EXTEND 3' BEYOND THE BAY PER BURBANK STANDARD PLAN BT-400.</p> <p>49.DRIVEWAY APRON MUST BE CONSTRUCTED PER BURBANK STANDARD PLAN BS-102.</p> <p>FIELD SERVICES SOLID WASTE</p> <p>50.MUST HAVE A COMMON LOCATION(S) FOR TRASH ENCLOSURES LARGE ENOUGH TO HOUSE AN APPROPRIATE NUMBER OF REFUSE AND RECYCLING BINS.</p> <p>51.MINIMUM TRASH ENCLOSURE CLEAR INSIDE DIMENSIONS SHALL BE 20-FT BY 9-FT WITH GATES ON 20-FT SIDE.</p> <p>52.MUST COMPLY WITH AB 341 AND SB 1383 REQUIREMENTS.</p> <p>53.THERE MUST BE AN APPROPRIATE LOCATION ON THE PROPERTY FOR ALL SOLID WASTE CONTAINERS OR BINS. SOLID WASTE CONTAINERS SHALL NOT BE VISIBLE FROM THE STREET.</p> <p>FOR ADDITIONAL INFORMATION OR QUESTIONS, PLEASE CONTACT PUBLIC WORKS FIELD SERVICES AT (818) 238-3800.</p>	
		<p>1. PROVIDE CONSTRUCTION SITE SECURITY BY MEANS OF A SIX-FOOT HIGH FENCE MAINTAINED AROUND THE ENTIRE SITE OR A QUALIFIED FIREGUARD WHEN REQUIRED BY THE FIRE CHIEF.</p> <p>2. PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH THE BURBANK MUNICIPAL CODE.</p> <p>3. PROVIDE ELECTRICAL SUPERVISION FOR ALL VALVES CONTROLLING THE WATER SUPPLY AND ALL WATER FLOW SWITCHES ON ALL FIRE SPRINKLER SYSTEMS WHERE THE NUMBER OF SPRINKLERS IS 20 OR MORE.</p> <p>4. PROVIDE A FIRE ALARM SYSTEM TO NOTIFY ALL OCCUPANTS OF AUTOMATIC FIRE SPRINKLER WATER FLOW.</p> <p>5. PROVIDE A KNOX KEY BOX FOR FIRE DEPARTMENT ACCESS.</p> <p>6. PROVIDE A KNOX KS-2 KEY ACCESS SWITCH FOR SECURITY GATES.</p> <p>7. PROVIDE ADDRESS NUMBERS A MINIMUM OF 4 INCHES HIGH FOR RESIDENTIAL STRUCTURES AND SIX INCHES HIGH FOR ALL OTHER OCCUPANCIES WITH 3/4 INCH STROKE TO IDENTIFY THE PREMISES. NUMBERS SHALL BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY AND FROM THE ALLEY OR REAR ACCESSWAY TO THE PROPERTY.</p> <p>8. 2A10BC FIRE EXTINGUISHERS SHALL BE PROVIDED AND LOCATED AS DIRECTED BY THE FIRE INSPECTOR IN THE FIELD. ALL PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED ON A POSITIVE LATCHING BRACKET OR WITHIN AN ENCLOSED CABINET.</p> <p>9. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ALL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.</p> <p>10. PROVIDE A FIRE ALARM SYSTEM.</p> <p>11. FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE, FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION WHEN ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED MORE THAN 150 FEET FROM FIRE APPARATUS ACCESS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. MORE THAN ONE FIRE APPARATUS ROAD SHALL BE PROVIDED WHEN IT IS DETERMINED BY THE CHIEF THAT ACCESS BY A SINGLE ROAD MIGHT BE IMPAIRED BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS OR OTHER FACTORS THAT COULD LIMIT ACCESS. ACCESS DURING CONSTRUCTION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CFC/BMC.</p> <p>12. SPECIFICATIONS FOR FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.</p> <p>13. PLANS FOR FIRE APPARATUS ACCESS ROAD SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.</p> <p>14. PLANS AND SPECIFICATIONS FOR FIRE HYDRANT SYSTEMS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.</p> <p>15. WHEN FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.</p> <p>16. APPROVED SIGNS OR OTHER APPROVED NOTICES SHALL BE PROVIDED AND MAINTAINED, AT THE DISCRETION OF THE PERSON(S) IN POSSESSION OF THE PROPERTY, FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS AND PROHIBIT THE OBSTRUCTION THEREOF OR BOTH.</p> <p>17. AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDINGS ARE HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION. WHEN ANY PORTION OF THE FACILITY OR BUILDING PROTECTED IS IN EXCESS OF 150 FROM A WATER SUPPLY ON A PUBLIC STREET, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW SHALL BE PROVIDED WHEN REQUIRED BY THE CHIEF.</p> <p>18. ALL EXITS, FIRE DEPARTMENT ACCESS AND FIRE PROTECTION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE DURING CONSTRUCTION.</p> <p>19. ANY FIRE HYDRANTS FOR THIS BLOCK SHALL BE UPGRADED WITH A 4" X 2- 1/2" OUTLETS. CONTACT THE WATER DEPARTMENT AT 238-3500 FOR SPECIFICATIONS ON THE TYPE FIRE HYDRANTS TO BE PROVIDED.</p> <p>20. EXCEPT AS OTHERWISE PROVIDED, NO PERSON SHALL MAINTAIN, OWN, ERECT, OR CONSTRUCT, ANY BUILDING OR STRUCTURE OR ANY PART THEREOF, OR CAUSE THE SAME TO BE DONE, WHICH FAILS TO SUPPORT ADEQUATE RADIO COVERAGE FOR CITY EMERGENCY SERVICE WORKERS, INCLUDING BUT NOT LIMITED TO FIREFIGHTERS AND POLICE OFFICERS. BUILDINGS AND STRUCTURES WHICH CANNOT MEET THE REQUIRED ADEQUATE RADIO COVERAGE SHALL BE EQUIPPED WITH ANY OF THE FOLLOWING IN ORDER TO ACHIEVE THE REQUIRED ADEQUATE RADIO COVERAGE: A RADIATING CABLE SYSTEM OR AN INTERNAL MULTIPLE ANTENNA SYSTEM WITH OR WITHOUT FIBER OPTIC ACCEPTED BI-DIRECTIONAL UHF AMPLIFIERS AS NEEDED. FURTHER INFORMATION AND GUIDANCE CAN BE OBTAINED BY CONTACTING THE CITY OF BURBANK RADIO COMMUNICATIONS SHOP AT (818)238-3601.</p> <p>21. FOR PARKING GARAGES PROVIDED WITH A VENTILATION SYSTEM IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE "INTERIOR ENVIRONMENT" A REMOTE OVER-RIDE SWITCH SHALL BE PROVIDED FOR FIRE DEPARTMENT USE AS ASSISTANCE FOR SMOKE REMOVAL. THE SWITCH SHALL BE INSTALLED AND CLEARLY MARKED IN A READILY ACCESSIBLE LOCATION AS DIRECTED BY THE FIRE DEPARTMENT.</p> <p>22. PROVIDE SMOKE DETECTION FOR DWELLING UNITS, CONGREGATE RESIDENCES AND HOTEL OR LODGING GUESTROOMS THAT ARE USED FOR SLEEPING PURPOSES.</p> <p>23. POWER AND LOCATION OF SMOKE DETECTORS IN GROUP R OCCUPANCIES SHALL BE IN COMPLIANCE WITH THE CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE AS AMENDED BY THE BURBANK MUNICIPAL CODE.</p> <p>24. ALL EXISTING SINGLE-FAMILY DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY SHALL HAVE INSTALLED ON OR BEFORE JULY 1, 2011 CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH THE HEALTH & SAFETY CODE §17926.</p> <p>25. ALL EXISTING MULTI-DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY SHALL HAVE INSTALLED ON OR BEFORE JANUARY 1, 2013 CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH THE HEALTH & SAFETY CODE §17926.</p> <p>26. BUILDINGS HAVING FLOORS USED FOR HUMAN OCCUPANCY LOCATED MORE THAN 35 FEET, BUT LESS THAN 75 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, SHALL BE IN COMPLIANCE WITH ALL APPLICABLE "MID-RISE" REQUIREMENTS AS DEFINED BY THE BURBANK MUNICIPAL CODE.</p> <p>27. HIGH-RISE AND MID-RISE BUILDINGS SHALL BE ACCESSIBLE ON A MINIMUM OF TWO SIDES. ROADWAYS SHALL NOT BE LESS THAN 10 FEET OR MORE THAN 35 FEET FROM THE BUILDING. LANDSCAPING OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR MAINTAINED AROUND STRUCTURES IN A MANNER SO AS TO IMPAIR OR IMPEDE ACCESSIBILITY FOR FIRE FIGHTING AND RESCUE OPERATIONS.</p> <p>28. GROUP B OFFICE BUILDINGS AND GROUP R, DIVISION 1 OCCUPANCIES, EACH HAVING FLOORS USED FOR HUMAN OCCUPANCY LOCATED MORE THAN 35 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, SHALL BE PROVIDED WITH AN AUTOMATIC FIRE ALARM SYSTEM.</p> <p>29. EVERY MID-RISE BUILDING SHALL BE PROVIDED WITH AN APPROVED COMBINED STANDPIPE SYSTEM.</p> <p>30. ALL STAIR SHAFT DOORS AT EACH BUILDING LEVEL SHALL PROVIDE ACCESS TO THE BUILDING FOR FIRE DEPARTMENT USE.</p> <p>31. THERE SHALL BE PROVIDED FOR FIRE DEPARTMENT USE AT LEAST ONE ACCESS DOOR TO ONE ENCLOSED EXIT STAIR SHAFT THAT SERVES ALL BUILDING LEVELS AND THE ROOF AT THE MAIN ENTRANCE LEVEL OUTSIDE THE BUILDING.</p> <p>34. ALL ENCLOSED EXIT STAIRWAYS SHALL BE CONTINUOUS TO EACH FLOOR SERVED IN EITHER DIRECTION AND SHALL BE WITHOUT OBSTRUCTIONS SUCH AS INTERVENING DOORS AND GATES. EXCEPTION: APPROVED BARRIERS PROVIDED AT THE GROUND FLOOR LEVEL TO PREVENT PERSONS TRAVELING DOWNWARD FROM ACCIDENTALLY CONTINUING INTO THE BASEMENT, IN ACCORDANCE WITH THE BUILDING CODE.</p> <p>35. LOCKING OF ENCLOSED EXIT STAIRSHAFT DOORS: 1. ALL ENCLOSED EXIT STAIRSHAFT DOORS WHICH ARE TO BE LOCKED FROM THE STAIRSHAFT SIDE SHALL HAVE THE CAPABILITY OF BEING UNLOCKED WITHOUT UNLATCHING, BY ALL OF THE FOLLOWING METHODS: 1.1 A MANUAL SIGNAL FROM THE CENTRAL FIRE CONTROL ROOM. 1.2 THE ACTUATION OF A FIRE ALARM DEVICE. 1.3 UPON FAILURE OF ELECTRICAL POWER. 2. WHEN ENCLOSED EXIT STAIRSHAFT DOORS ARE LOCKED FROM THE STAIRWAY SIDE, AN APPROVED EMERGENCY COMMUNICATION SYSTEM DIRECTLY CONNECTED TO THE BUILDING CONTROL STATION, PROPRIETARY SUPERVISORY STATION, OR OTHER APPROVED EMERGENCY LOCATION SHALL BE AVAILABLE TO THE PUBLIC AND SHALL BE PROVIDED AT EVERY FIFTH FLOOR LANDING IN EACH REQUIRED ENCLOSED EXIT STAIRSHAFT.</p> <p>36. IN ALL HIGH-RISE AND MID-RISE BUILDINGS, APPROVED BREAKOUT PANELS OR TEMPERED GLASS WINDOWS SHALL BE PROVIDED IN THE EXTERIOR WALL AT THE RATE OF AT LEAST TWENTY SQUARE FEET OF OPENING PER FIFTY LINEAL FEET OF EXTERIOR WALL IN EACH STORY, DISTRIBUTED AROUND THE PERIMETER AT NOT MORE THAN FIFTY FOOT INTERVALS. SUCH PANELS SHALL BE CLEARLY IDENTIFIED AS REQUIRED BY THE CHIEF.</p> <p>37. IN EVERY BANK OF ELEVATORS, THERE SHALL BE PROVIDED AND AVAILABLE TO THE FIRE DEPARTMENT, AN ELEVATOR THAT OPENS ON TO EACH FLOOR SERVED BY THE INDIVIDUAL BANK. A BANK OF ELEVATORS IS ONE OR MORE ELEVATOR CARS CONTROLLED BY A COMMON OPERATING SYSTEM, OR WHERE ALL ELEVATOR CARS WILL RESPOND TO A SINGLE CALL BUTTON.</p> <p>38. ELEVATOR CARS ASSIGNED FOR FIRE DEPARTMENT USE SHALL HAVE AT HEIGHT, RECESSED AREA, OR REMOVABLE CEILING, WHICH WILL MAKE POSSIBLE THE CARRYING OF A NINE- (9) FOOT HIGH LADDER. AT LEAST ONE ELEVATOR CAR ASSIGNED FOR FIRE DEPARTMENT USE AND SERVING ALL FLOORS SHALL BE OF A SIZE THAT WILL ACCOMMODATE A 24 INCH BY 85 INCH AMBULANCE STRETCHER IN THE HORIZONTAL POSITION, AND HAVE A CLEAR OPENING WIDTH OF 42 INCHES. THE ELEVATOR SHALL BE IDENTIFIED WITH APPROVED SIGNS.</p> <p>39. ELEVATORS SHALL OPEN INTO A LOBBY ON ALL FLOORS EXCEPT THE LOWEST TERMINAL FLOOR OF BUILDING LOBBIES MAY SERVE MORE THAN ONE (1) ELEVATOR. LOBBIES SHALL BE SEPARATED FROM THE CORRIDOR BY ONE (1) HOUR FIRE RESISTIVE CONSTRUCTION WITH ALL OPENINGS PROTECTED BY TIGHT FITTING, TWENTY (20) MINUTE DOOR ASSEMBLIES DESIGNED TO CLOSE AUTOMATICALLY UPON ACTIVATION OF A DETECTOR WHICH WILL RESPOND TO VISIBLE OR INVISIBLE PARTICLES OF COMBUSTION. LOBBIES SHALL ALSO BE SEPARATED FROM THE REMAINDER OF THE BUILDING AS REQUIRED FOR CORRIDOR WALLS AND CEILINGS.</p> <p>40. EVERY HIGH-RISE BUILDING SHALL HAVE AN EMERGENCY HELICOPTER LANDING FACILITY LOCATED ON THE ROOF IN AN AREA APPROVED BY THE CHIEF. THE ROOF STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM LIVE LOAD OF TEN THOUSAND (10,000) POUNDS. SUCH LANDING FACILITY SHALL BE INSTALLED AS REQUIRED FOR HELISTOPS IN ACCORDANCE WITH THE CFC.</p> <p>IN ORDER TO DETERMINE FIRE FLOW REQUIREMENTS FOR THIS BUILDING, THE FOLLOWING INFORMATION SHALL BE PROVIDED PRIOR TO ISSUING A BUILDING PERMIT FOR FINAL FIRE DEPARTMENT PLAN CHECK:</p> <ul style="list-style-type: none"> BUILDING TYPE CONSTRUCTION AS DEFINED BY THE CALIFORNIA BUILDING CODE. SQUARE FEET OF THE BUILDING. THE FIRE FLOW SHALL BE CPM FOR HOURS IN ACCORDANCE WITH THE CFC. <p>ALL ITEMS REVIEWED ARE BASED ON INFORMATION PROVIDED AT TIME OF REVIEW. THE COMMENTS PROVIDED DO NOT LIMIT OR RELIEVE THE OWNER AND THE OWNER'S ARCHITECT AND/OR CONTRACTOR FROM THE RESPONSIBILITY OF ENSURING COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF FIRE/LIFE SAFETY CODES. SUCH COMPLIANCES MAY INCLUDE BUT ARE NOT LIMITED TO FIRE DEPARTMENT ACCESS FOR FIRE FIGHTING, INCLUDING FIRE DEPARTMENT VEHICLE ACCESS, FIRE WATER SUPPLIES AND CLEARLY APPURTENANCES. FURTHER REVIEWS MAY REQUIRE ADDITIONAL REQUIREMENTS OR LIMITATIONS AS THE PROJECT DEVELOPS AND IS NOT LIMITED TO THE REQUIREMENTS PROVIDED IN THESE COMMENTS.</p> <p>NOTE: ALL REFERENCES ARE IN ACCORDANCE WITH THE 2022 EDITION OF THE CALIFORNIA FIRE CODE AND THE CALIFORNIA BUILDING CODE (CBC) AS AMENDED BY THE BURBANK MUNICIPAL CODE (BMC).</p> <p>ALL NOTED INFORMATION PERTAINING TO THE PROPOSED PROJECT SHALL BE SHOWN ON PLANS SUBMITTED AS PART OF THE FIRE DEPARTMENT REVIEW FOR APPROVAL.</p> <p>FOR ADDITIONAL INFORMATION OR QUESTIONS CONTACT THE ASSISTANT FIRE MARSHAL OR FIRE MARSHAL AT (818) 238-3473.</p>	

BUILDING & SAFETY DIVISION	HOUSING DIVISION NOTES	COMMUNITY DEVELOPMENT DEPARTMENT	DEMOLITION NOTES	BURBANK POLICE DEPARTMENT NOTES
<p>1. ALL PROJECTS SHALL COMPLY WITH TITLE 9, CHAPTER 1, OF THE BURBANK MUNICIPAL CODE, AND THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA GREEN BUILDING STANDARDS AND BUILDING ENERGY EFFICIENCY STANDARD, INCLUDING ALL INTERVENING CODE CYCLES.</p> <p>2. PLANS AND REPORTS SUBMITTED FOR PLAN CHECK REVIEW ARE TO BE SUBMITTED ELECTRONICALLY.</p> <p>3. ALL CONDITIONS OF APPROVAL ARE TO BE REPRODUCED ON THE CONSTRUCTION DOCUMENT DRAWINGS AS PART OF THE APPROVED CONSTRUCTION SET.</p> <p>4. ALL DEPARTMENTS THAT HAVE PROVIDE CONDITIONS OF APPROVAL ARE TO REVIEW DRAWINGS AND PROVIDE FINAL APPROVAL VIA ONLINE ELECTRONIC REVIEW, PRIOR TO ISSUANCE OF BUILDING PERMIT.</p> <p>5. DEVELOPMENT IMPACT FEES ARE ASSESSED BY THE CITY FOR CONSTRUCTION OF NEW RESIDENTIAL SQUARE FOOTAGE AS LISTED IN BURBANK FEE SCHEDULE AND TITLE 10, ARTICLE 22, OF THE BURBANK MUNICIPAL CODE.</p> <p>6. LOW IMPACT DEVELOPMENT: A LID PLAN IS REQUIRED FOR CITY REVIEW THAT PROVIDES A COMPREHENSIVE TECHNICAL DISCUSSION OF HOW THE PROJECT WILL PROVIDE ON-SITE RETENTION IN COMPLIANCE WITH THE REQUIREMENTS OF THE LID ORDINANCE AND LID STANDARD MANUAL.</p> <p>BEST MANAGEMENT PRACTICES AND CONTROL MEASURES SHALL BE PRIORITIZED IN THE FOLLOWING ORDER:</p> <ol style="list-style-type: none"> ON-SITE INFILTRATION, BIORETENTION, AND/OR RAINFALL HARVEST. ON-SITE BIOfiltration, OFF-SITE GROUND WATER REPLENISHMENT, AND/OR OFF-SITE RETROFIT. <p>7. NEW OR ADDITION/ ALTERATION CONSTRUCTION PROJECTS WITHIN THE CITY OF BURBANK ARE SUBJECT TO MWELD REVIEW.</p> <p>NEW OR REPLACEMENT LANDSCAPE AREAS FOR RESIDENTIAL AND NON-RESIDENTIAL AREAS BETWEEN 500 (NEW) AND 2,500 (REPLACEMENT) SQUARE FEET REQUIRING A BUILDING OR LANDSCAPE PERMIT, PLAN CHECK, OR DESIGN REVIEW WILL BE REQUIRED TO COMPLETE, EITHER A PERFORMANCE OR PRESCRIPTIVE COMPLIANCE METHOD. FULL HOUSE DEMOLITION WILL REQUIRE MWELD REVIEW, EITHER PRESCRIPTIVE OR PERFORMANCE, NO EXCEPTIONS.</p>	<p>1. THE PROJECT APPLICANT SHALL ENTER INTO ONE AFFORDABLE HOUSING AGREEMENT WITH THE CITY THAT WILL SATISFY THE REQUIREMENTS OF THE BURBANK MUNICIPAL CODE, INCLUSIONARY HOUSING AND DENSITY BONUS IMPLEMENTING REGULATIONS, GOVERNMENT CODE SECTION 65915, GOVERNMENT CODE SECTION 65913.4, AND THE HCD GUIDELINES. THE AFFORDABLE HOUSING AGREEMENT SHALL BE FINALIZED AND RECORDED WITH THE CITY PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY OR APPROVAL OF THE FINAL MAP FOR THE PROJECT, WHICHEVER OCCURS FIRST. THE AFFORDABLE HOUSING AGREEMENT MUST INCLUDE THE FOLLOWING PROVISIONS IDENTIFIED BELOW:</p> <ul style="list-style-type: none"> A TABLE SHOWING THE NUMBER OF BEDROOMS, UNIT SIZE, AND LOCATION OF EACH OF THE AFFORDABLE UNITS AND A FLOOR PLAN THAT REFERENCES THE TABLE AND SHOWS THE TYPE OF AFFORDABLE UNIT AND LOCATION TO ENSURE UNITS ARE DISPERSED THROUGHOUT THE SITE. PROVISIONS FOR THE REVIEW AND APPROVAL OF A MARKETING AND TENANT SELECTION PLAN, DESCRIPTION OF THE PROCESS FOR QUALIFYING PROSPECTIVE RENTER HOUSEHOLDS FOR INCOME ELIGIBILITY. TO COMPLY WITH ALL OF THE PROVISIONS OF THE BURBANK MUNICIPAL CODE, GOVERNMENT CODE SECTION 65915, GOVERNMENT CODE SECTION 65913.4, AND THE HCD GUIDELINES, THE AFFORDABLE UNITS SHALL REMAIN RESERVED FOR VERY-LOW AND LOWER INCOME RENTERS FOR 55 YEARS. HOUSEHOLD INCOMES OF ELIGIBLE HOUSEHOLDS SHALL NOT EXCEED THE AFFORDABILITY LIMITS ADJUSTED FOR ACTUAL HOUSEHOLD SIZE, AS DETERMINED ANNUALLY BY HCD (25 CCR SECTION 6932). ANY OTHER SPECIFIC PROVISIONS REQUIRED BY THE BURBANK MUNICIPAL CODE, INCLUSIONARY HOUSING AND DENSITY BONUS IMPLEMENTING REGULATIONS, GOVERNMENT CODE SECTION 65915, GOVERNMENT CODE SECTION 65913.4, AND THE HCD GUIDELINES. <p>2. THE PROJECT APPLICANT IS SUBJECT TO FULL COST RECOVERY OF CITY EXPENSES, INCLUDING ANY CONSULTANT TIME, FOR DRAFTING AND RECORING THE AFFORDABLE HOUSING AGREEMENT WITH THE CITY AND FOR ENSURING THE PROJECT APPLICANT'S COMPLIANCE WITH SAID AGREEMENT (MONITORING FEES). THESE FEES ARE AUTHORIZED BY THE CITY OF BURBANK FEE SCHEDULE UNDER ARTICLE III LAND USE AND ZONING, AND ARTICLE I, SECTION 14 (REAL ESTATE SERVICES).</p>	<p><u>TRANSPORTATION DIVISION</u></p> <p>1. PER THE CITY'S BURBANK2035 GENERAL PLAN MOBILITY ELEMENT, THE CITY HAS SET SPECIFIC SIDEWALK WIDTH REQUIREMENTS FOR BURBANK'S STREETS. BASED ON TABLE M-2 (PAGE 4-27) OF THE BURBANK2035 GENERAL PLAN'S HIGH DENSITY RESIDENTIAL LAND USE DESIGNATION, THE STANDARD WIDTH OF THE STREET IS 12-FOOT WIDE SIDEWALKS (FROM EDGE OF CURB TO PROPERTY LINE). DEVELOPMENT SHALL PROVIDE SIDEWALK WIDTH OF 12 FEET.</p>	<p>PART 1 – GENERAL – 1.01 SECTION INCLUDES</p> <p>A. FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR DEMOLITION, DISMANTLING, CUTTING AND ALTERATIONS AS INDICATED, SPECIFIED, AND REQUIRED FOR COMPLETION OF THE CONTRACT, FOR NEW CONSTRUCTION, MODERNIZATION AND REHABILITATION OF THE PROJECT AS APPLICABLE. FOLLOWING IS A PARTIAL LIST:</p> <ol style="list-style-type: none"> PROTECTING EXISTING WORK TO REMAIN. CLEANING SOILED MATERIALS THAT ARE TO REMAIN. DISCONNECTING AND CAPPING UTILITIES. REMOVING DEBRIS AND EQUIPMENT. REMOVAL OF ITEMS, AS INDICATED ON DRAWINGS. SALVAGEABLE ITEMS TO BE RETAINED BY THE OWNER. <p>1.02 PROJECT CONDITIONS</p> <p>A. DRAWINGS MAY NOT INDICATE IN DETAIL ALL DEMOLITION WORK TO BE CARRIED OUT. THE CONTRACTOR SHALL CAREFULLY EXAMINE EXISTING WORK TO DETERMINE FULL EXTENT OF DEMOLITION REQUIRED FOR COMPLETED WORK TO CONFIRM TO DRAWINGS AND SPECIFICATIONS.</p> <p>B. EXISTING WORK TO REMAIN THAT IS DAMAGED DURING AND BY DEMOLITION OPERATIONS, SHALL BE REPAIRED OR REPLACED TO SATISFACTION OF THE ARCHITECT/INSPECTOR AT NO COST TO THE OWNER.</p> <p>C. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DAMAGE RESULTING FROM INADEQUATE OR IMPROPER CONSTRUCTION, SHORING, BRACING OR SUPPORT PROCEDURES.</p> <p>D. NOTIFY THE ARCHITECT IMMEDIATELY FOR FURTHER INSTRUCTIONS, SHOULD MATERIALS, SYSTEMS OR CONDITIONS DIFFER FROM THOSE INDICATED ON DRAWINGS.</p> <p>1.03 QUALITY ASSURANCE</p> <p>A. WORK OF THIS SECTION SHALL BE CAREFULLY PERFORMED BY WORKMAN SKILLED IN DEMOLITION OF BUILDINGS, USING APPROPRIATE TOOLS AND EQUIPMENT, UNDER SUPERVISION OF A COMPETENT FOREMAN AT ALL TIMES.</p> <p>1.04 COORDINATION</p> <p>A. PRIOR TO COMMENCEMENT OF WORK OF THIS SECTION, CONTACT THE OWNER TO CONFIRM THAT ALL ITEMS IDENTIFIED AS OWNER PROPERTY HAVE BEEN REMOVED OR CLEARLY MARKED.</p> <p>B. COORDINATE DEMOLITION WITH OTHER TRADES TO ENSURE CORRECT SEQUENCE, LIMITS, AND METHODS OF PROPOSED DEMOLITION. SCHEDULE WORK TO CREATE LEAST POSSIBLE INCONVENIENCE TO OPERATION OF THE BUILDING.</p>	<p>1. ALL OUTSIDE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF BURBANK MUNICIPAL CODE 5-3-505- OUTSIDE LIGHTING.</p> <p>2. PURSUANT TO BURBANK MUNICIPAL CODE 9-1-1-2703 PUBLIC SAFETY UHF RADIO AMPLIFICATION SYSTEM, ALL BUILDINGS AND PARKING STRUCTURES SHALL BE CAPABLE OF SUPPORTING EMERGENCY SAFETY SERVICE RADIO COMMUNICATION SYSTEMS. ALL ENCLOSED AND/OR SUBTERRANEAN INTERIOR AREAS OF THIS PROJECT WILL BE TESTED UPON COMPLETION OF CONSTRUCTION TO DETERMINE THE RADIO SIGNAL TRANSPARENCY. ANY BUILDINGS OR STRUCTURES WHICH CANNOT PASS THE APPROPRIATE RADIO SIGNAL STRENGTH TEST MAY REQUIRE INSTALLATION OF A RADIATING CABLE ANTENNAE OR INTERNAL MULTIPLE ANTENNAE LOW POWER REPEATER SYSTEM WITH OR WITHOUT FCC-TYPE ACCEPTED BI-DIRECTIONAL UHF AMPLIFIERS AS NECESSARY TO MEET THIS REQUIREMENT.</p> <p>3. BUILDING/ STRUCTURES SHALL DISPLAY A STREET NUMBER IN ACCORDANCE WITH BURBANK MUNICIPAL CODE 9-2-505.1(A)- RESIDENTIAL BUILDING IDENTIFICATION AND/OR BURBANK MUNICIPAL CODE 9-2-505.1(B)- COMMERCIAL BUILDING IDENTIFICATION.</p> <p>4. PURSUANT TO BURBANK MUNICIPAL CODE 9-2-505.1.1 – APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY AND FROM THE ALLEY OR REAR ACCESSWAY TO THE PROPERTY. NUMBERS/ ADDRESSES ON RESIDENTIAL STRUCTURES SHALL BE AT LEAST FOUR (4) INCHES (101.6 MM) IN HEIGHT WITH THREE-FOURTHS (3/4) INCH (19.1 MM) STROKE. ALL OTHER OCCUPANCIES SHALL HAVE NUMBERS/ADDRESSES A MINIMUM OF SIX (6) INCHES (152.4 MM) IN HEIGHT WITH THREE-FOURTHS (3/4) INCHES (19.1) STROKE. ALL NUMBERS/ ADDRESSES SHALL CONTRAST WITH THEIR BACKGROUND.</p> <p>5. PURSUANT TO BURBANK MUNICIPAL CODE 9-2-506.1(a)- KEY BOXES FOR POLICE:</p> <ol style="list-style-type: none"> RESIDENTIAL DWELLINGS: WHEN ACCESS TO OR WITHIN A MULTIPLE-FAMILY DWELLING OR COMPLEX OR PRIVATE RESIDENTIAL COMMUNITY IS UNDULY DIFFICULT BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFESAVING OR POLICE PURPOSES, A KEY BOX IS TO BE INSTALLED IN AN ACCESSIBLE LOCATION. THE KEY BOX SHALL CONTAIN KEYS TO ALLOW ACCESS TO SECURITY GATES OR DOORS AS REQUIRED BY THE CHIEF OF POLICE. OTHER BUILDINGS: WHEN ACCESS TO OR WITHIN A MULTIPLE-OCCUPANCY BUILDING IS UNDULY DIFFICULT BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFESAVING OR OTHER POLICE PURPOSES, A KEY BOX MAY BE REQUIRED BY THE CHIEF OF POLICE. <p>THE INSTALLATION SHALL OCCUR DURING THE CONSTRUCTION PHASE, DEPENDING ON THE SIZE OF THE DEVELOPMENT, MORE THAN ONE "KEY BOX FOR POLICE" MAY BE REQUIRED. YOUR PROJECT REQUIRES A "KEY BOX FOR POLICE," ALSO KNOW AS KNOXBOX, TO BE INSTALLED IN THE FOLLOWING LOCATION(S):</p> <p>POLICE KNOXBOX TO BE MOUNTED ON THE WALL ADJACENT TO THE MAIN FRONT DOOR. THE BOX MUST BE VISIBLE WHILE STANDING AT THE FRONT DOOR, AND EASILY ACCESSIBLE.</p> <p>6. RECOMMENDATIONS: PREVENTIVE MEASURES SHOULD BE TAKEN TO SECURE ANY ENTRANCES TO THE BUILDING(S) FROM ANY PARKING STRUCTURES TO PREVENT THE POSSIBILITY OF THEFT OR BURGLARY. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH PHYSICAL DESIGN STANDARDS SUCH AS CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) AND YOUTH PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p> <p>7. RECOMMENDATIONS: ALL EXTERIOR DOORS, OTHER THAN PRIMARY ENTRY DOORS, SHALL BE SELF-CLOSING AND SELF-LOCKING TO PREVENT TRESPASSING. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH ENVIRONMENTAL DESIGN (CPTED) AND YOUTH PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p> <p>8. RECOMMENDATIONS: SECURE FENCING AROUND THE CONSTRUCTION SITE WITH LOOKING GATES AND APPROPRIATE LIGHTING SHOULD BE INSTALLED DURING CONSTRUCTION TO PREVENT TRESPASSING AND THEFT. DURING CONSTRUCTION, THE POLICE DEPARTMENT SHOULD BE GIVEN THE EMERGENCY CONTACT INFORMATION OF CONTRACTORS AND OWNERS FOR ANY PROBLEMS ENCOUNTERED AFTER NORMAL CONSTRUCTION HOURS. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH ENVIRONMENTAL DESIGN (CPTED) AND YOUTH PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p> <p>9. RECOMMENDATIONS: TO ENSURE CONSTRUCTION PERSONNEL IS AWARE OF THE RESTRICTED CONSTRUCTION TIMES, THE DEVELOPER SHOULD INSTALL A LEGIBLE, PROFESSIONALLY MADE SIGN(S) 2 FT X 3 FT, IN SIZE IN LOCATION(S) SATISFACTORY TO THE CITY PLANNER AND THE POLICE DEPARTMENT THAT STATES, "NOTICE: THE CITY OF BURBANK LIMITS CONSTRUCTION ACTIVITIES OF THIS PROJECT (DEMOLITION, EXCAVATION, GRADING, ACTUAL CONSTRUCTION, AND LANDSCAPING) AS FOLLOWS: 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY, AND FROM 8:00 AM TO 5:00 PM ON SATURDAY. THERE SHALL BE NO WORK PERFORMED ON SUNDAYS OR MAJOR HOLIDAYS." ANY EXCEPTIONS WOULD BE SUBJECT TO THE APPROVAL OF THE DIRECTORS OF BOTH THE COMMUNITY DEVELOPMENT AND PUBLIC WORKS DEPARTMENTS.</p> <p>BURBANK MUNICIPAL CODE 9-1-1-105-10- CONSTRUCTION HOURS: THE FOLLOWING CONSTRUCTION HOURS SHALL APPLY TO ALL CONSTRUCTION, ALTERATION, MOVEMENT, ENLARGEMENT, REPLACEMENT, REPAIR, EQUIPMENT, MAINTENANCE, REMOVAL, AND DEMOLITION WORK REGULATED BY THIS CODE:</p> <p>CONSTRUCTION HOURS:</p> <p>MONDAY-FRIDAY 7:00 A.M. TO 7:00 P.M. SATURDAY 8:00 A.M. TO 5:00 P.M. SUNDAY AND CITY HOLIDAYS- NONE</p> <p>10. RECOMMENDATIONS: STAIRWELLS, THE INTERIORS OF WHICH ARE NOT COMPLETELY VISIBLE WHEN FIRST ENTERING, SHALL HAVE MIRRORS SO PLACES AS TO MAKE THE WHOLE STAIRWELL INTERIOR VISIBLE TO PEDESTRIANS OUTSIDE. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH PHYSICAL DESIGN (CPTED) AND YOUR PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p>
	<p><u>LANDSCAPING NOTES</u></p> <p>1. ALL LANDSCAPING, AS PLANTED PURSUANT TO THE APPROVED LANDSCAPING PLANS, AND RELATED IRRIGATION SYSTEMS, MUST BE PROPERLY MAINTAINED IN REASONABLY GOOD CONDITION, AND ANY WEEDS OR DECAYED OR DEAD VEGETATION SHALL BE REMOVED. THIS REQUIREMENT APPLIES AT ALL TIMES DURING THE LIFE OF THE PROJECT, AND IT SHALL BE UNLAWFUL FOR ANY LANDOWNER, AND PERSON HAVING LEASING, OCCUPANCY OR HAVING CHARGE OR POSSESSION OF ANY PROPERTY TO VIOLATE THIS PROVISION.</p> <p>2. ALL LANDSCAPE AREAS MUST INCLUDE A PERMANENT FULLY AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEMS MUST UTILIZE WATER CONSERVATION DESIGN CONCEPTS INCLUDING BUT NOT LIMITED TO LOW-FLOW SPRINKLER HEADS AND BUBBLERS, DRIP SYSTEMS, ZONE SEPARATION, MICROCLIMATE CONSIDERATIONS, AND MOISTURE SENSORS. IRRIGATION SYSTEMS MAY OPERATE ONLY BETWEEN THE HOURS OF 9 P.M. AND 6 A.M.</p> <p>3. ALL PLANTERS MUST BE CONSTRUCTED OF PERMANENT MASONRY OR CONCRETE CONSTRUCTION. ALL PLANTERS MUST PROVIDE DRAINAGE DIRECTLY INTO A DRAINAGE SYSTEM.</p> <p>4. ALL LANDSCAPING MUST BE DESIGNED AND INSTALLED SO AS TO REACH MATURITY WITHIN FIVE (5) YEARS OF THE PLANTING DATE.</p> <p>5. LANDSCAPING PLANS DEMONSTRATING COMPLIANCE WITH THE LANDSCAPING REQUIREMENTS MUST BE PREPARED BY A REGISTERED LANDSCAPE ARCHITECT. FINAL SPECIES SELECTION AND PLACEMENT OF ALL TREES AND VEGETATION MUST BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR AND THE PARK, RECREATION AND COMMUNITY SERVICES DIRECTOR.</p>	<p><u>OTHER APPLICABLE NOTES</u></p> <p>1. ART IN PUBLIC PLACES – THE PROJECT MAY BE SUBJECT TO THE CITY'S ART IN PUBLIC PLACES ORDINANCE UNLESS IT IS EXEMPT IN ACCORDANCE WITH BMC SECTION 10-1-1114(K).</p> <p>2. THE FRONT YARD TREES ARE TO BE COMPLEMENTARY WITH THE STREET TREES AS DETERMINED BY THE CITY'S PARKS AND RECREATION DEPARTMENT.</p>	<p>PART 3 – EXECUTION – 3.01 GENERAL</p> <p>A. PROTECTION:</p> <ol style="list-style-type: none"> DO NOT BEGIN DEMOLITION UNTIL TEMPORARY PARTITIONS BARRICADES, WARNING SIGNS AND OTHER FORMS OF PROTECTION ARE INSTALLED. PROVIDE ALL SAFEGUARDS, INCLUDING WARNING SIGNS AND LIGHTS, BARRICADES, AND THE LIKE, FOR PROTECTION OF THE OCCUPANTS AND PUBLIC DURING DEMOLITION. NOISE, DUST AND WATER CONTROL: REFER TO SUPPLEMENTARY CONDITIONS. SAFETY: IF AT ANY TIME SAFETY OF EXISTING CONSTRUCTION APPEARS TO BE ENDANGERED, CONTRACTOR SHALL TAKE CONSTRUCTION, CEASE OPERATIONS AND IMMEDIATELY NOTIFY THE ARCHITECT. DO NOT RESUME DEMOLITION UNTIL THE ARCHITECT'S INSTRUCTIONS ARE RECEIVED. <p>3.02 DEMOLITION</p> <p>A. DO NOT THROW MATERIALS FROM HEIGHTS. USE RAMPS OR CHUTES.</p> <p>B. REMOVE EXISTING CONSTRUCTION ONLY TO EXTENT NECESSARY FOR PROPER INSTALLATION OF NEW CONSTRUCTION AND JUNCTION WITH EXISTING WORK. CUT BACK FINISHED SURFACES TO STRAIGHT, PLUMB OR LEVEL LINES AS REQUIRED.</p> <p>C. WHERE OPENINGS ARE CUT OVERSIZED OR IN IMPROPER LOCATION, REPLACE THE EXCESS REMOVED MATERIAL AS INSTRUCTED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.</p> <p>3.03 CUTTING EXISTING CONCRETE</p> <p>A. CUTTING OF EXISTING CONCRETE SHALL BE DONE BY EXPERIENCED WORKMEN FAMILIAR WITH THE REQUIREMENTS AND SPACE NECESSARY FOR PLACING CONCRETE. ALL CUTTING SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE CONTRACTOR. IN GENERAL, CUTTING OF CONCRETE SHALL BE SOON WITH CONCRETE CUTTING WHEELS AND HAND CHISELS. CARE SHALL BE TAKEN NOT TO SHATTER CONCRETE THAT IS TO REMAIN.</p> <p>B. EXTENT OF CUTTING OF CONCRETE SHALL BE DETERMINED BY FIGURED DIMENSIONS ON DRAWINGS. ANY CONCRETE REMOVED IN EXCESS OF AMOUNT INDICATED, SPECIFIED OR REQUIRED, SHALL BE REPLACED WITH CONCRETE AS DIRECTED BY THE ARCHITECT AT EXPENSE OF CONTRACTOR.</p> <p>C. PRIOR TO CUTTING OR CORING CONCRETE, ASCERTAIN LOCATION OF UTILITIES WHICH MIGHT BE EMBEDDED THEREIN OR IN CLOSE PROXIMITY AND TAKE NECESSARY MEASURES TO PROTECT THEM.</p> <p>3.04 REMOVAL OF EXISTING PLUMBING AND ELECTRICAL EQUIPMENT AND SERVICES</p> <p>A. CONTRACTOR SHALL REMOVE FROM BUILDING AND SITE ALL EXISTING PLUMBING AND ELECTRICAL EQUIPMENT FIXTURES AND SERVICES NOT INDICATED FOR REUSE AND NOT NECESSARY FOR COMPLETION OF WORK SHALL DISCONNECT, AND, WHEN NECESSARY, CAP SERVICES TO THE PORTION OF WORK PRIOR TO COMMENCEMENT OF, OR DURING WORK OF, THIS SECTION.</p> <p>3.05 REMOVAL OF OTHER MATERIALS</p> <p>A. MASONRY: CUT BACK TO JOINT LINES AND REMOVE OLD MORTAR WITHOUT DAMAGING UNITS TO REMAIN. ALLOW SPACE FOR REPAIRS TO BACKING WHERE APPLICABLE.</p> <p>B. WOODWORK: CUT OR REMOVE TO A JOINT OR PANEL LINE. UNDAMAGED, REMOVED MATERIAL, MAY BE REUSED.</p> <p>C. ROOFING: REMOVE AS REQUIRED, INCLUDING ROOF INSULATION, FLASHING, AND RELATED ITEMS CONNECTED THERETO. AT PENETRATIONS THROUGH EXISTING ROOFING, TRIM CUT EDGES BACK TO SOUND ROOFING WITH OPENINGS OF MINIMUM SIZE NECESSARY TO RECEIVE NEW WORK.</p> <p>D. SHEET METAL: REMOVE BACK TO JOINT, LAP, OR CONNECTION. SECURE LOOSE AND UNFASTENED ENDS OR EDGES AND MAKE WATERTIGHT.</p> <p>E. GLASS: REMOVE BROKEN OR DAMAGED GLASS AND CLEAN REBATES AND STOPS OF SETTING MATERIALS.</p> <p>F. MODULAR MATERIALS SUCH AS CEILING, RESILIENT AND CERAMIC TILE: REMOVE TO A NATURAL JOINT NEW CONSTRUCTION. AFTER REMOVING FLOORING MATERIALS, CLEAN SUBSTRATES OF OLD CEMENT AND ADHESIVE.</p> <p>G. GYPSUM BOARD: REMOVE TO A JOINT LINE ON A SUPPORT. H. PLASTER: SAW OUT PLASTERON STRAIGHT LINES BUT LEAVE A MINIMUM OF 2" OF FIRMLY ATTACHED METAL LATH WHERE TYING TO NEW LATH/PLASTER.</p> <p>I. WORK NOT MENTIONED TO BE REMOVED THAT INTERFERES WITH NEW CONSTRUCTION SHALL BE CUT TO CLEAN-CUT LINES TO PROVIDE FOR PROPER INTERFACE WITH NEW CONSTRUCTION, OR PATCHING AND REPAIR, AS REQUIRED.</p> <p>J. EXISTING FACILITIES, EQUIPMENT OR WORK THAT IS NOT INDICATED TO BE REMOVED, BUT INTERFERES WITH NEW CONSTRUCTION, SHALL BE CUT NEATLY AND REMOVED AS REQUIRED TO FACILITATE INSTALLATION OF NEW WORK, AND THEN REPLACED AND FINISHED AS SPECIFIED FOR NEW WORK.</p> <p>3.06 CLEANING</p> <p>A. CLEAN ALL EXISTING MATERIALS TO REMAIN, USING SKILLED EXPERIENCE WORKMEN UNDER SUPERVISION, USING APPROPRIATE TOOLS AND MATERIALS.</p> <p>B. PROTECT ADJACENT MATERIALS AND EQUIPMENT DURING CLEANING FUNCTIONS.</p> <p>3.07 PATCHING</p> <p>A. PATCHING MATERIALS WHICH ARE TO REMAIN WHEN DAMAGED BY THIS WORK, FINISH MATERIAL, AND APPEARANCE OF PATCH OR REPAIR WORK SHALL MATCH EXISTING CONTIGUOUS MATERIALS AND FINISHES IN ALL RESPECTS, AS APPROVED BY THE ARCHITECT.</p> <p>3.08 CLEAN-UP/ DISPOSAL</p> <p>A. PARKING TRUCKS AT BUILDING SHALL BE COORDINATED WITH THE CITY OF LOS ANGELES.</p> <p>B. DEBRIS SHALL BE CONVEYED BY TRUCKS DESIGNED TO TRANSPORT RUBBISH AND DEBRIS.</p> <p>C. DEBRIS SHALL BE DAMPENED BY FOG WATER SPRAY WHEN IT IS TRANSPORTED FROM ITS LOCATION TO TRUCK. AMOUNT OF WATER SHALL BE CONTROLLED TO INSURE AGAINST WATER PONDING ATE AREA OF DEBRIS PICK-UP.</p> <p>D. DEBRIS PICK-UP AREA SHALL BE KEPT BROOM-CLEAN AND SHALL BE FLUSHED WITH CLEAN WATER, WHEN NECESSARY, TO REMOVE SOIL.</p> <p>E. DEBRIS, WASTE, AND REMOVAL MATERIALS, OTHER THAN ITEMS TO BE SALVAGED, ARE CONTRACTOR'S PROPERTY FOR LEGAL DISPOSAL OFF SITE. CONTINUOUSLY CLEAN-UP AND REMOVE THESE ITEMS AND DO NOT ALLOW TO ACCUMULATE IN BUILDING(S) OR ON SITE.</p>	<p>THE INSTALLATION SHALL OCCUR DURING THE CONSTRUCTION PHASE, DEPENDING ON THE SIZE OF THE DEVELOPMENT, MORE THAN ONE "KEY BOX FOR POLICE" MAY BE REQUIRED. YOUR PROJECT REQUIRES A "KEY BOX FOR POLICE," ALSO KNOW AS KNOXBOX, TO BE INSTALLED IN THE FOLLOWING LOCATION(S):</p> <p>POLICE KNOXBOX TO BE MOUNTED ON THE WALL ADJACENT TO THE MAIN FRONT DOOR. THE BOX MUST BE VISIBLE WHILE STANDING AT THE FRONT DOOR, AND EASILY ACCESSIBLE.</p> <p>6. RECOMMENDATIONS: PREVENTIVE MEASURES SHOULD BE TAKEN TO SECURE ANY ENTRANCES TO THE BUILDING(S) FROM ANY PARKING STRUCTURES TO PREVENT THE POSSIBILITY OF THEFT OR BURGLARY. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH PHYSICAL DESIGN STANDARDS SUCH AS CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) AND YOUTH PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p> <p>7. RECOMMENDATIONS: ALL EXTERIOR DOORS, OTHER THAN PRIMARY ENTRY DOORS, SHALL BE SELF-CLOSING AND SELF-LOCKING TO PREVENT TRESPASSING. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH ENVIRONMENTAL DESIGN (CPTED) AND YOUTH PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p> <p>8. RECOMMENDATIONS: SECURE FENCING AROUND THE CONSTRUCTION SITE WITH LOOKING GATES AND APPROPRIATE LIGHTING SHOULD BE INSTALLED DURING CONSTRUCTION TO PREVENT TRESPASSING AND THEFT. DURING CONSTRUCTION, THE POLICE DEPARTMENT SHOULD BE GIVEN THE EMERGENCY CONTACT INFORMATION OF CONTRACTORS AND OWNERS FOR ANY PROBLEMS ENCOUNTERED AFTER NORMAL CONSTRUCTION HOURS. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH ENVIRONMENTAL DESIGN (CPTED) AND YOUTH PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p> <p>9. RECOMMENDATIONS: TO ENSURE CONSTRUCTION PERSONNEL IS AWARE OF THE RESTRICTED CONSTRUCTION TIMES, THE DEVELOPER SHOULD INSTALL A LEGIBLE, PROFESSIONALLY MADE SIGN(S) 2 FT X 3 FT, IN SIZE IN LOCATION(S) SATISFACTORY TO THE CITY PLANNER AND THE POLICE DEPARTMENT THAT STATES, "NOTICE: THE CITY OF BURBANK LIMITS CONSTRUCTION ACTIVITIES OF THIS PROJECT (DEMOLITION, EXCAVATION, GRADING, ACTUAL CONSTRUCTION, AND LANDSCAPING) AS FOLLOWS: 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY, AND FROM 8:00 AM TO 5:00 PM ON SATURDAY. THERE SHALL BE NO WORK PERFORMED ON SUNDAYS OR MAJOR HOLIDAYS." ANY EXCEPTIONS WOULD BE SUBJECT TO THE APPROVAL OF THE DIRECTORS OF BOTH THE COMMUNITY DEVELOPMENT AND PUBLIC WORKS DEPARTMENTS.</p> <p>BURBANK MUNICIPAL CODE 9-1-1-105-10- CONSTRUCTION HOURS: THE FOLLOWING CONSTRUCTION HOURS SHALL APPLY TO ALL CONSTRUCTION, ALTERATION, MOVEMENT, ENLARGEMENT, REPLACEMENT, REPAIR, EQUIPMENT, MAINTENANCE, REMOVAL, AND DEMOLITION WORK REGULATED BY THIS CODE:</p> <p>CONSTRUCTION HOURS:</p> <p>MONDAY-FRIDAY 7:00 A.M. TO 7:00 P.M. SATURDAY 8:00 A.M. TO 5:00 P.M. SUNDAY AND CITY HOLIDAYS- NONE</p> <p>10. RECOMMENDATIONS: STAIRWELLS, THE INTERIORS OF WHICH ARE NOT COMPLETELY VISIBLE WHEN FIRST ENTERING, SHALL HAVE MIRRORS SO PLACES AS TO MAKE THE WHOLE STAIRWELL INTERIOR VISIBLE TO PEDESTRIANS OUTSIDE. (BURBANK2035 GENERAL PLAN SAFETY ELEMENT GOAL 3, POLICY 3.2- REDUCE OPPORTUNITIES FOR CRIMINAL ACTIVITY THROUGH PHYSICAL DESIGN (CPTED) AND YOUR PROGRAMS, RECREATION OPPORTUNITIES, EDUCATIONAL PROGRAMS, AND COUNSELING SERVICES.)</p> <p>FOR ADDITIONAL INFORMATION OR QUESTIONS, PLEASE CONTACT SERGEANT BRENT FEKETY AT (818) 238-3240 OR VIA EMAIL AT BFEKETY@BURBANKCA.GOV. THE POLICE DEPARTMENT WILL BE AVAILABLE TO REVIEW PLANS AND APPLY AN APPROVAL STAMP FOR BUILDING PERMITS MONDAY THROUGH THURSDAY BETWEEN 9:00 A.M. AND 11:00 A.M.</p>

BURBANK WATER AND POWER (ELECTRIC) NOTES

PLAN INFORMATION

- THE FOLLOWING INFORMATION SHALL BE INCLUDED ON THE CONSTRUCTION PLANS:
 - LOCATION OF THE EXISTING ELECTRIC SERVICE PANEL.
 - DIMENSIONS/ LOCATION OF EXISTING/ PROPOSED PUBLIC IMPROVEMENTS ADJACENT TO PROJECT
 - THE WIDTH AND THE LOCATION OF ALL THE EXISTING AND PROPOSED EASEMENTS.
 - FULLY DIMENSIONED BUILDING ELEVATIONS SHOWING HEIGHT OF STRUCTURE FROM NATURAL GRADE.
 - PROPOSED LOCATION OF THE ELECTRIC SERVICE PANEL/ METERS
 - PROPOSED LOCATION OF THE ANY PAD-MOUNTED ELECTRICAL EQUIPMENT.PLAN APPROVAL WILL NOT BE GIVEN UNTIL AN ELECTRIC SERVICE CONFIRMATION IS OBTAINED. CONTACT BWP ENGINEERING AT (818) 238-3575. THE PLANS MUST SHOW THE PERTINENT INFORMATION RELATED TO THE METHOD OF SERVICE AS SPECIFIED ON THE CONFIRMATION.

LOAD REQUIREMENTS

- LOADS BELOW SVAIA WILL BE FED FROM THE EXISTING SYSTEM BUT WILL REQUIRE UPGRADES TO ACCOMMODATE THE NEW DEVELOPMENT, AT THE DEVELOPERS COST.

SUBSTRUCTURE

- OVERHEAD BWP ELECTRICAL FACILITIES TRAVERSING OR ADJACENT TO THE DEVELOPMENT ARE TO BE CONVERTED TO UNDERGROUND AT THE DEVELOPER'S COST. THE DEVELOPER WILL BE RESPONSIBLE FOR COSTS INVOLVED IN CONVERTING EXISTING OVERHEAD ELECTRIC SERVICES TO UNDERGROUND FOR ANY CUSTOMERS IMPACTED BY THIS UNDERGROUND CONVERSION.
- THE PROPOSED DEVELOPMENT WILL REQUIRE THE INSTALLATION OF A PAD-MOUNTED TRANSFORMER AT GRADE, WHICH HAS A VAULT UNDERNEATH IT. NO STRUCTURES ARE ALLOWED TO BE CONSTRUCTED UNDERNEATH THIS VAULT.
- THE PROPOSED DEVELOPMENT MAY REQUIRE THE INSTALLATION OF A PAD-MOUNTED SWITCH AT GRADE, WHICH HAS A VAULT UNDERNEATH IT. NO STRUCTURES ARE ALLOWED TO BE CONSTRUCTED UNDERNEATH THIS VAULT. THE PAD-MOUNTED SWITCH WILL BE LOOPED ON THE LINE SIDE.
- THE INSTALLATION OF PAD-MOUNTED TRANSFORMERS AND SWITCHES WILL REQUIRE THE USE OF A CRANE OR BOOM TRUCK, TO FACILITATE THIS INSTALLATION, A VERTICAL CLEARANCE OF 40' FROM THE TRANSFORMER OR SWITCH PAD LEVEL SHOULD BE MAINTAINED. ANY DESIGN THAT WOULD RESTRICT VERTICAL ACCESS CLEARANCE TO A LEVEL BELOW 40' SHALL BE SUBJECT TO BWP APPROVAL.
- PROVIDE A MINIMUM 14' X 18' CLEAR ACCESSIBLE AREA AT GRADE LEVEL ON UNDISTURBED SOIL WITH EASY CRANE ACCESS 20-FOOT WIDE FOR EACH THREE-PHASE PAD-MOUNT TRANSFORMER FACILITY.
- PROVIDE A MINIMUM 10' X 17' CLEAR ACCESSIBLE AREA AT GRADE LEVEL ON UNDISTURBED SOIL WITH EASY CRANE ACCESS 20-FOOT WIDE FOR EACH SINGLE-PHASE PAD-MOUNT TRANSFORMER FACILITY.
- THE PROPOSED DEVELOPMENT WILL REQUIRE THE INSTALLATION OF 4' X 6' PRIMARY PULL-BOXES
- THE PROPOSED DEVELOPMENT WILL REQUIRE THE INSTALLATION OF 8' X 14' PRIMARY MANHOLES.
- ADDITIONAL CONDUITS MAY BE REQUIRED TO PROVIDE FOR FUTURE NEEDS.
- THE DEVELOPER WILL PROVIDE 5' WIDE RECORDED EASEMENT FOR THE NEW UNDERGROUND SYSTEM FROM THE PROPERTY LINE TO THE SWITCH AND A MINIMUM 25' X 15' CLEAR ACCESSIBLE EASEMENT FOR A PAD-MOUNT SWITCH. THE DEVELOPER'S SURVEYOR WILL PROVIDE A LEGAL DESCRIPTION OF THE EASEMENTS, WHICH WILL BE REVIEWED BY BURBANK WATER AND POWER AND THEN PROCESSED BY THE COMMUNITY DEVELOPMENT DEPARTMENT (CONTACT 818-238-5250 FOR RECORDING).
- THE DEVELOPER'S CONTRACTOR WILL PROVIDE AS-BUILT DRAWINGS SHOWING THE EXACT LOCATION OF UNDERGROUND SUBSTRUCTURE INSTALLED TO SERVE THE PROPERTY.
- ALL SUBSTRUCTURE WORK INCLUDING TRANSFORMER PADS, SWITCH PADS, PULL BOXES, GROUNDING SYSTEMS, PRIMARY CONDUITS AND SECONDARY CONDUITS ARE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE DONE IN ACCORDANCE WITH BURBANK WATER AND POWER DRAWINGS AND SPECIFICATIONS
- ANY EXISTING AND PROPOSED SUBSTRUCTURE ON-SITE AND OFF-SITE, WHICH MAY AFFECT THE LOCATION OF THE NEW UNDERGROUND ELECTRICAL SYSTEM AND ANY OTHER IMPROVEMENTS SHALL BE IDENTIFIED AND SHOWN ON THE FINAL PLANS IN ORDER TO AVOID A POTENTIAL CONFLICT WITH OTHER SUBSTRUCTURE.
- BWP WILL PROVIDE THE FOLLOWING ITEMS AT THE DEVELOPER'S COST:
 - CONSTRUCTION DRAWINGS FOR ALL SUBSTRUCTURE WORK
 - ENGINEERING SUPPORT DURING CONSTRUCTION
 - INSPECTION OF THE WORK PERFORMED BY THE DEVELOPER'S CONTRACTOR TO ENSURE THE WORK IS DONE PER THE PLANS PROVIDED BY BWP AND PER BWP SPECIFICATIONS
 - INSTALLATION OF ALL TRANSFORMERS, SWITCHES, PRIMARY CABLES, AND METERING DEVICES
 - TERMINATION OF THE SECONDARY CABLES AT THE TRANSFORMER
- THE DEVELOPER'S CONTRACTOR SHALL INSTALL SECONDARY CONDUITS, PULL CABLE FROM THE TRANSFORMER TO THE SWITCHBOARD, AND TERMINATE THE SECONDARY CABLES ON THE SWITCHGEAR.
- DEPENDING ON THE LOCATION OF THE SWITCHGEAR (WHETHER IT IS OUTSIDE OR INSIDE THE BUILDING), SECONDARY CONDUITS AND CABLES WILL BE INSPECTED AND APPROVED BY BOTH THE BWP INSPECTOR AND THE BUILDING INSPECTOR (SWITCHGEAR INSIDE THE BUILDING) OR BY THE BWP INSPECTOR (SWITCHGEAR OUTSIDE THE BUILDING).
- THE BUILDING INSPECTOR WILL PROVIDE STRUCTURAL INSPECTION OF SECONDARY CONDUITS FOR COMPLIANCE WITH THE BUILDING CODE-CONCRETE ENCASEMENTS, FIRE WALLS, SUPPORT OF THE CONDUIT PACKAGE, ETC. THE BWP INSPECTOR WILL INSPECT THE AMOUNT AND SIZE OF SECONDARY CONDUITS AND CABLES.

METERING/SERVICE

- ALL ELECTRICAL INSTALLATIONS MUST CONFORM TO THE BURBANK WATER AND POWER RULES AND REGULATIONS FOR ELECTRIC SERVICE (LATEST REVISION).
- CONTACT BWP ENGINEERING AT (818) 238-3647 (RESIDENTIAL) OR AT (818) 238-3565 (COMMERCIAL) IF THE EXISTING SERVICE PANEL REQUIRES UPGRADING.
- FOR MULTI-METERED SERVICES ALL NUMBERING MUST BE COMPLETED IN A PERMANENT MANNER AT ALL INDIVIDUAL UNITS AND METER SOCKETS BEFORE SERVICE CAN BE ENERGIZED. SEE BWP RULES AND REGULATIONS, SECTION 2.68 (C) FOR ACCEPTABLE LABELING (STENCILING OR RIVETED TAGS REQUIRED, PERMANENT MARKER IS UNACCEPTABLE). CONTACT PUBLIC WORKS ENGINEERING FOR UNIT DESIGNATIONS.
- THE SERVICE SWITCHBOARD RATING SHALL BE LIMITED TO 3000 AMPS. FIVE COPIES OF EUSERC DRAWINGS OF THE SWITCHBOARD SHALL BE PROVIDED TO BWP FOR APPROVAL PRIOR TO SUBMITTAL TO THE MANUFACTURER. SERVICE SHALL NOT BE ENERGIZED UNLESS THESE DRAWINGS ARE PROVIDED.
- OUTDOOR METER LOCATIONS ARE PREFERRED, WHEN ADEQUATE EXTERIOR WALL SPACE IS NOT AVAILABLE, A SEPARATELY LOCKED, CLEARLY LABELED METER ROOM IS ACCEPTABLE. ALL METER ROOMS MUST BE LOCATED ON THE GROUND FLOOR AND HAVE TWO EXIT DOORS EQUIPPED WITH PANIC HARDWARE. AT LEAST ONE DOOR MUST LEAD DIRECTLY OUTSIDE. BWP MUST BE SUPPLIED AN ACCESS KEY TO THE ROOM, WHICH WILL BE INSTALLED IN A LOCK BOX ADJACENT TO THE DOOR. THE DEVELOPER SHALL CONSULT BWP FOR APPROVED LOCATION AND OBTAIN A SERVICE CONFIRMATION PRIOR TO ANY INSTALLATIONS.
- ALL NEW METERED SERVICES REQUIRE A PATH FOR METER COMMUNICATIONS TO BWP COMMUNICATION NETWORKS. INSTALLATION OF METERS THAT FAIL TO CONTINUOUSLY COMMUNICATE WITH BWP COMMUNICATION NETWORKS WILL REQUIRE ADDITIONAL BWP APPROVED EQUIPMENT TO BE INSTALLED AT THE DEVELOPER'S EXPENSE IN ORDER TO CREATE THE APPROPRIATE COMMUNICATIONS PATH.
- THE MAIN METER ROOM SHALL BE LOCATED AT GRADE LEVEL.

STREETLIGHTING

- THE DEVELOPER IS RESPONSIBLE FOR THE STREET LIGHTING SYSTEM TRAVERSING OR ADJACENT TO THE PROJECT. THE STREET LIGHT SYSTEM IS REQUIRED TO BE UNDERGROUND FED WITH LED LUMINAIRES. IF EXISTING LIGHTING CONDITIONS DO NOT SATISFY THIS REQUIREMENT, MODIFICATION WILL HAVE TO BE MADE AT THE DEVELOPER'S EXPENSE. STANDARDS AND LUMINAIRES WILL BE SUPPLIED BY BWP AT THE DEVELOPER'S EXPENSE. A PLOT PLAN OF THE SITE MUST BE SUBMITTED TO BWP DURING THE INITIAL PLANNING STAGE OF THE PROJECT FOR STREET LIGHT DESIGN.
- ANY CONSTRUCTION THAT IMPACTS EXISTING STREETLIGHT STANDARDS OR INFRASTRUCTURE WILL REQUIRE RELOCATION AT THE DEVELOPER'S COST.

LANDSCAPING

- ANY TREES PLANTED IN THE AREA ADJACENT TO THE STREET/ALLEY WILL BE OF A TYPE THAT WILL NOT GROW INTO THE EXISTING POWER LINES AND WILL ALSO HAVE SUFFICIENT CLEARANCE FROM THE STREETLIGHT FACILITIES.
- ALL EQUIPMENT LOCATIONS AND SCREENING STRUCTURES WILL BE INDICATED ON THE PLANS AND MUST MEET THE COMMUNITY DEVELOPMENT DEPARTMENT EQUIPMENT SCREENING GUIDELINES. THE PLANS WILL INCLUDE THE PROPOSED SCREENING METHOD, HEIGHT OF SCREENING MATERIAL FINISH AND COLOR OR SPECIES OF VEGETATION. ALL SCREEN WALLS, WHICH ARE A PART OF, OR ADJACENT TO, THE PROPOSED BUILDING WILL BE SHOWN ON THE BUILDING ELEVATIONS. ALL SCREEN WALLS DETACHED FROM THE BUILDING WILL BE INCLUDED AS A SEPARATE ELEVATION. VERIFICATION OF SUBMITTAL REQUIREMENTS AND RECOMMENDATIONS FOR SCREENING REQUIREMENTS SHALL BE BY THE CDD DIRECTOR OR HIS DESIGNEE.
- BWP LANDSCAPING REQUIREMENTS FOR TRANSFORMER PADS AND SWITCH PADS:

DUE TO THE NATURAL MATURATION OF TREES AND OTHER LANDSCAPING ELEMENTS, THE FOLLOWING REQUIREMENTS ARE TO BE ADHERED TO:

 - NEW PLANTINGS WITHIN THREE FEET OF THE BACK OR SIDES OF THE PAD AND WITHIN EIGHT FEET OF THE FRONT SHALL BE OF A GROUNDCOVER TYPE. THIS IS CONSIDERED THE WORKING ZONE.
 - OUTSIDE OF THE WORKING ZONE, SHRUBBERY IS ACCEPTABLE WITHIN EIGHT FEET OF THE PADS, BUT TREES MUST BE BEYOND AN EIGHT-FOOT RADIUS TO LESSEN FUTURE ROOT CONFLICTS.
 - LANDSCAPING GRADE SHALL BE A MINIMUM OF FIVE INCHES BELOW THE GRADE LEVEL OF THE TOP OF TRANSFORMER PADS.
 - ALL IRRIGATION AND SPRINKLER SYSTEMS SHALL BE CONSTRUCTED SO THAT WATER SHALL NOT BE DIRECTED ONTO THE SWITCH, THE TRANSFORMERS, OR THE CONCRETE PADS. ADDITIONALLY, SURFACE WATER SHALL DRAIN AWAY FROM THE CONCRETE PADS.

LANDSCAPE PLANS SHALL ADHERE TO THE ABOVE REQUIREMENTS, SHOWING PROPER WORKING CLEARANCES FOR ELECTRICAL FACILITIES ON L-SHEETS.

SAFETY/ CLEARANCES

- THE STATE OF CALIFORNIA PUBLIC UTILITIES COMMISSION GENERAL ORDER NO. 95 REQUIRES THAT NO BUILDING OR STRUCTURE BE ALLOWED TO ENCRoACH WITHIN THE ENVELOPE 12' VERTICAL AND 6' HORIZONTAL FROM THE EXISTING HIGH VOLTAGE LINES ALONG THE EXISTING ALLEYS WITHIN PROJECT BOUNDARY. THE ACTUAL HEIGHT AND LOCATION OF THE CONDUCTOR ATTACHMENT HAS TO BE SURVEYED AND SHOWN ON THE PLANS.
- THE STATE OF CALIFORNIA PUBLIC UTILITIES COMMISSION GENERAL ORDER NO. 95 REQUIRES THAT NO BUILDING OR STRUCTURE BE ALLOWED TO ENCRoACH WITHIN THE ENVELOPE 8' VERTICAL AND 3' HORIZONTAL FROM THE EXISTING LOW VOLTAGE LINES ALONG THE EXISTING ALLEYS WITHIN PROJECT BOUNDARY. THE ACTUAL HEIGHT AND LOCATION OF THE CONDUCTOR ATTACHMENT HAS TO BE SURVEYED AND SHOWN ON THE PLANS.
- THE STATE OF CALIFORNIA PUBLIC UTILITIES COMMISSION GENERAL ORDER NO. 95 REQUIRES THAT NO TEMPORARY SCAFFOLDING, PLATFORMS OR SUPPORTING FRAMEWORK UPON WHICH MEN MAY WORK BE ALLOWED TO ENCRoACH WITHIN THE REQUIRED CLEARANCE ENVELOPES AS STATED IN THE PREVIOUS TWO COMMENTS.
- BURBANK WATER AND POWER RULES AND REGULATIONS REQUIRE THAT NO OPEN PATIOS OR BALCONIES WILL BE CREATED UNDERNEATH ANY HIGH VOLTAGE OVERHEAD CONDUCTOR REGARDLESS OF VERTICAL CLEARANCE.
- PLANS MUST BE REVISED TO AVOID ENCRoACHMENT INTO THE ENVELOPE AS COMMENTED ABOVE. BUILDING ELEVATIONS WILL SHOW THE EXISTING POWER POLES, THEIR HEIGHT FROM NATURAL GRADE, CONDUCTOR ATTACHMENT HEIGHTS AND LOCATIONS (ALL SURVEYED), AND THE DESCRIBED ABOVE ENVELOPES CLEAR FROM ANY PORTION OF THE BUILDING PER BWP DRAWING S-708 (ATTACHED).
- THE DEVELOPER'S CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY EXISTING BURBANK WATER AND POWER FACILITIES IN PLACE. POWER POLES MUST BE PROTECTED IN PLACE TO PREVENT ANY MOVEMENT OF THE POLE BUTT DURING EXCAVATION. ANCHORS MUST ALSO BE PROTECTED TO PREVENT SLIPPAGE OR EXPOSURE THAT COULD RESULT IN THE REDUCTION OR LOSS OF HOLDING POWER. IF THESE REQUIREMENTS CANNOT BE MET, THEN NO EXCAVATION WILL BE ALLOWED WITHIN THREE FEET FROM THE FACE OF POLES AND FIVE FEET FROM ANCHORS.
- THE DEVELOPER'S CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY EXISTING BURBANK WATER AND POWER UNDERGROUND FACILITIES FROM DAMAGE DURING CONSTRUCTION. NO CRANE IMPOSED LOADS WILL BE ALLOWED ON ANY EXISTING MANHOLE OR PULLBOX STRUCTURES.
- ANY EXCAVATION THAT RESTRICTS VEHICULAR ACCESS TO EXISTING BWP FACILITIES MAY REQUIRE THE RELOCATION OF SUCH FACILITIES PRIOR TO EXCAVATION AT THE DEVELOPER'S COST.

AID-IN-CONSTRUCTION

- THE BURBANK WATER AND POWER FEES FOR PROVIDING ELECTRIC SERVICE ARE AID-IN-CONSTRUCTION (AIC) CHARGES SET FORTH IN SECTION 3.26 OF BWP'S RULES AND REGULATIONS FOR ELECTRIC SERVICE. AIC CHARGES ARE TO RECOVER THE ACTUAL COST OF:
 - PROVIDING AND INSTALLING NEW FACILITIES TO SERVE THE CUSTOMER;
 - CONDUCTING FEASIBILITY STUDIES AND ENGINEERING;
 - RELOCATING EXISTING OVERHEAD OR UNDERGROUND FACILITIES.

- A CUSTOMER OR DEVELOPER REQUESTING A NEW, UPGRADED OR REPLACEMENT METERED ELECTRIC PANEL WILL BE CHARGED A CAPACITY CHARGE BASED ON THE KVA DEMAND OF SUCH NEW, UPGRADED, OR REPLACEMENT METERED ELECTRIC PANELS, WHICH WILL BE APPLIED ACCORDING TO THE CURRENT CITY OF BURBANK FEE RESOLUTION. THE KVA DEMAND IS CALCULATED USING THE FORMULAS PER BWP RULES AND REGULATIONS 3.26(G).

ENERGY EFFICIENCY

- POWER FACTOR CORRECTION TO A MINIMUM OF 90% WILL BE REQUESTED TO MINIMIZE KVA DEMAND AS WELL AS ENERGY USE. THE DEVELOPER MUST USE CALIFORNIA NONRESIDENT BUILDING STANDARD TO CONSIDER AND IMPLEMENT ENERGY EFFICIENT ELECTRICAL EQUIPMENT AND DEVICES FOR MINIMIZING PEAK DEMAND AND WASTEFUL ENERGY CONSUMPTION.

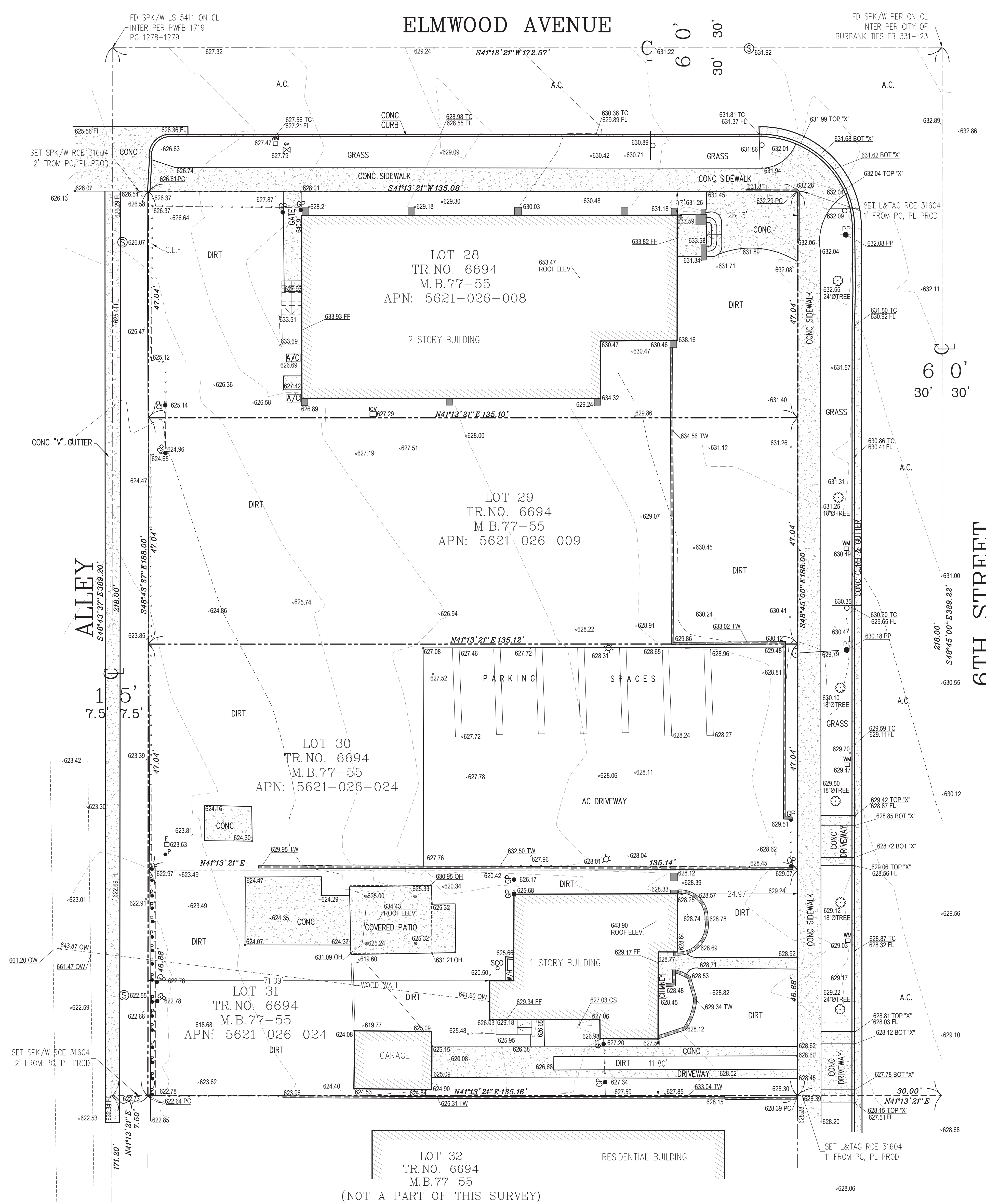
GENERAL REQUIREMENTS

- THE FOLLOWING INFORMATION SHALL BE INCLUDED ON THE CONSTRUCTION PLANS:
 - LOCATION OF THE EXISTING ELECTRIC SERVICE PANEL.
 - DIMENSIONS/LOCATION OF EXISTING/PROPOSED PUBLIC IMPROVEMENTS ADJACENT TO PROJECT
 - THE WIDTH AND THE LOCATION OF ALL THE EXISTING AND PROPOSED EASEMENTS.
 - FULLY DIMENSIONED BUILDING ELEVATIONS SHOWING HEIGHT OF STRUCTURE FROM NATURAL GRADE.
 - PROPOSED LOCATION OF THE ELECTRIC SERVICE PANEL/METERS.
 - PROPOSED LOCATION OF THE ANY PAD-MOUNTED ELECTRICAL EQUIPMENT.
- PLAN APPROVAL WILL NOT BE GIVEN UNTIL AN ELECTRIC SERVICE CONFIRMATION IS OBTAINED. CONTACT BWP ENGINEERING AT (818) 238-3575. THE PLANS MUST SHOW THE PERTINENT INFORMATION RELATED TO THE METHOD OF SERVICE AS SPECIFIED ON THE CONFIRMATION.
- DEPENDING ON LOCAL SITE CONDITIONS AND THE LOCATION OF THE PROJECT, AIC COSTS CAN VARY WIDELY FROM PROJECT TO PROJECT. FOR REFERENCE, HISTORICAL AIC COSTS FOR DEVELOPMENTS BETWEEN 1 MVA AND 5 MVA HAVE RANGED FROM \$400,000 - \$1,200,000 (2021 DOLLARS) PER FOR PROJECTS IN THIS SIZE RANGE. BWP RECOMMENDS PERFORMING A FEASIBILITY STUDY EARLY ON IN THE PROJECT TO DETERMINE A PROPOSED ELECTRICAL ROUTE AND A ROUGH COST ESTIMATE.
- IF ANY PORTION OF THE EXISTING BWP FACILITIES NEEDS TO BE UPGRADED OR RELOCATED DUE TO THE SUBJECT PROJECT, IT WILL BE DONE AT THE DEVELOPER'S EXPENSE.
- BURBANK WATER AND POWER OFFERS HIGH-SPEED, HIGH-QUALITY FIBER OPTICS-BASED SERVICES THROUGH ITS ONE BURBANK PROGRAM. FIBER SERVICE IS AVAILABLE TO THE PROJECT IF DESIRED. FOR FURTHER INFORMATION, EMAIL SUPPORT@ONEBURBANK.COM OR CALL (818) 238-3113.
- CONTACT AT&T AT (866) 577-7726 FOR ANY PHONE COMPANY FACILITY CONFLICTS. CONTACT CHARTER COMMUNICATIONS AT (818) 847-5013 FOR ANY CABLE T.V. FACILITY CONFLICTS.
- THE ELECTRICAL DESIGN SHALL COMPLY WITH CALIFORNIA BUILDING CODE TITLE 24 ENERGY EFFICIENCY REQUIREMENTS AND SHALL USE, WHEREVER PRACTICAL, SURGE SUPPRESSORS, FILTERS, ISOLATION TRANSFORMERS, OR OTHER AVAILABLE MEANS TO PRESERVE A QUALITY OF POWER OF ITS ELECTRICAL SERVICE AND TO PROTECT SENSITIVE ELECTRONIC AND COMPUTER-CONTROLLED EQUIPMENT FROM VOLTAGE SURGES, SAGS, AND FLUCTUATIONS. BWP ALSO RECOMMENDS THE USE OF AN UNINTERRUPTIBLE POWER SUPPLY (UPS) AND A STANDBY GENERATOR FOR CRITICAL LOADS.
- ELECTRIC VEHICLE (EV) PARKING CAPACITY SHALL BE IN ACCORDANCE WITH TITLE 24 BUILDING CODE REQUIREMENTS. PLANS SHALL DETAIL ALL PLANNED EV CHARGER INSTALLATIONS AS WELL AS ALL EV CAPABLE PARKING SPACES. THE ELECTRICAL SERVICE PANEL SHALL INCLUDE CAPACITY TO SIMULTANEOUSLY CHARGE ALL EV CAPABLE PARKING SPOTS AT THEIR FULL-RATED AMPERAGE WHETHER INSTALLED OR NOT.
- AS PART OF OUR EFFORTS TO REDUCE GREENHOUSE GAS EMISSIONS, IMPROVE AIR QUALITY, AND ENHANCE CUSTOMER SERVICE, BURBANK WATER AND POWER'S ELECTRIC VEHICLE CHARGING PROGRAM PROMOTES THE USE OF ELECTRIC VEHICLES BY PROVIDING REBATES FOR THE INSTALLATION OF LEVEL 2 (240V) CHARGING EQUIPMENT. BWP ALSO INSTALLS AND MAINTAINS A PUBLIC ELECTRIC VEHICLE CHARGING NETWORK, CONSISTING OF 45 LEVEL 2 CHARGING PORTS AND 2 DC FAST CHARGERS (480V), WITH NEW STATIONS ADDED EACH YEAR DEPENDING ON BUDGET AND AVAILABILITY. FOR MORE INFORMATION ON THE REBATES AND THE CHARGING NETWORK, PLEASE CONTACT DREW KIDD AT 818- 238-3653 OR DKIDD@BURBANKCA.GOV. ADDITIONALLY, INFORMATION CAN BE FOUND AT [HTTPS://WWW.BURBANKWATERANDPOWER.COM/CONSERVATION/ELECTRIC-VEHICLES-REBATE](https://www.burbankwaterandpower.com/conservation/electric-vehicles-rebate)
- A FEASIBILITY STUDY AS RECOMMENDED UNDER THE AID-IN-CONSTRUCTION COMMENT ABOVE SHOULD BE REQUESTED AND COMPLETED BEFORE FINALIZING THE SITE PLAN. A PADMOUNT SWITCH MAY BE REQUIRED, AND ELECTRICAL STRUCTURES MAY AFFECT LAYOUT OF PARKING, BUILDINGS, AND LANDSCAPING. THE FEASIBILITY STUDY IS NOT REQUIRED AHEAD OF TIME, BUT IT WILL HELP THE DEVELOPER IN PLANNING FOR THE ELECTRICAL INSTALLATION. PAST PROJECTS AND EXPERIENCE HAVE SHOWN THAT A FEASIBILITY STUDY WILL HELP DETERMINE THE EXTENT OF ONSITE ELECTRICAL FACILITIES FOR THE REQUESTED LOAD AND MAY SAVE THE DEVELOPER COST AND TIME IN THE DESIGN PROCESS. BWP HIGHLY RECOMMENDS A FEASIBILITY STUDY TO REDUCE COST AND IMPROVE COORDINATION OF NEW UTILITY INSTALLATIONS WITH THE DEVELOPMENT.
- THIS PROJECT WILL BE REQUIRED TO UNDERGROUND THE ADJACENT OVERHEAD LINES, THIS WORK WILL AFFECT ADJACENT SERVICES AND PROVISIONS TO REFEED THESE SERVICES WILL NEED TO BE PROVIDED EITHER ON OR OFF SITE. IF PROVIDED ONSITE THESE ELECTRICAL STRUCTURES MAY AFFECT LAYOUT OF PARKING, BUILDINGS, AND LANDSCAPING. SEE SUBSTRUCTURE SECTION ABOVE.
- BWP CAN PROVIDE ONE SINGLE-PHASE SERVICE OF 400 AMPS OR LESS OR ONE THREE-PHASE SERVICE OF 200 AMPS OR LESS FROM THE OVERHEAD DISTRIBUTION FACILITIES TO THE PROPERTY. IF THE SUBMITTED ELECTRICAL LOAD SCHEDULE IS GREATER THAN 400 AMPS SINGLE-PHASE OR 200 AMPS THREE-PHASE, THEN THE APPLICANT WILL BE REQUIRED TO INSTALL A NEW 120/240V SINGLE PHASE OR A NEW 120/208V THREE-PHASE PADMOUNT TRANSFORMER SERVICE AT THEIR EXPENSE. THE APPLICANT CAN OBTAIN ONE METER PER UNIT PROVIDED THAT PUBLIC WORKS ASSIGNS AN ADDRESS FOR EACH UNIT.
- IF A PADMOUNT SERVICE IS REQUIRED, THE PROPOSED DEVELOPMENT MUST MEET REQUIRED CLEARANCES (REFERENCE DRAWINGS S-724 AND S-725). A LOAD SCHEDULE IS REQUIRED TO DETERMINE THE SERVICE SIZE. THE APPLICANT WILL BE RESPONSIBLE FOR INSTALLING ALL UNDERGROUND SUBSTRUCTURES AND PAYING ACTUAL COSTS INCURRED BY BWP TO PROVIDE ELECTRIC SERVICE. THE APPLICANT WILL NEED TO OBTAIN AN EXCAVATION PERMIT THROUGH PUBLIC WORKS PRIOR TO EXCAVATING IN THE ALLEY. AID-IN-CONSTRUCTION CHARGES SHALL RECOVER ALL COSTS BY BWP TO PROVIDE ELECTRIC SERVICE. EXPENSES MAY INCLUDE:
 - TRANSFORMERS
 - PRIMARY SERVICE CABLE TO THE CUSTOMER'S TRANSFORMER FACILITIES
 - NEW RISER POLE AND RISER CONDUITS
 - PRIMARY PROTECTED DEVICES AND PRIMARY CABLE SUPPORT STRUCTURES WITHIN THE VAULT
 - METERING DEVICES
 - LABOR AND EQUIPMENT TO INSTALL THE ABOVE
 - FIELD SERVICES AND INSPECTIONS
 - ENGINEERING AND CONSTRUCTION DRAWINGS

- THE DEVELOPER IS RESPONSIBLE FOR THE STREET LIGHTING SYSTEM TRAVERSING THE PROJECT. THE STREET LIGHT SYSTEM IS REQUIRED TO BE UNDERGROUND FED WITH LED LUMINAIRES. A NEW STREETLIGHT STANDARD IS REQUIRED TO BE INSTALLED BY THE DEVELOPER IN FRONT OF THE PROPOSED PROPERTY ON PALM AVE BETWEEN 529 AND 521. EXISTING STREETLIGHT STANDARD ON PALM AVE BETWEEN 537 AND 545 E PALM AVE WILL NEED TO BE MODIFIED TO INSTALL UNDERGROUND SUBSTRUCTURES TO THE NEW STREETLIGHT STANDARD. NEW STREETLIGHT MAST-ARMS WILL BE NEEDED IN THE ALLEY. STANDARDS AND LUMINAIRES WILL BE SUPPLIED BY BWP AT THE DEVELOPER'S EXPENSE. A PLOT PLAN OF THE SITE MUST BE SUBMITTED TO BWP DURING THE INITIAL PLANNING STAGE OF THE PROJECT FOR STREETLIGHT DESIGN.
- ALL METER ROOMS MUST BE LOCATED ON THE GROUND FLOOR AND HAVE TWO EXIT DOORS EQUIPPED WITH PANIC HARDWARE. AT LEAST ONE DOOR MUST LEAD DIRECTLY OUTSIDE. BWP MUST BE SUPPLIED AN ACCESS KEY TO THE ROOM, WHICH WILL BE INSTALLED IN A LOCK BOX ADJACENT TO THE DOOR. THE DEVELOPER SHALL CONSULT BWP FOR APPROVED LOCATION AND OBTAIN A SERVICE CONFIRMATION PRIOR TO ANY INSTALLATIONS.
- FEEDER UPGRADES MAY BE REQUIRED TO SERVE THIS PROJECT LOAD. A LOAD SCHEDULE IS REQUIRED TO DETERMINE UPGRADE REQUIREMENTS.

FOR ADDITIONAL INFORMATION OR QUESTIONS PLEASE CONTACT MINA SHEHATA, ELECTRICAL ENGINEERING ASSOCIATE II, BWP AT (818) 238-3719 OR MSHEHATA@BURBANKCA.GOV.

GENERAL NOTES



LEGAL DESCRIPTION:
 THE FOLLOWING DESCRIBED REAL PROPERTY IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA:
 LOTS 28, 29, 30 AND 31 OF TRACT 8684, IN THE CITY OF BURBANK, COUNTY OF LOS ANGELES, CALIFORNIA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 77, PAGE(S) 55 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 MORE COMMONLY KNOWN AS: 801, 807, 817 SOUTH 6TH STREET, BURBANK, CA 91501

REFERENCE DOCUMENT:
 PER GRANT DEED
 INSTRUMENT NO.: 2019044759
 DATED AS OF: SEPTEMBER 13, 2019

LAND AREA:
 LOT 28—CONTAINING AN AREA OF 6,354.70 SQ. FT., OR 0.1458 ACRES, MORE OR LESS.
 LOT 29—CONTAINING AN AREA OF 6,354.70 SQ. FT., OR 0.1458 ACRES, MORE OR LESS.
 LOTS 30&31—CONTAINING AN AREA OF 12,892.23 SQ. FT., OR 0.2913 ACRES, MORE OR LESS.
 TOTAL—CONTAINING AN AREA OF 25,401.63 SQ. FT., OR 0.5829 ACRES, MORE OR LESS.

BENCHMARK:
 BM ID: #1709-1
 DESCRIPTION: 2-1/2" BRASS CAP STMP CITY OF BURBANK BM 1709-1 AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF PROVIDENCIA AVENUE AND KENNETH ROAD, ABOUT 20 FEET SOUTH OF THE CENTERLINE OF KENNETH ROAD AND ABOUT 49 FEET WEST OF THE CENTERLINE OF PROVIDENCIA AVENUE, SET IN THE TOP SOUTHWEST CORNER OF A 7.62 FOOT CATCH BASIN WITH DRAIN INLET ON THE SOUTH SIDE OF KENNETH ROAD AND ABOUT 0.7 FEET EAST OF THE STOP SIGN
 ELEV. = 703.125 FT.

SURVEYOR'S NOTE:
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 EASEMENTS, IF ANY, ARE NOT SHOWN.

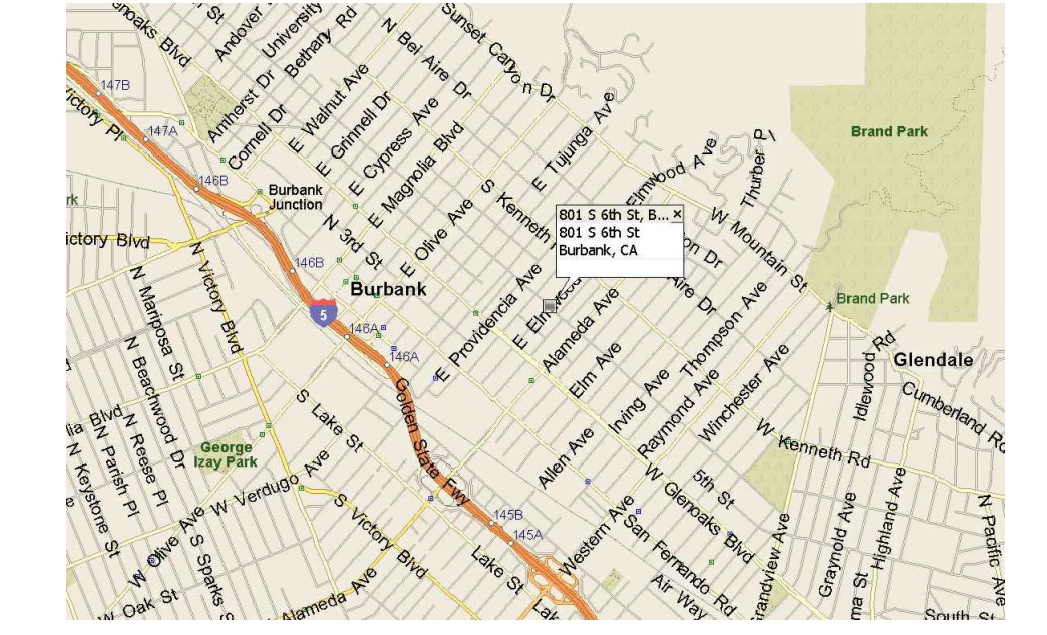
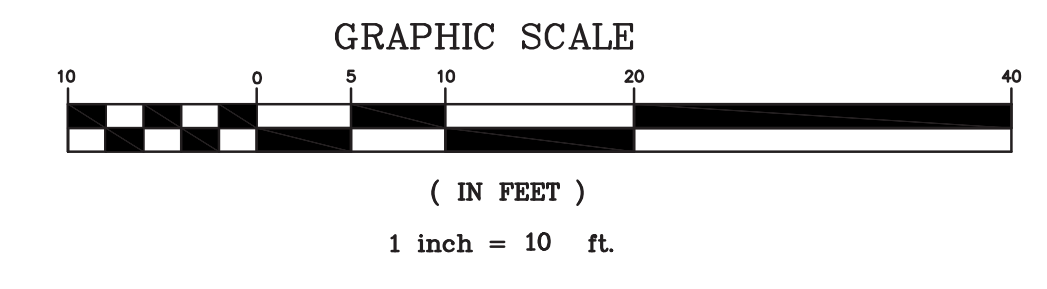
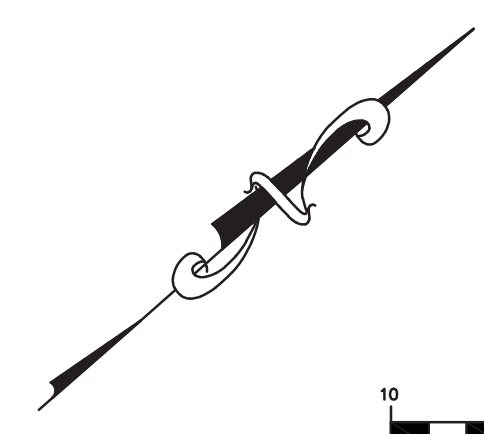
LEGEND:

APN	=	ASSESSOR'S PARCEL NUMBER	OH	=	OVERHANG
A.C.	=	ASPHALT CONCRETE	P.C.	=	PROPERTY CORNER
BLDC	=	BUILDING	P/PL	=	PROPERTY LINE
C/L	=	CENTERLINE	PROD	=	PRODUCED (PROLONGED)
C.L.F.	=	CHAIN LINK FENCE	PWFB	=	PUBLIC WORKS FIELD BOOK
CONC.	=	CONCRETE	REG	=	REGISTERED CIVIL ENGINEER
CS	=	CHAIN SPACE	SMH	=	SEWER MANHOLE
EST	=	ESTABLISH	SPK/W	=	SPRINKLER & WASH
FB	=	FIELD BOOK	TR	=	TRACT MAP
FD	=	FOUND	TW	=	TOP OF WALL ELEV.
FF	=	FINISH FLOOR ELEV.			
FL	=	FLOWLINE ELEV.			
INTER	=	INTERSECTION			
LS	=	LAND SURVEYOR			
L&T	=	LEAD & TAPE			
M.B.	=	MAP BOOK			

SYMBOLS:

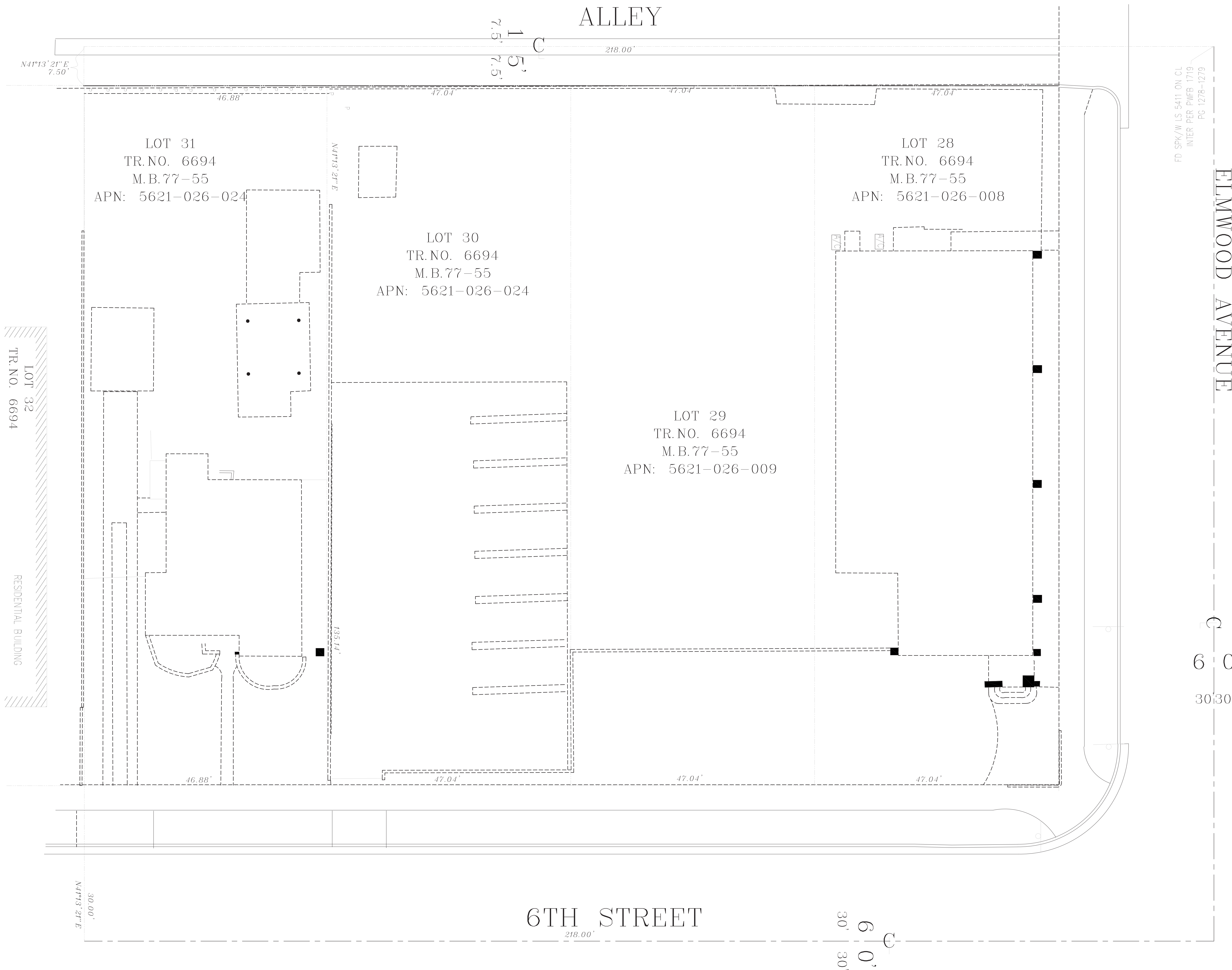
⊠	ELECTRIC BOX	⊙	SEWER CL. OUT
⊠	AIRCONDITIONING UNIT	⊙	SEWER MANHOLE
⊠	COLUMN	⊙	SIGN POST
⊠	GAS METER	⊙	TREE
⊠	GATE POST	⊙	WATER HEATER
⊠	IRRIGATION VALVE	⊙	WATER METER
⊠	POWER POLE		
⊠	POWER POLE ANCHOR		

COPY OF TOPOGRAPHIC SURVEY DONE 11.15.2019



M&G CIVIL ENGINEERING AND LAND SURVEYING

TOPOGRAPHIC SURVEY



NOTES

1. WHERE INFORMATION IS UNCLEAR OR CONFLICTS ARE FOUND CONTACT THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING.
2. ALL EXISTING FENCES AND STRUCTURES TO BE REMOVED AND DEMOLISHED.
3. SEE AN-4 FOR FURTHER NOTES.

LEGEND



SCALE : 1/8" = 1'-0"
DEMOLITION PLANS





NOTES

- WHERE INFORMATION IS UNCLEAR OR CONFLICTS ARE FOUND CONTACT THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING.
- ANY PLANTERS USED FOR LANDSCAPING THE FRONT YARD ARE TO BE LOW IN HEIGHT.
- PER THE CITY'S BURBANK 2035 GENERAL PLAN MOBILITY ELEMENT, THE CITY HAS SET SPECIFIC SIDEWALK WIDTH REQUIREMENTS FOR BURBANK'S STREETS. BASED ON TABLE M-2 (PAGE 4-21) OF THE BURBANK 2035 GENERAL PLAN'S HIGH DENSITY RESIDENTIAL LAND USE DESIGNATION, THE STANDARD WIDTH OF THE STREET IS 12-FOOT WIDE SIDEWALKS (FROM EDGE OF CURB TO PROPERTY LINE). DEVELOPMENT SHALL PROVIDE SIDEWALK WIDTH OF 12 FEET.
- BUILDING, FIRE, ELECTRICAL, PLMBG., MECH., ETC., CODE SECTIONS, PRODUCT LISTING NUMBERS, AND REFERENCE DESCRIPTIONS PROVIDED IN THE NOTES AND PLANS HERewith ARE ABBREVIATED AND ARE PROVIDED TO ASSIST THE CONTRACTOR AND SUB-TRADES OBTAIN COPIES OF REFERENCED SECTIONS OR LISTINGS AND INSTALL CONSTRUCTION IN CONFORMANCE SECTION OR LISTING INDICATED.
- INSTALL ALL MANUFACTURED PRODUCTS AND ITEMS IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS, RECOMMENDATIONS OR PRODUCT LISTINGS.
- REFER TO ELECTRICAL PLANS FOR ALL EXIT SIGN, LOCATIONS, TYPE AND CIRCUITING FOR EXIT SIGNS REQUIRED PER C.B.C. SECTION 101 AND CODE SUB-SECTIONS THEREIN.
- HARDSCAPE MATERIAL IS TO BE A COMBINATION OF GRAY STUCCO FOR PLANTER WALLS AND 4' x 4' CONCRETE PAVEMENT TILES FOR WALKWAYS. PLANTERS MUST BE CONSTRUCTED OF PERMANENT MASONRY OR CONCRETE CONSTRUCTION PER THE CITY'S ZONING CODE.
- OPEN SPACE AREAS MUST HAVE A SLOPE NO GREATER THAN FIVE PERCENT THROUGHOUT THE PROJECT.
- THE EXACT NUMBER AND LOCATION OF THE LIGHTING FIXTURES TO BE DETERMINED PER ELECTRICAL PLANS

LEGEND

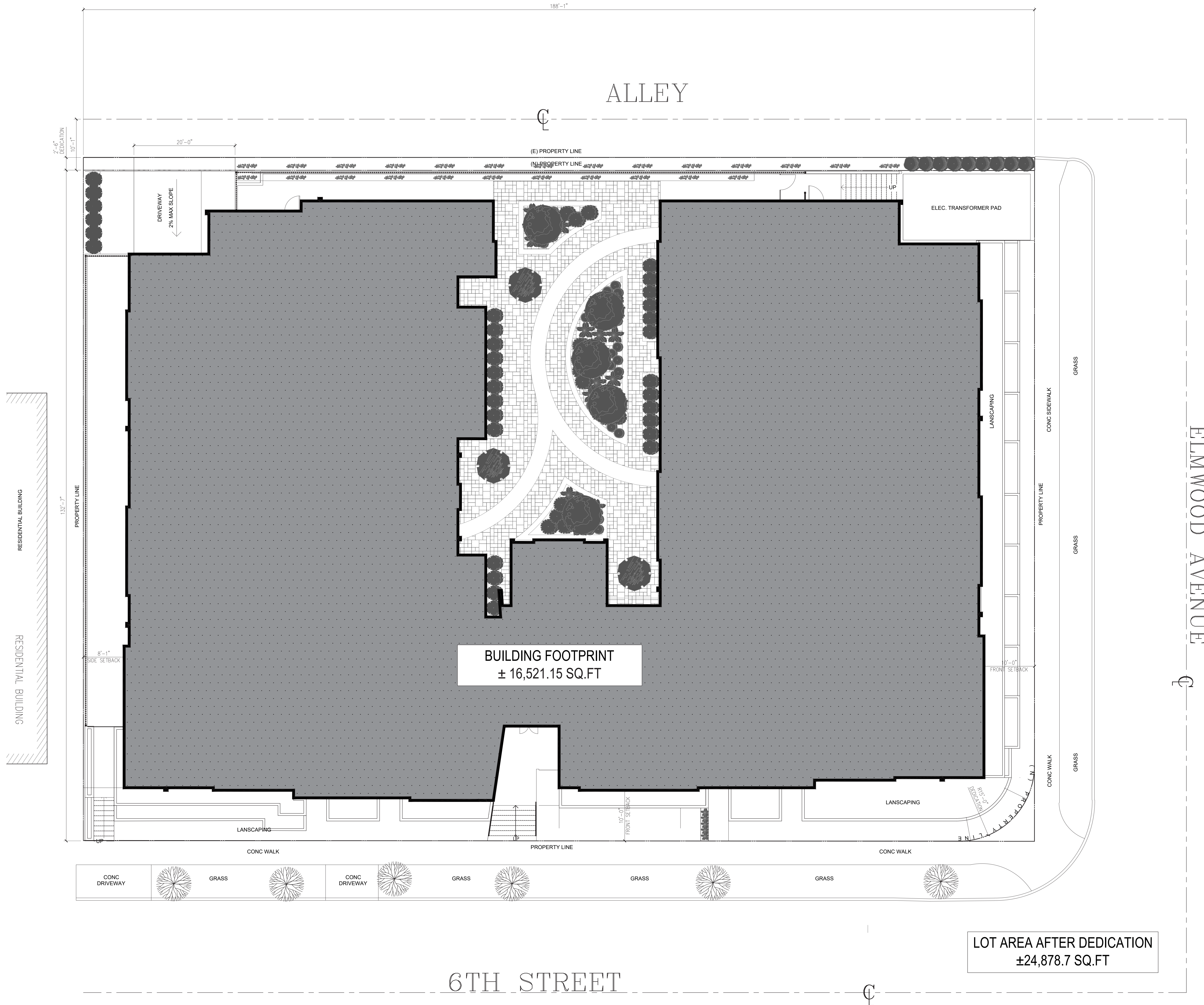
- BUILDING FOOTPRINT
- LANDSCAPE AREA
- CONCRETE DRIVEWAY
- DEDICATION

NOTE: SHORT-TERM AND LONG-TERM BICYCLE RACKS TO BE PROVIDED PER SECTION 4.1.2 OF THE CITY OF BURBANK COMPLETE STREET OBJECTIVE DEVELOPMENT STANDARDS.

SCALE : 1/8" = 1'-0"

SITE PLAN





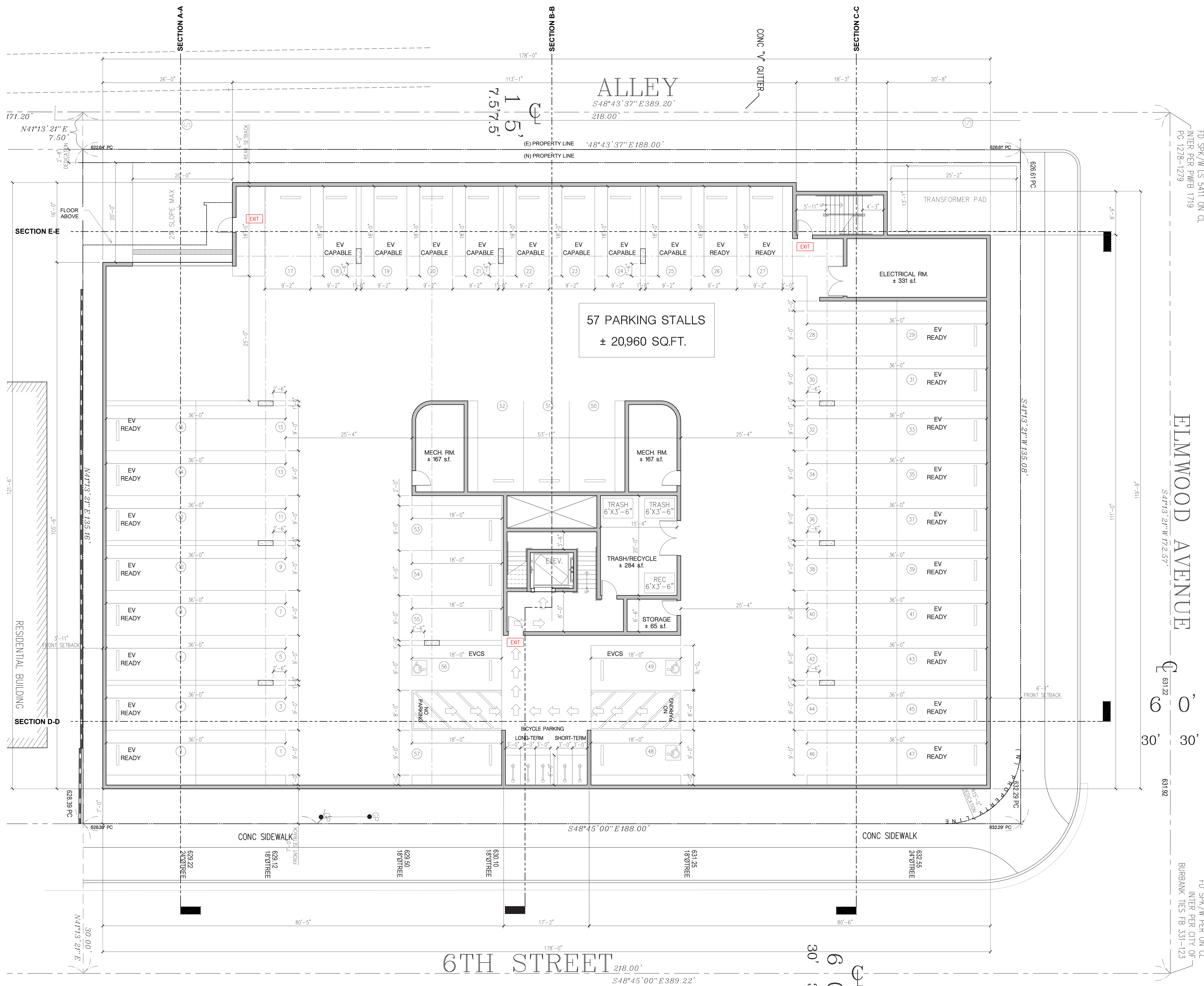
NOTES

1. WHERE INFORMATION IS UNCLEAR OR CONFLICTS ARE FOUND CONTACT THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING.
2. LOT COVERAGE IS CALCULATED USING THE FOOTPRINT OF ALL STRUCTURES ON THE PROPERTY EXCEPT AS EXEMPTED BELOW, AS MEASURED FROM THE EXTERIOR WALLS OR THE OUTSIDE EDGE OF SUPPORTING POSTS.
3. CANTILEVERED UPPER STORIES OF UP TO FOUR (4) FEET ARE NOT INCLUDED IN THE CALCULATION OF LOT COVERAGE. IF THE CANTILEVERED PORTION IS GREATER THAN FOUR(4) FEET OR IF THE OVERHANGING PORTION IS SUPPORTED FROM THE GROUND, THE ENTIRE CANTILEVERED PORTION MUST BE INCLUDED IN THE CALCULATION OF LOT COVERAGE.
4. THE FOLLOWING STRUCTURES ARE NOT INCLUDED IN THE CALCULATION OF LOT COVERAGE:
 - A. NON-ENCLOSED PORCHES, PATIOS, PORTE-COCHERES, AND SIMILAR NON-ENCLOSED COVERED SPACES AND STRUCTURES. A SPACE IS CONSIDERED NON-ENCLOSED IF IT IS COMPLETELY OPEN ON AT LEAST TWO (2) SIDES FROM THE GROUND OR FLOOR LEVEL TO A HEIGHT OF SIX (6) FEET, EIGHT INCHES ABOVE THE GROUND OR FLOOR LEVEL.

LOT COVERAGE TABULATION

LOT AREA BEFORE DEDICATION	=> 25,401.63 SF
GROSS LOT AREA AFTER DEDICATION	=> 24,878.7 SF
BUILDING FOOTPRINT	=> 16,521.15 SF
LOT COVERAGE PRE DEDICATION	=> 64.77%
LOT COVERAGE AFTER DEDICATION	=> 66.3%

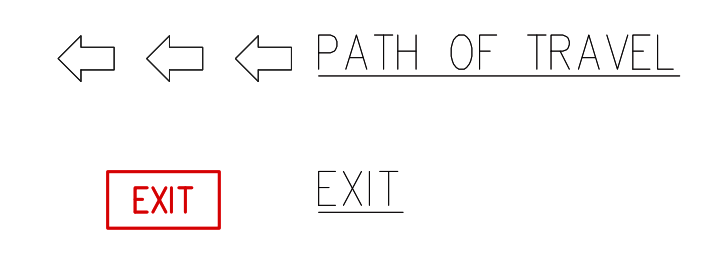
SCALE : 1/8" = 1'-0"
 DIAGRAMS: LOT COVERAGE



NOTES

1. WHERE INFORMATION IS UNCLEAR OR CONFLICTS ARE FOUND CONTACT THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING.
2. PARKING SPACES MUST BE CONSTRUCTED PER BMC 10-1-1401, 10-1-1403, 10-1-1417, 10-1-1606.
3. NO VISUAL OBSTRUCTION SHALL BE ERECTED OR MAINTAINED ABOVE 3' HIGH OR BELOW 10' HIGH IN A 10' BY 10' VISIBILITY CUT-OFF AT INTERSECTION OF STREET AND DRIVEWAY [BMC 10-1-1303(A)].
4. NO VISUAL OBSTRUCTION SHALL BE ERECTED OR MAINTAINED ABOVE 3' HIGH OR BELOW 10' HIGH IN A 10' BY 10' VISIBILITY CUT-OFF AT INTERSECTION OF STREET AND ALLEY [BMC 10-1-1303(B)].
5. NO VISUAL OBSTRUCTION SHALL BE ERECTED OR MAINTAINED ABOVE 3' HIGH OR BELOW 10' HIGH IN A 5' BY 5' VISIBILITY CUT-OFF AT INTERSECTION OF STREET AND DRIVEWAY [BMC 10-1-1303(C)].
6. TURN AREAS AND PARKING SPACES ADJACENT TO OBSTRUCTIONS MUST BE CONSTRUCTED PER BURBANK STANDARD PLAN BT-400.
7. EVERY RESIDENTIAL PARKING SPACE SHALL MAINTAIN A VERTICAL HEIGHT CLEARANCE OF 7' PER BURBANK STANDARD PLAN BT-402. PARKING STALLS #43-44 DO NOT MEET THIS REQUIREMENT.
8. END STALLS SHALL BE A MINIMUM OF 11' WIDE OR THE ACCESS AISLE MUST EXTEND 3' BEYOND THE BAY PER BURBANK STANDARD PLAN BT-400.
9. DRIVEWAY APRON MUST BE CONSTRUCTED PER BURBANK STANDARD PLAN BS-102.
10. PEDESTRIAN PATHS MUST HAVE A MINIMUM WIDTH OF 48 INCHES AND MUST BE IMPROVED WITH A DECORATIVE PAVED SURFACE, BRICK, PAVERS, OR SIMILAR MATERIAL APPROVED BY THE DIRECTOR
11. IF A PEDESTRIAN PATH IS INCLUDED ON ONE (1) OR MORE SIDES OF A VEHICLE DRIVEWAY, ACCESS AISLE, OR PARKING AREA, SUCH PATH MUST BE DIFFERENTIATED FROM THE VEHICLE CIRCULATION

LEGEND



NOTE: SHORT-TERM AND LONG-TERM BICYCLE RACKS TO BE PROVIDED PER SECTION 4.1.2 OF THE CITY OF BURBANK COMPLETE STREET OBJECTIVE DEVELOPMENT STANDARDS.

SCALE : 1/8" = 1'-0"

PLANS: ABOVE-GRADE PARKING





FD SPK/W/LS 5411 ON CL
 INTER PER PWB 1719
 PG 12/8-12/19

FLMWOOD AVENUE
 S47°13'21"W 172.57'

60' 30"

FD SPK/W/PER ON CL
 INTER PER CITY OF
 BURBANK TIES FB 301-123

LEGEND

- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- CIRCULATION & SERVICE AREA

SCALE : 1/8" = 1'-0"
 PLANS: FIRST FLOOR

