



FD SPK/W/LS 5411 ON CL  
 INTER PER PWB 1719  
 PG 12/8-12/9

ELMWOOD AVENUE  
 S47°13'21"W 172.57'

60' 30"

FD SPK/W/PER ON CL  
 INTER PER CITY OF  
 BURBANK T153 FB 301-123

**LEGEND**

- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- CIRCULATION & SERVICE AREA

SCALE : 1/8" = 1'-0"  
 PLANS: SECOND FLOOR





FD SPK/W/LS 5411 ON CL  
 INTER PER PWB 1719  
 PG 12/28-12/29

ELMWOOD AVENUE  
 S47°13'21"W 172.57'

FD SPK/W/PER ON CL  
 INTER PER CITY OF  
 BURBANK TIES FB 301-123

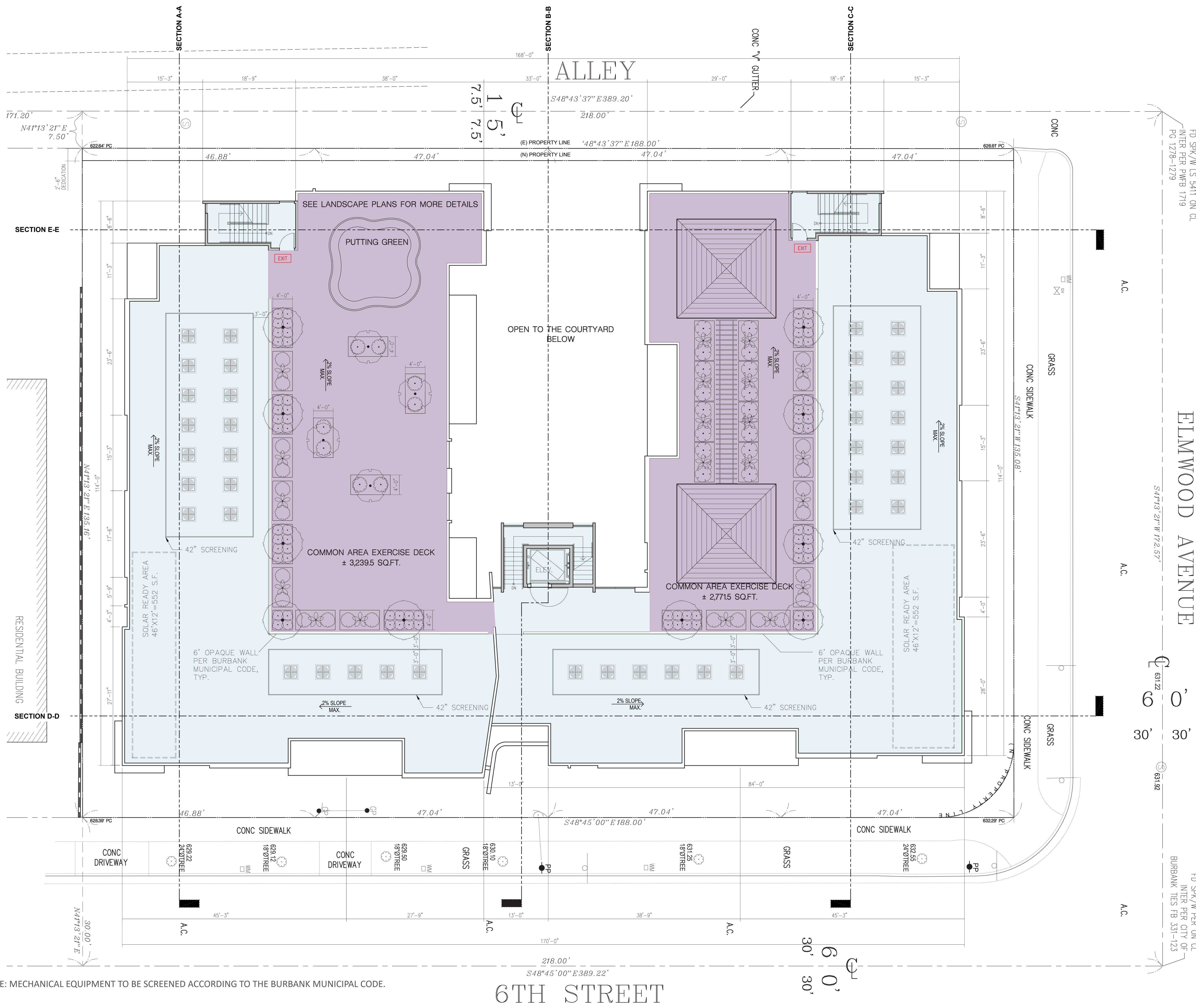
**LEGEND**

- ONE BEDROOM UNIT
- TWO BEDROOM UNIT
- CIRCULATION & SERVICE AREA

SCALE : 1/8" = 1'-0"

PLANS: THIRD FLOOR





FD SPK/W/LS 5411 ON CL  
 INTER PER PWB 1719  
 PG 12/28-12/19

FLMWOOD AVENUE  
 S47°13'27\"/>

60' 30'  
 631.22  
 631.92

FD SPK/W PER ON CL  
 INTER PER CITY OF  
 BURBANK T1S FB 301-123

**LEGEND**

- CIRCULATION & SERVICE AREA
- ROOFTOP OPEN SPACE
- TYPICAL HVAC SPLIT EQUIPMENT ROOF PLATFORM.

NOTE: MECHANICAL EQUIPMENT TO BE SCREENED ACCORDING TO THE BURBANK MUNICIPAL CODE.

6TH STREET

SCALE : 1/8" = 1'-0"  
 PLANS: ROOF LEVEL





WEST ELEVATION ALONG ELMWOOD AVE

2

- 3 STUCCO BUILDING COLOR DUNN EDWARDS PAINT STEIGLITZ SILVER DET612 OR EQUAL
  - 4 JAMESHARDIE FIBER CEMENT SIDING CHESTNUT BROWN ICC-ESR-2290 OR EQUAL
  - 5 PARKING GARAGE GATE: MC NICHOLS CO. GRILL GATE OR EQUAL
  - 6 TYP. ENTRY DOOR W/SIDELITE SIERRA PACIFIC FLUSHED DOORS OR EQUAL
  - 7 SIERRA PACIFIC WINDOWS ALUM. CLAD WOOD FRAME ALPINE SILVER METALLIC FINISH & PATIO DOORS OR EQUAL
  - 8 OMNIA ENTRY HARDWARE MODEL: 73000 ACB MATERIALS: STAINLESS STEEL OR EQUAL
  - 9 CUSTOM WROUGHT IRON GATE/FENCE
  - 10 DECK RAIL BALCONY RAILING
  - 11 ALPINE SILVER FOR METAL CAPS, FASCIA, DOWNSPOUTS, GUTTERS, & BALCONY RAILINGS
  - 12 EXTERIOR SCONCE LIGHTING
  - 13 BRICK VENEER 5/8" THICKNESS 0.75 LB/ PIECE OR EQUAL
  - 14 EXTERIOR METAL AWNING
  - 15 CUSTOM CUT METAL PLANE
1. REFER TO ENLARGED PLANS, DOOR/WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
  2. ALL FRAMED WALLS SHALL BE CHALKED OUT AND APPROVED PRIOR TO CONSTRUCTION.
  3. EXTERIOR LIGHT FIXTURES SHALL HAVE LAMP TEMPERATURE RATING OF BETWEEN 2,700 TO 3,000 KELVIN DEGREES, FOR WARM LAMP APPEARANCE.
  4. PARAPET FLASHING/COPING SHALL MATCH THE COLOR OF THE BUILDING WALL.



NORTH ELEVATION ALONG SIXTH ST.

1

NOTE: THE BALCONES WILL COMPLY WITH BMC 10-1-628 AS APPLICABLE DURING THE PLAN CHECK PROCESS.

SCALE : 1/8" = 1'-0"  
ELEVATIONS



EAST ELEVATION

2



SOUTH ELEVATION ALONG ALLEY

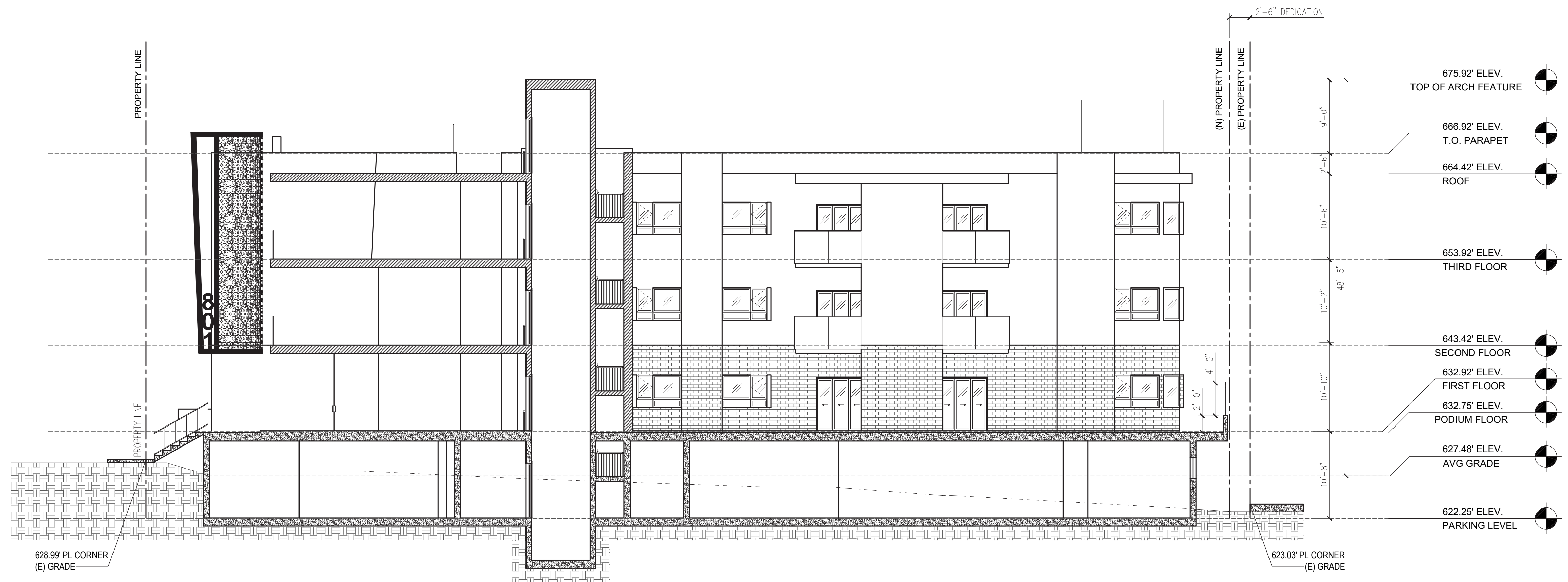
1

- 3 STUCCO BUILDING COLOR DUNN EDWARDS PAINT STEIGLITZ SILVER DET612 OR EQUAL
- 4 JAMESHARDIE FIBER CEMENT SIDING CHESTNUT BROWN ICC-ESR-2290 OR EQUAL
- 5 PARKING GARAGE GATE: MC NICHOLS CO. GRILL GATE OR EQUAL
- 6 TYP. ENTRY DOOR W/SIDELITE SIERRA PACIFIC FLUSHED DOORS OR EQUAL
- 7 SIERRA PACIFIC WINDOWS ALUM. CLAD WOOD FRAME ALPINE SILVER METALLIC FINISH & PATIO DOORS OR EQUAL
- 8 OMNIA ENTRY HARDWARE MODEL: 73000 ACB MATERIALS: STAINLESS STEEL OR EQUAL
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- 14 EXTERIOR METAL AWNING
- 15 CUSTOM CUT METAL PLANE

1. REFER TO ENLARGED PLANS, DOOR/WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
2. ALL FRAMED WALLS SHALL BE CHALKED OUT AND APPROVED PRIOR TO CONSTRUCTION.
3. EXTERIOR LIGHT FIXTURES SHALL HAVE LAMP TEMPERATURE RATING OF BETWEEN 2,700 TO 3,000 KELVIN DEGREES, FOR FOR WARM LAMP APPEARANCE.
4. PARAPET FLASHING/COPING SHALL MATCH THE COLOR OF THE BUILDING WALL.

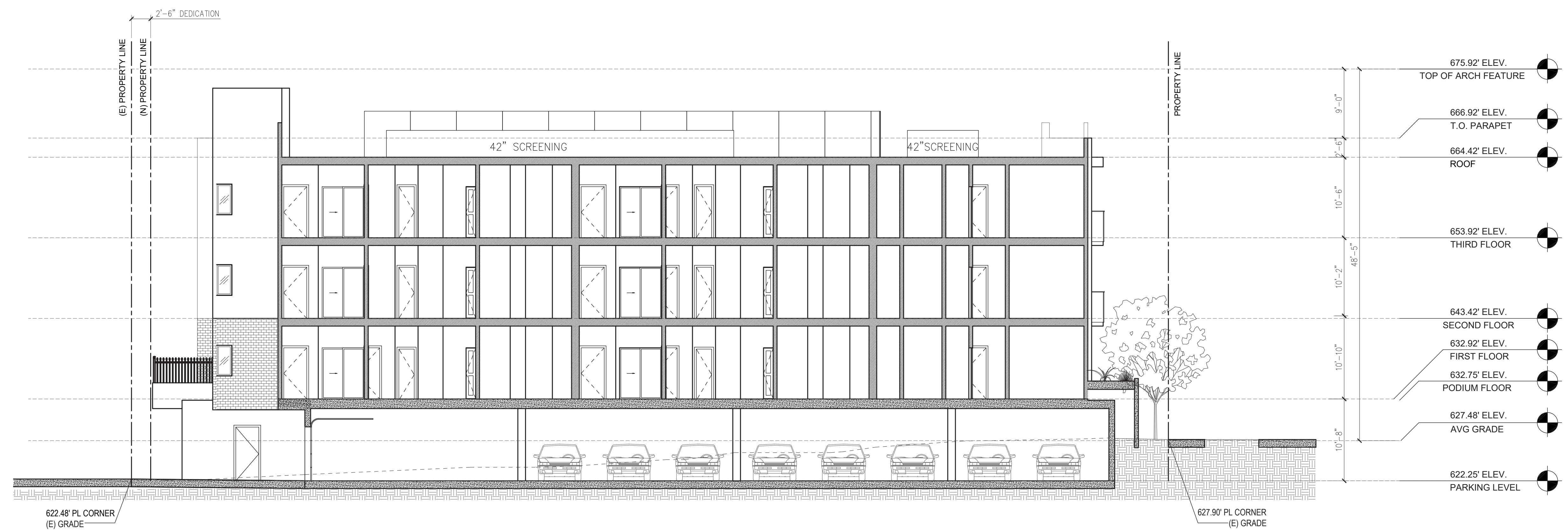
NOTE: THE BALCONES WILL COMPLY WITH BMC 10-1-628 AS APPLICABLE DURING THE PLAN CHECK PROCESS.

SCALE : 1/8" = 1'-0"  
ELEVATIONS



SECTION B-B

2

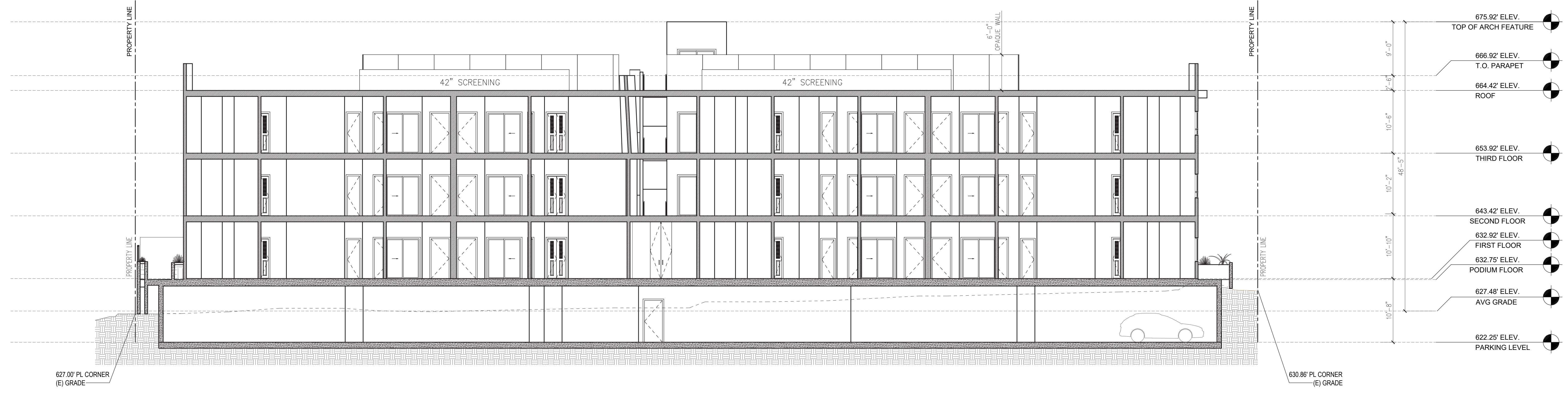


SECTION A-A

1

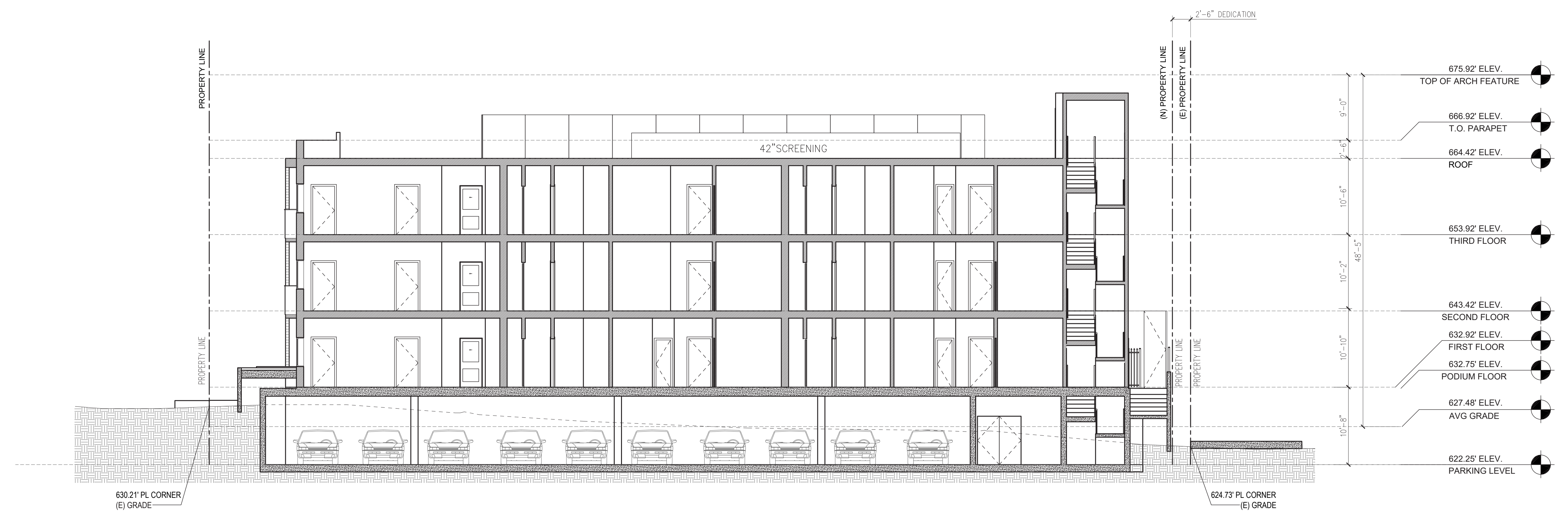
SCALE : 1/8" = 1'-0"

SECTIONS



SECTION D-D

2

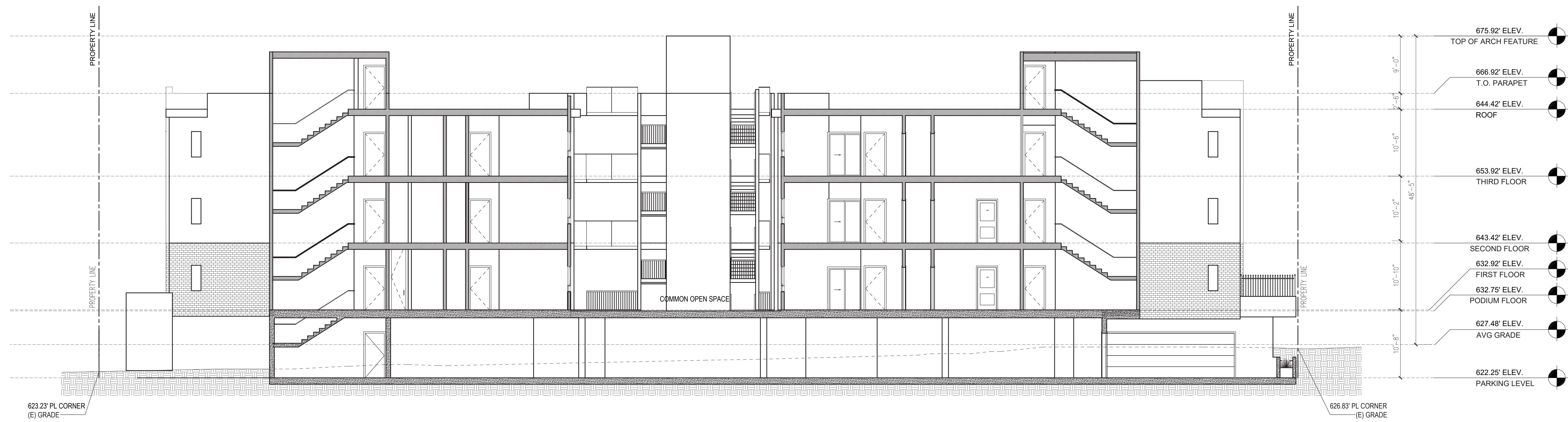


SECTION C-C

1

SCALE : 1/8" = 1'-0"

SECTIONS



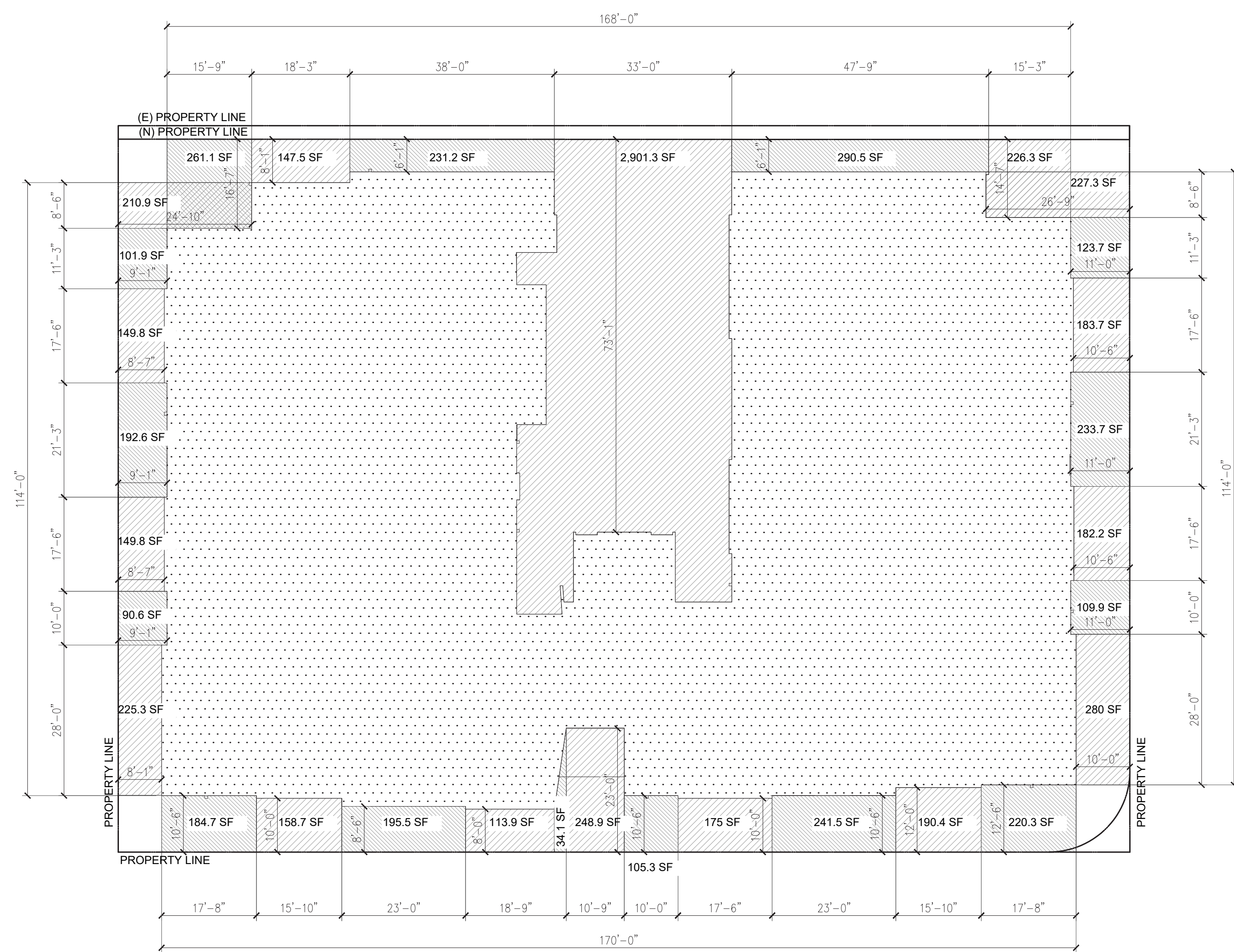
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SECTION E-E

SCALE : 1/8" = 1'-0"

SECTIONS

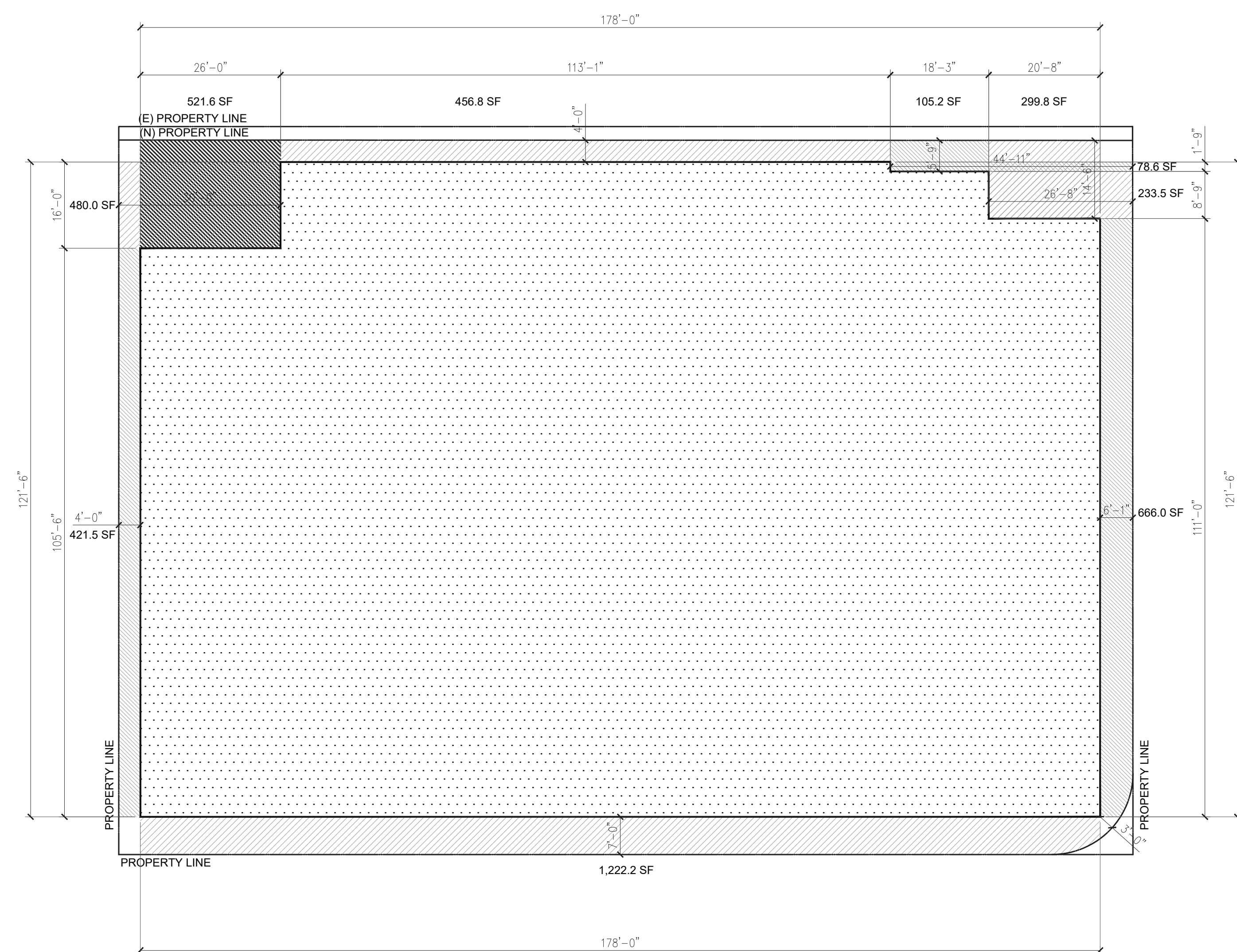




FIRST FLOOR SETBACK	NORTH		WEST		EAST		SOUTH	
	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.
MINIMUM	15'	8'-0"	15'	10'-0"	5'	8'-1"	5'	6'-1"
AVERAGE	17'	11'-0"	17'	11-9"	7'	9'-9"	7'	24'-2"

FIRST FLOOR SETBACK DIAGRAM

2



ABOVE-GRADE GARAGE SETBACK	NORTH		WEST		EAST		SOUTH	
	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.
MINIMUM	15'	7'-0"	15'	6'-1"	5'	4'-0"	5'	4'-0"
AVERAGE	17'	6'-10"	17'	8'-0"	7'	7'-5"	7'	7'-9"

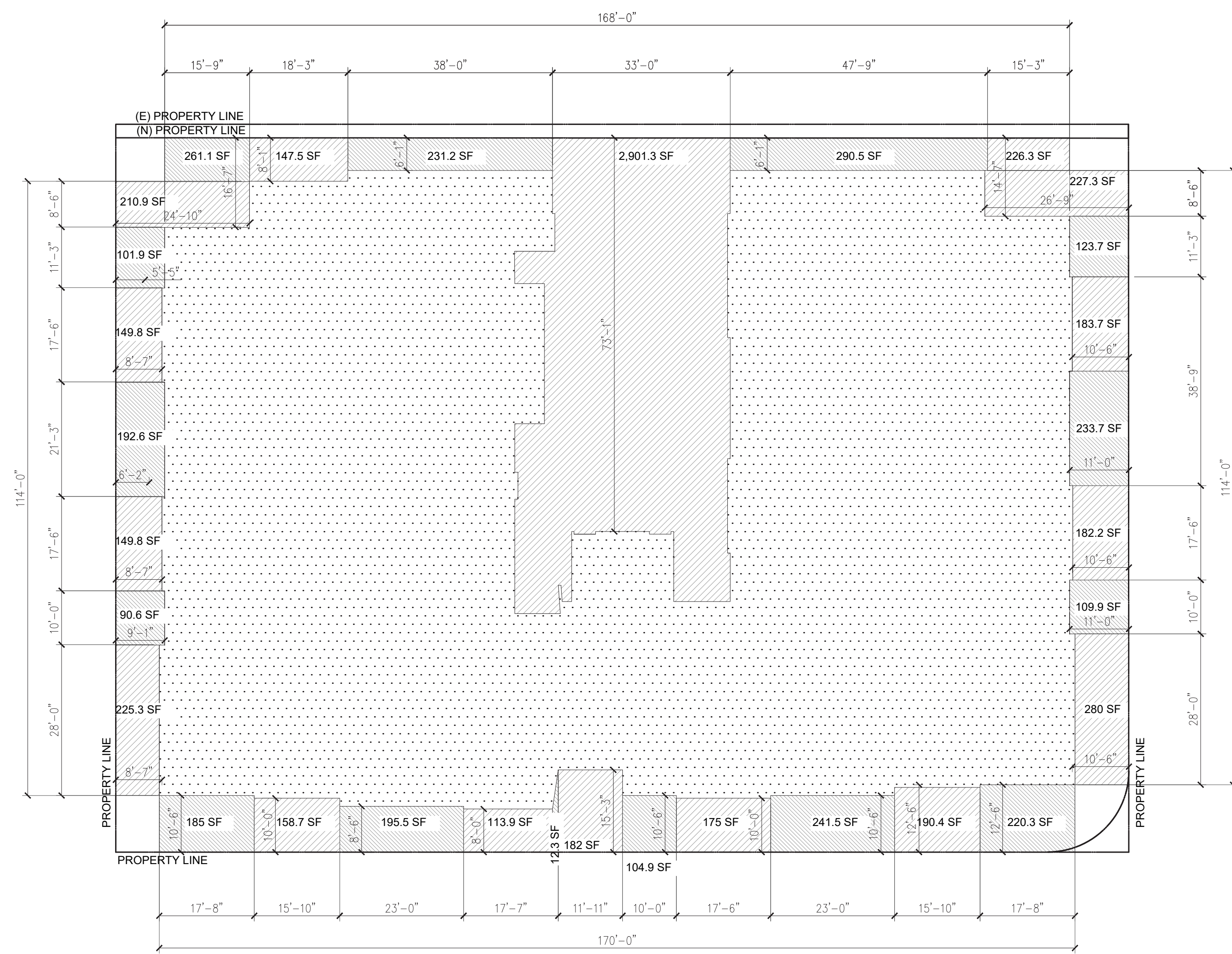
ABOVE-GRADE GARAGE SETBACK DIAGRAM

1

SCALE : 1/16" = 1'-0"

DIAGRAMS: SETBACKS

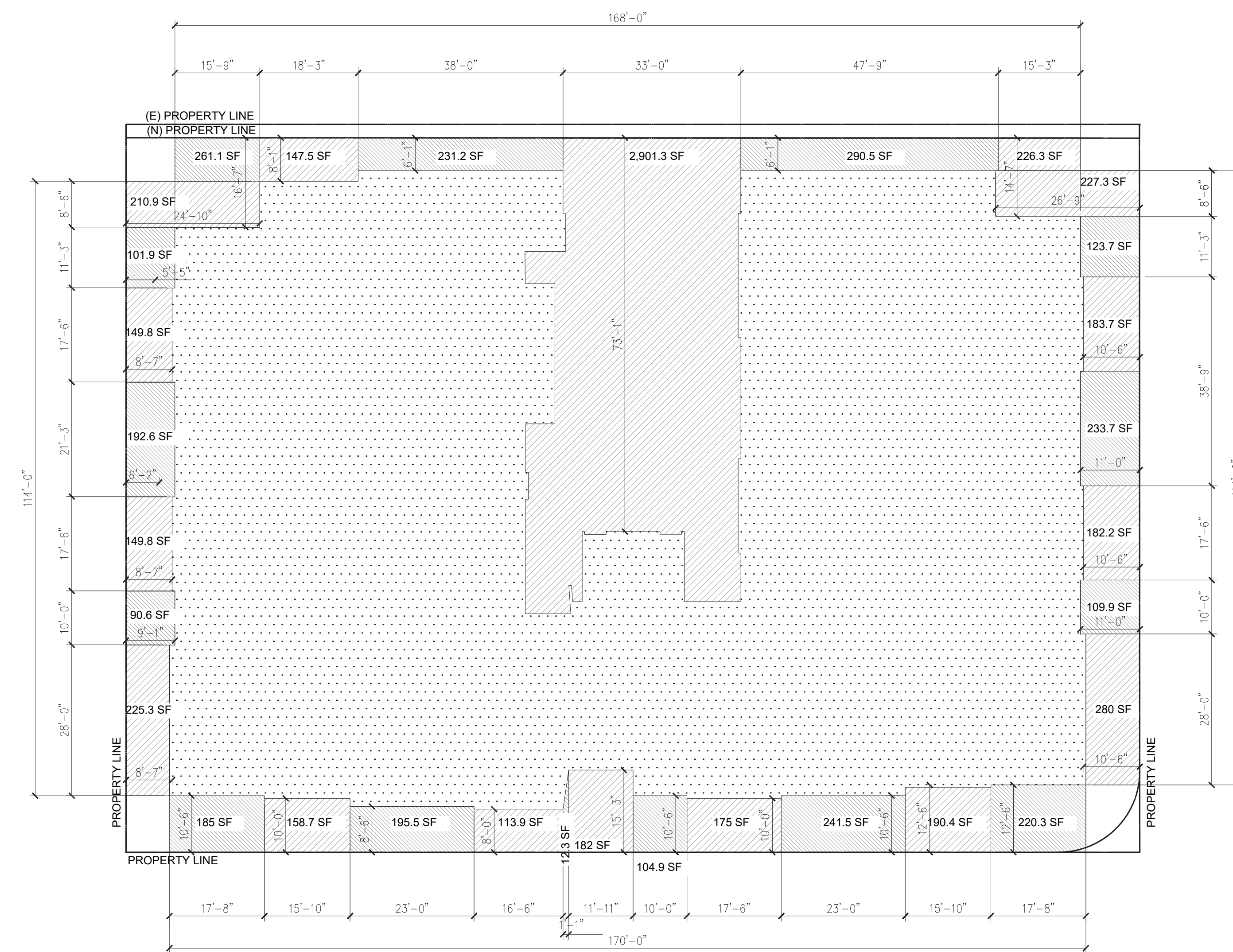




THIRD FLOOR SETBACK	NORTH		WEST		EAST		SOUTH	
	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.
MINIMUM	15'	8'-0"	15'	10'-0"	5'	8'-1"	5'	6'-1"
AVERAGE	17'	10'-6"	17'	11-9"	7'	9'-9"	7'	24'-2"

THIRD FLOOR SETBACK DIAGRAM

2



SECOND FLOOR SETBACK	NORTH		WEST		EAST		SOUTH	
	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.
MINIMUM	15'	8'-0"	15'	10'-0"	5'	8'-1"	5'	6'-1"
AVERAGE	17'	10'-6"	17'	11-9"	7'	9'-9"	7'	24'-2"

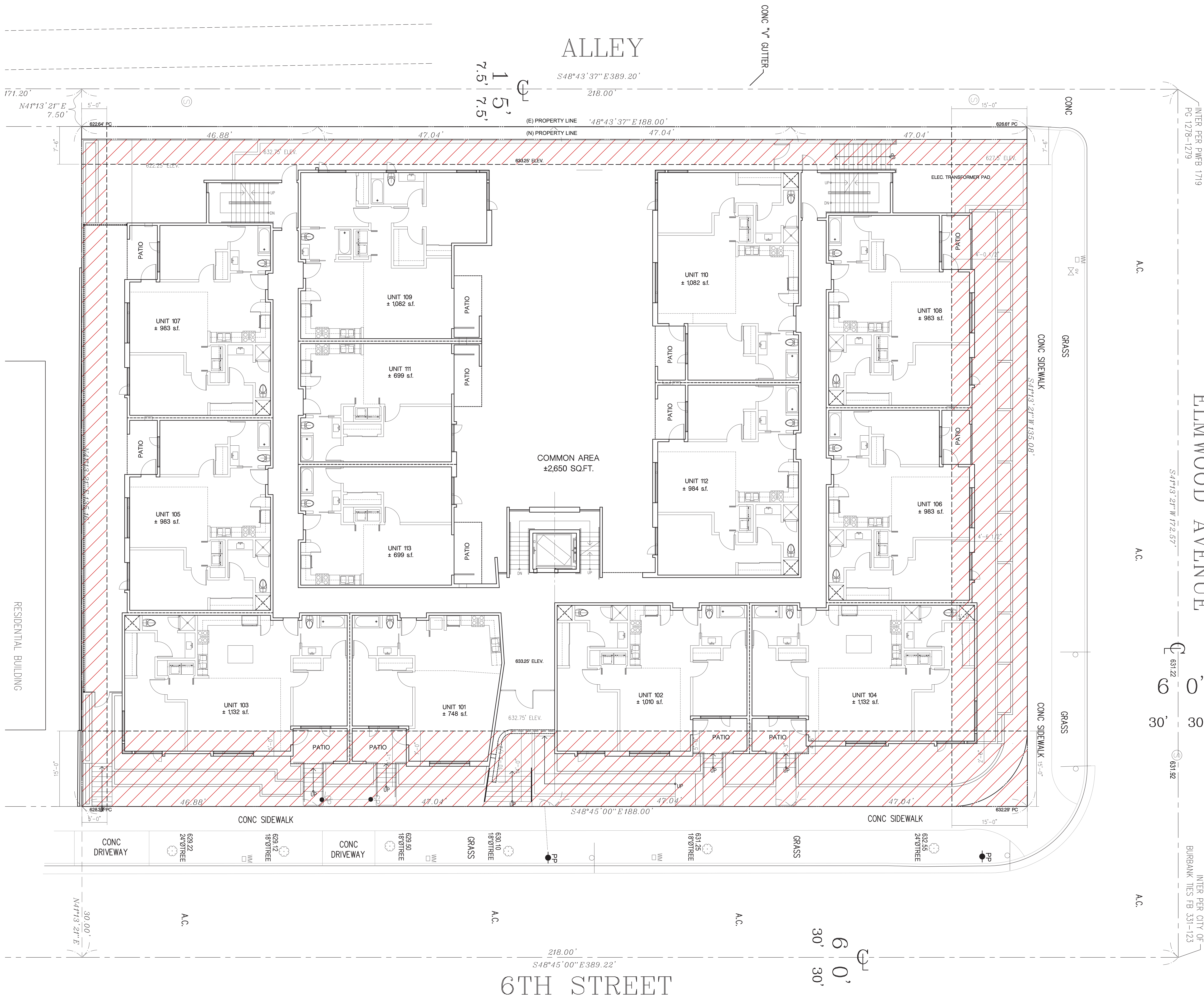
SECOND FLOOR SETBACK DIAGRAM

1

SCALE : 1/16" = 1'-0"

DIAGRAMS: SETBACKS





FD SPK/W/LS 5411 ON CL  
 INTER PER PWB 1719  
 PG 12/8-12/9

FLMWOOD AVENUE  
 S47°13'21"W 172.57'

6' 0" 30'  
 6' 31.22'

FD SPK/W/PER ON CL  
 INTER PER CITY OF  
 BURBANK TIES FB 331-123

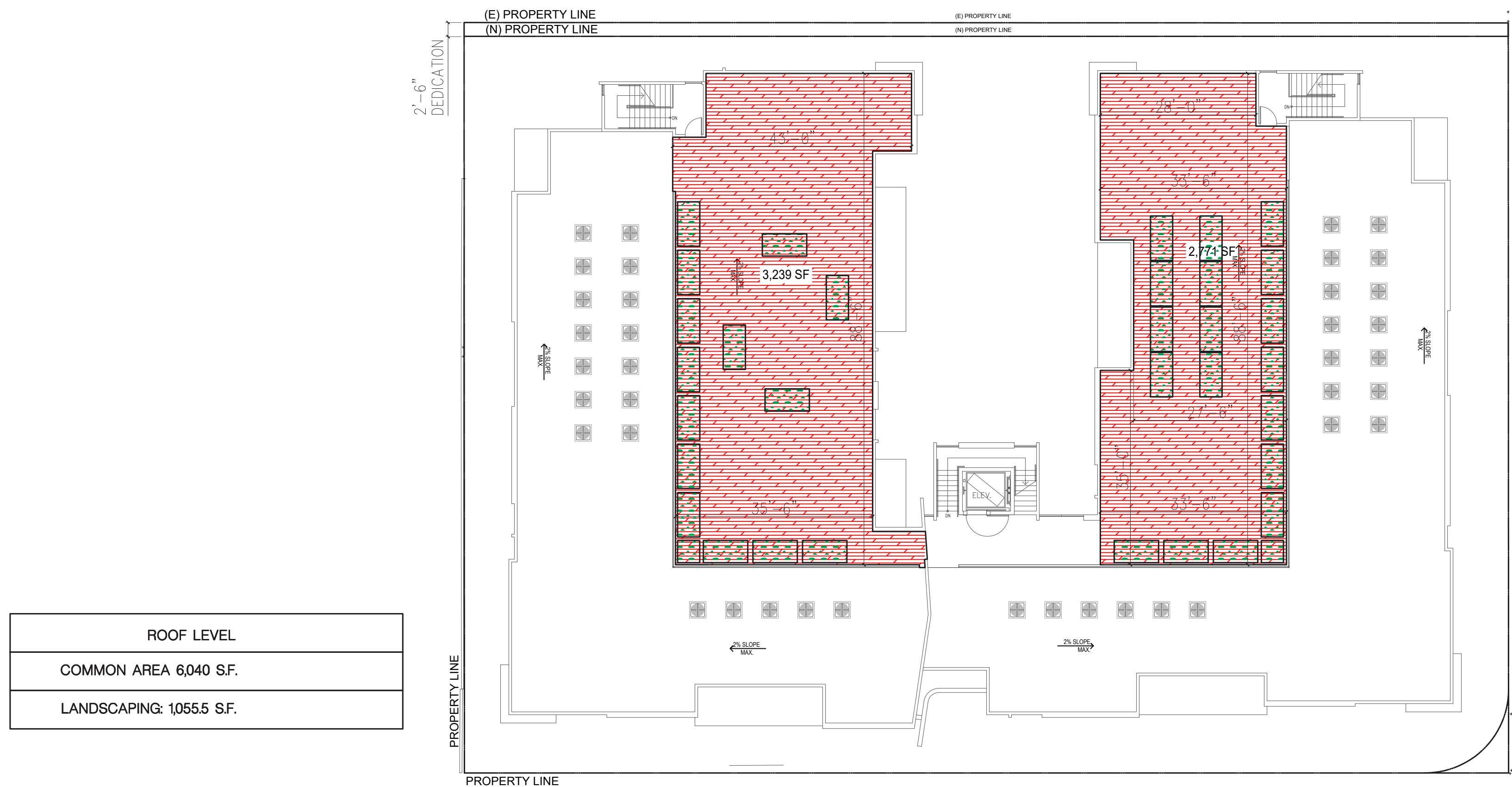
**LEGEND**

 MINIMUM REQUIRED SETBACK

SCALE : 1/8" = 1'-0"

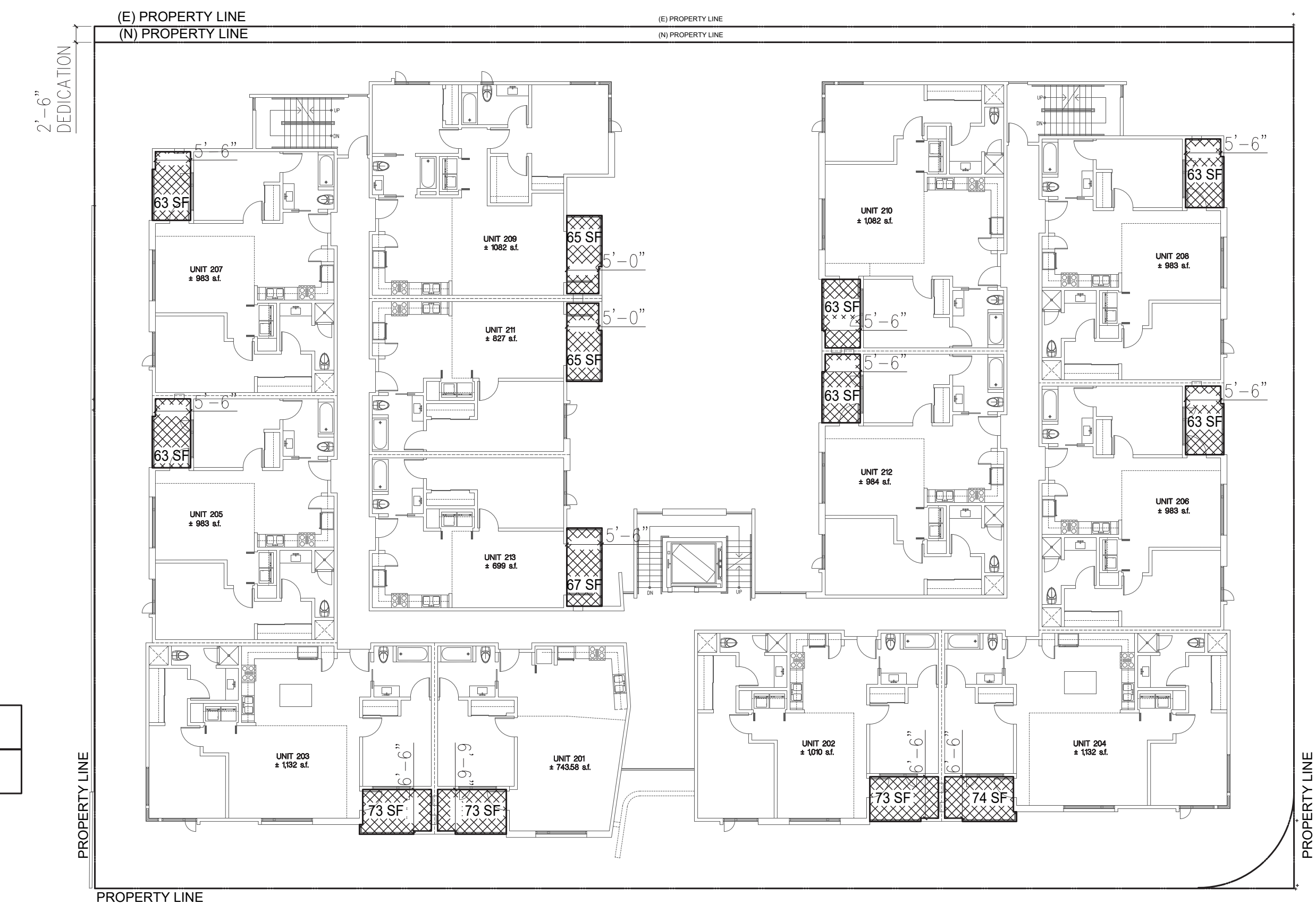
**DIAGRAMS: ENCROACHMENT**





ROOF LEVEL
COMMON AREA 6,040 S.F.
LANDSCAPING: 1,055.5 S.F.

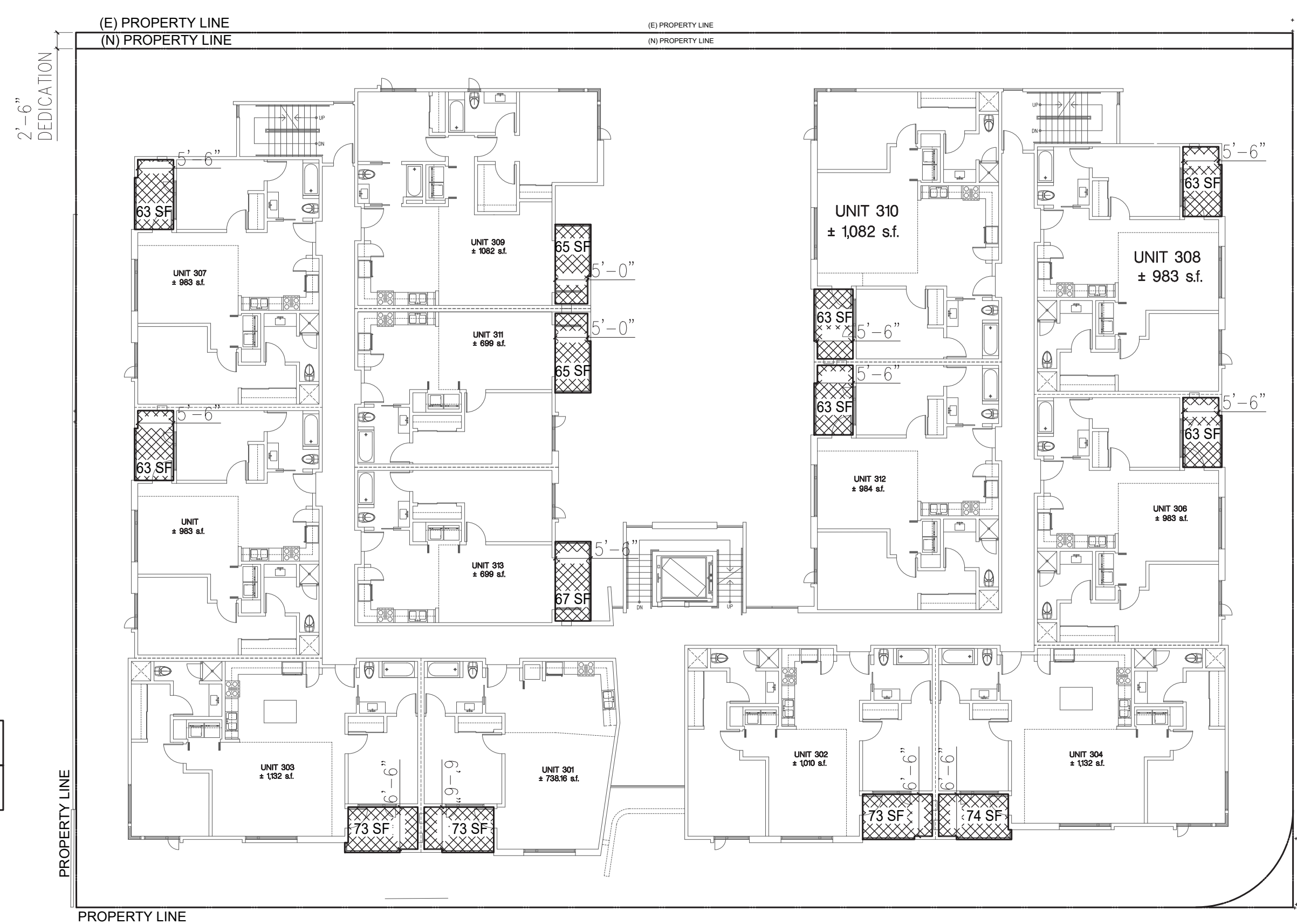
ROOF LEVEL OPEN SPACE DIAGRAM



SECOND FLOOR
PRIVATE OUTDOOR SPACE: 868 S.F.

SECOND FLOOR OPEN SPACE DIAGRAM

4



THIRD FLOOR
PRIVATE OUTDOOR SPACE: 868 S.F.

THIRD FLOOR OPEN SPACE DIAGRAM

3

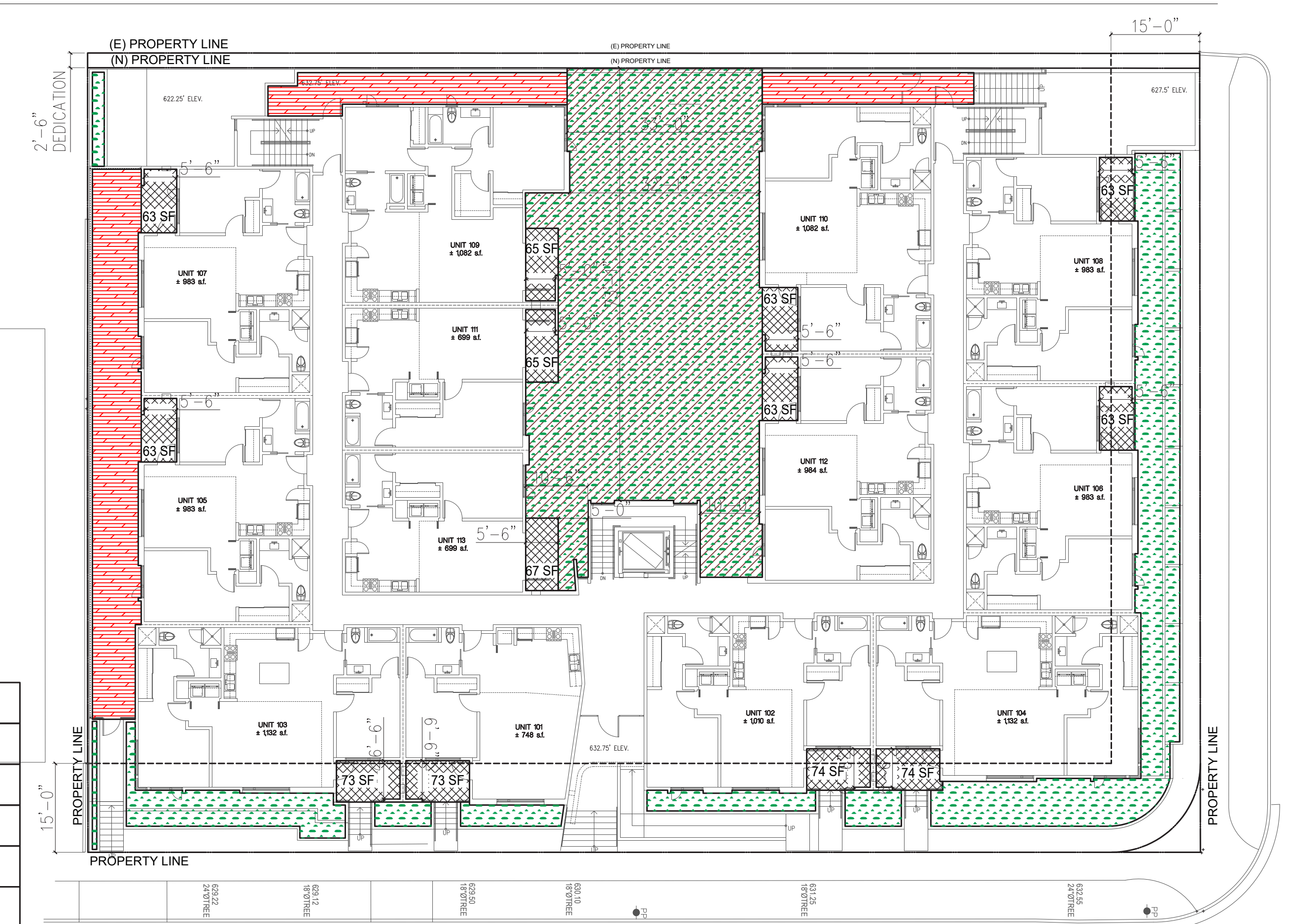
OPEN SPACE TABULATION						
FLOOR LEVEL	PARKING	1ST FLOOR	2ND FLOOR	3RD FLOOR	ROOF	TOTAL
COMMON AREA		1,208 S.F.			6,040 S.F.	7,248 S.F.
COMMON OPEN SPACE AREA		2,901 S.F.				2,901 S.F.
LANDSCAPING IN COMMON OPEN SPACE		2,901 S.F.			1,055.5 S.F.	2,901 S.F.
PRIVATE OUTDOOR SPACE:		869 S.F.	868 S.F.	868 S.F.		2,605 SF

2

FIRST FLOOR
COMMON AREA: 1,208 S.F.
COMMON OPEN SPACE: 2,901 S.F.
LANDSCAPING IN COMMON OPEN SPACE: 2,901 S.F.
TOTAL LANDSCAPING : 6,026.7 S.F.
PRIVATE OUTDOOR SPACE: 869 S.F.

FIRST FLOOR OPEN SPACE DIAGRAM

1



LEGEND

- COMMON OPEN SPACE
- PRIVATE OUTDOOR SPACE
- COMMON AREA
- LANDSCAPE AREA

NOTE: ANY OPEN SPACE WITH MINIMUM DIMENSION OF LESS THAN 5 FEET IS NOT A PART OF THE CALCULATIONS.

SCALE : 1/16" = 1'-0"

DIAGRAMS: OPEN SPACE

